



Alex Furst, Chair
Keith Benner, Vice-Chair
Teresa Alabi
Toni Kleckley
Amy Barnhart

Planning & Zoning Board

7232 East Main Street
Reynoldsburg, OH 43068
www.reynoldsburg.gov

Eric Meyer, Development Director
Melissa Butler, Administrative
Assistant

Thursday, March 7, 2024

6:00 PM

Council Chambers

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Planning & Zoning Board - Regular Meeting - 2/22/2024
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. UNFINISHED BUSINESS

D. NEW BUSINESS

1. App# 2024-0052; 2220 Baltimore- Reynoldsburg Road; Kessler Sign Co.; Variance
2. App# 2023-5630; 441 Waggoner Road; Aurtec Designs LLC; Major Site Plan

E. OTHER BUSINESS

F. ADJOURNMENT

ADJOURNMENT



**MINUTES REGULAR MEETING
REYNOLDSBURG PLANNING & ZONING BOARD
February 22, 2024**

CALL TO ORDER

ROLL CALL

PRESENT: Furst, Barnhart, Alabi, Kleckley
ABSENT: Benner,

APPROVAL OF MINUTES

Minutes stand approved

Planning & Zoning Board - Regular Meeting - 2/8/2024

Minutes stand approved

APPROVAL OF AGENDA

Agenda stands approved

SWEARING IN OF SPEAKERS

Speakers for the evening sworn in by Mr. Furst.

PUBLIC COMMENT

None

UNFINISHED BUSINESS

App# 2023-5486; 7305 E. Main Street; Richard Holmes; Variance

Ms. Buathier presented the email from Mr. McCash where they requested the board hold the variance and Certificate of Appropriateness until the board is fully staffed. All board appointments should be made by the March 21st meeting.

Mr. Furst: I move that we table the variance application until the March 21st, 2024 meeting.

Ms. Barnhart: I'll second.

RESULT:	Tabled
MOVER:	Furst
SECONDER:	Barnhart
AYES:	Alabi, Barnhart, Furst, Kleckley

App# 2023-5487; 7305 E. Main Street; Richard Holmes; Certificate of Appropriateness

Mr. Furst: I move that we reopen the Certificate of Appropriateness application for a hearing.

Ms. Kleckley: Second.

RESULT:	Reopen the application
MOVER:	Furst
SECONDER:	Kleckley
AYES:	Alabi, Barnhart, Furst, Kleckley

Mr. Furst: Now that the hearing is open, it is our understanding the applicant would like to table this until the March 22nd, 2024 meeting. I do so move.

Ms. Barnhart: Second.

RESULT:	Tabled
MOVER:	Furst
SECONDER:	Barnhart
AYES:	Alabi, Barnhart, Furst, Kleckley

NEW BUSINESS

App# 2023-5665; 8209 Taylor Road; Dennis Meacham; Conditional Use

Ms. Buathier read the staff report into the record.

Mr. Meacham came to the podium to answer any questions the board might have.

Mr. Meacham explained that the duplex they are proposing sits between single-family homes and multi-family. They plan to work with staff for the submission of the major site plan. Mr. Meacham has no objection to the conditions listed in the staff report.

Ms. Barnhart: I make a motion that we accept the conditional use application, as recommended by staff, with the condition of obtaining Major Site Plan approval per section 1109.17, and meet the development standards and submission requirements outlined.

Ms. Alabi: I'll second.

RESULT:	Approved
MOVER:	Barnhart
SECONDER:	Alabi
AYES:	Alabi, Barnhart, Furst, Kleckley

OTHER BUSINESS

ADJOURNMENT

Planning and Zoning Administrator

Chairman

February 9, 2024

Mr. Eric Meyer
Development Director
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: 2220 Baltimore-Reynoldsburg Road, Reynoldsburg OH 43068
Duchess Gas Station/Convenience Store – Sign Variance

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. Project Summary

- a. The property is located at 2220 Baltimore-Reynoldsburg Road, PID# 0440379200. The site consists of 1 parcel under single ownership totaling 1.62 acres with approximately 200 linear feet of frontage along Baltimore-Reynoldsburg Road. The site is zoned CC-Community Commercial.
- b. Adjacent parcels are all zoned CC-Community Commercial and consist of commercial retail and restaurant uses.
- c. The applicant is seeking a variance to Section 1105.03, C. vii. 1. to permit two wall signs - one set of channel letters and 1 set of 4 1/4" non-illuminated sintra (plastic) letters on a canopy attached to the western elevation fronting Baltimore-Reynoldsburg Road and an illuminated identification sign above the canopy.

2. Project Review

- a. The applicant is proposing to add a 35 +/- square foot identification wall sign to the building's west elevation facing Baltimore-Reynoldsburg Road and a 5.9 +/- square foot canopy sign, for a total of 40.9 square feet of sign area. The permitted sign area for the parcel's frontage is 400 square feet or 2 feet per lineal foot of lot frontage.
- b. The proposed application appears to meet the provisions specified in 1109.11.D, Variances, including 1109.11.D iii. and 1109.11.D iv. Plus, the additional canopy sign is only 5.9 +/- square feet and because of the overall font size it is smaller than the 35 +/- square foot identification wall sign and is meant to be read on-site and not from the Baltimore-Reynoldsburg Road right-of-way.
- c. The 35 +/- square foot identification wall sign is not to extend outward from the building wall more than fourteen inches (1105.03 C vii).
- d. According to 1105.03 E vi, "the level of illumination emitted or reflected from a sign shall not be so intense as to constitute a safety hazard to vehicular movement on any street from which the sign may be viewed, as determined by an average person. Illuminated signs shall be constructed and maintained so that the source of illumination is shielded or otherwise prevented from beaming directly onto adjacent lots or streets."



3. Zoning Recommendation

- a. We recommend the variance application be approved as submitted with the following conditions:
 - i. That the identification wall sign does not extend outward from the building wall more than fourteen inches (1105.03 C vii).
 - ii. That the level of illumination emitted or reflected from the identification wall sign does not constitute a safety hazard to vehicular movement (1105.03 E vi).
 - iii. That the signs be properly constructed and maintained to ensure that no safety hazard is created and be built in conformity with the requirements of the Building Code and the procedures of the Building Division (1105.03 E iv).
 - iv. Each sign shall be plainly marked with the name of the person or company that installed the sign (1105.03 E viii).

If you have any questions or comments, please feel free to contact us.

Kim Littleton

Very truly yours,
Km C. Littleton, AICP
Senior Planner and Project Manager

Reynoldsburg

Department of Development
Planning and Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

*All Applications are submitted in person,
through mail or to the Building
Department by email at
permit@reynoldsburg.gov.

App./Case#: 2024-0052

Date Submitted: 1/31/24

Fee Amount: 450-

*Please know that an application will not be
processed until payment has been received.

JAN 31 2024

☒ Paid: CK 56640

PLANNING AND ZONING BOARD

VARIANCE AND CONDITIONAL USE APPLICATION

Property Address: 2220 Baltimore-Reynoldsburg Rd	Parcel ID#(s): 0440379200
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I. PROPERTY OWNER OF RECORD

Property Owner Name(s): Reynoldsburg Duchess LLC	
Contact Email: john.gordon@englefieldoil.com	Contact Phone Number: 1-800-282-1675

II. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Duchess	Contact Name: John Gordon / Steve Sidwell
Contact Email: Steven.Sidwell@englefieldoil.com John.gordon@englefieldoil.com	Contact Phone Number: 1-800-282-1675
Description of Use: Gas Station / Convenience Store	

III. APPLICANT INFORMATION

Applicant Name: Kessler Sign Co	Applicant Address: PO BOX 785, Zanesville OH 43702
Applicant Phone Number: 740-453-0668	Applicant Email: ashley@kesslersignco.com
☐ Property Owner ☐ Business Owner/Tenant ☒ Contractor ☐ Architect/Engineer ☒ Owner's Consent Attached.	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE: ☒ Variance ☐ Conditional Use ☐ Variance or Conditional Use Extension (\$50)

☐ Residential (single-family residential only)(\$200) ☒ Non-Residential (all residential except single-family residential)(\$450) ☐ Engineering Report (\$750 [min.])

Per Section 1105.03(C)(vii)(1) One wall sign is allowed
per building facade. We are asking for
1 wall sign and letters on the canopy.

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: Ashley Kessler Date: 01.25.24

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information Additional Approval Required
Zoning District: ☐ Major/Minor Site Plan
☐ Olde Reynoldsburg District ☐ Other: _____

PZB Meeting
Date: _____
☐ Approved as Submitted
☐ Approved w/ Conditions
☐ Tabled
☐ Denied

P&Z Administrator: _____ Date: _____

Englefield Oil Co.

447 James Parkway • Heath, Ohio 43056
740.928.8215
www.englefieldoil.com

To whom it may concern,

Kessler Sign Company has permission to install and represent Englefield Oil in any manner concerning the signage at our Duchess convenient store located at:

2220 Baltimore-Reynoldsburg Rd
Reynoldsburg, OH 43068

JAN 31 2024



Steve Sidwell
Construction Manager
Englefield, Inc.
1935 James Parkway
Heath, Ohio 43056
W: (740) 928-8215 ext.4320
Direct: (740) 527-2859

Statement of Hardship

JAN 31 2024

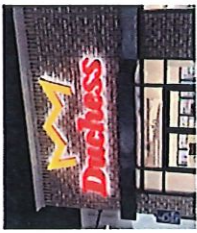
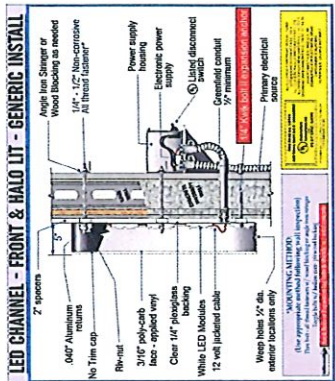
This property is located at 2220 Baltimore-Reynoldsburg Rd, Reynoldsburg Oh 43068.

We are asking for 2 wall signs. One set of channel letters and 1 set of 4 1/4" non-illuminated sintra letters on the canopy, which is the new branding for the new and existing stores. The lettering on the canopy is only for visibility for the customers at the gas pumps and customers walking into the store. The letters on the canopy will not be easily seen from Route 256 because of the size of the letters and the gas canopy will block visibility. There are other businesses such as: O'Charley's, the Mount Carmel building, and T.G.I.Friday's that have lettering on their canopies and wall signs. The lettering on the BP canopy will compliment other businesses in the area. The channel letters "Crown and Duchess" logo are needed to help guide customers to the business.



Duchess

PAINTED RETURNS	
PANTONE 1795C	407DS
PANTONE 110C	
TRANS. VINYL FACES	
ORACAL 8500-031 RED	
AVERY 8500-214-001 LOW	
JACKET	



LED ILLUMINATED NIGHT VIEW EXAMPLE

SALESMAN | **Rodger Kessler**

DESIGNER | **Jared Faber**

SALESMAN INITIAL OF APPROVAL |

X _____

☐ GLOSS ☐ SATIN

☐ SEMI-GLOSS ☐ FLAT

2
1

CIRCUITS | 1

VOLTAGE | 120V

UL

ULC#E16647

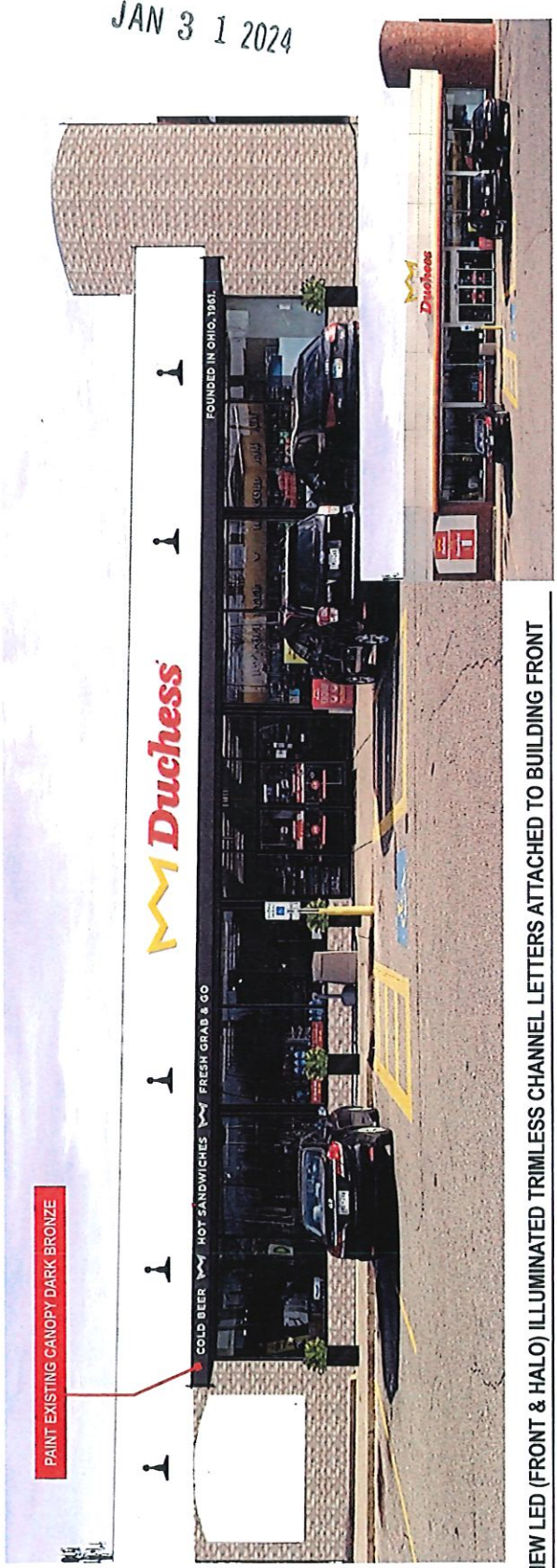
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2649 NATURAL ROAD
PO BOX 0705
ZANESVILLE, OHIO 43701-0705
740-453-9668 1-800-686-4870

THE KESSLER DESIGN GROUP



NEW LED (FRONT & HALO) ILLUMINATED TRIMLESS CHANNEL LETTERS ATTACHED TO BUILDING FRONT

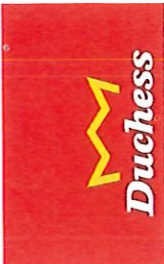
SCALE: 1/2" = 1'

Duchess

CLIENT | Englefield

LOCATION | #632 Reynoldsburg

SWED AS | Englefield, 632, Reynoldsburg



CLIENT | Englefield
LOCATION | #632 Reynoldsburg
SAVED AS | Englefield_632_Reynoldsburg

DATE | 11/22/23
REVISIONS |

SALESMAN | Rodger Kessler
DESIGNER | Jared Faber

SALESMAN INITIAL OF APPROVAL |
X

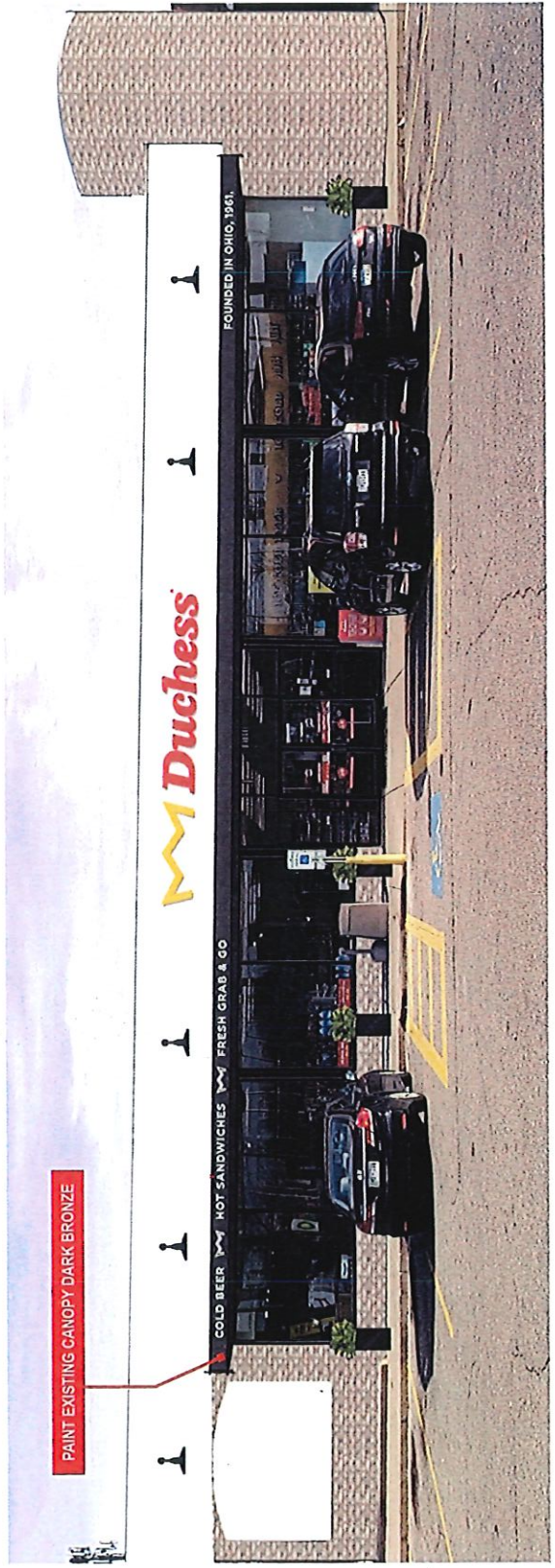
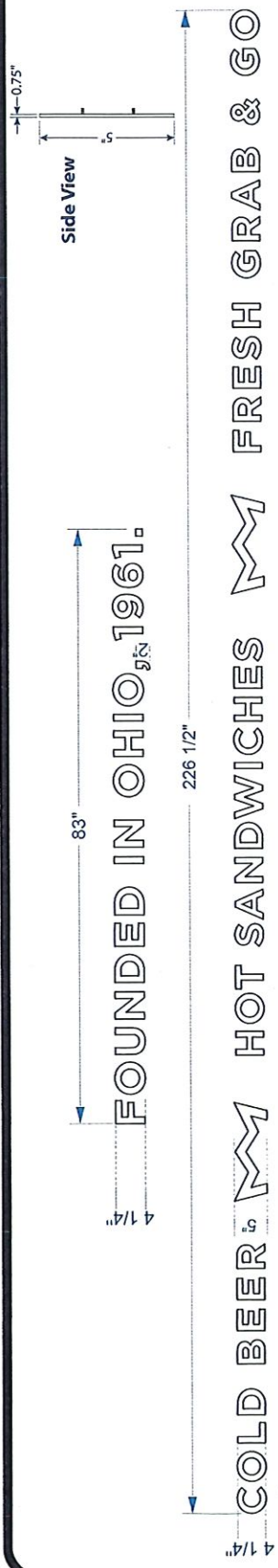
☐ GLOSS ☐ SATIN
☐ SEMI-GLOSS ☐ FLAT

JAN 3 1 2024
2

CIRCUITS | 1
VOLTAGE | 120V
LIC#E156647

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THE KESSLER
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FOUNDED IN OHIO, 1961.



NEW PVC LETTERING PIN MOUNTED TO EXTERIOR AWNING

SCALE: 1/2" = 1'



Imagery ©2023 Airbus, Map data ©2023 Google 20 ft

JAN 3 1 2024



Imagery ©2023 Airbus, Map data ©2023 Google 20 ft

JAN 31 2024

JAN 31 2024

Taylor Square Owner LLC
250 Civic Center DR Ste 500
Columbus OH 43215

Agree Limited Partnership
70 E Long Lake Rd
Bloomfield Hills MI 48304

LC Reynoldsburg LLC
222 S Central Ave Ste 300
St Louis MO 63105

True North Energy LLC
1041 S Reynolds RD
Toledo OH 43615

PAYMENT DATE
01/31/2024
COLLECTION STATION
Building Counter Computer
RECEIVED FROM
KESSLER SIGN
COMPANY
DESCRIPTION

City of Reynoldsburg
7232 E. Main Street
REYNOLDSBURG, OH 43068

BATCH NO.
2024-01000199
RECEIPT NO.
2024-00004761
CASHIER
Lisa Figueroa

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT						
PERMIT PAYMENT	PERMIT PAYMENT Permit Type and Number ZONING VARIANCE - 2024-00000052	\$450.00						
Payments:	<table><tr><th>Type</th><th>Detail</th><th>Amount</th></tr><tr><td>Check</td><td>56640</td><td>\$450.00</td></tr></table> Total Cash\$0.00 Total Check\$450.00 Total Charge\$0.00 Total Wire\$0.00 Total Other\$0.00 Total Remitted\$450.00 Change\$0.00 Total Received\$450.00	Type	Detail	Amount	Check	56640	\$450.00	
Type	Detail	Amount						
Check	56640	\$450.00						
	SITE COPY							
	Total Amount:	\$450.00						
Customer Copy								

February 26, 2024

Planning and Zoning Board
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: Aurtec Designs LLC/Victor Nduaguba & Ugo Nwoke; 441 Waggoner Road: Major Site Plan Application

Planning and Zoning Board:

Below is the staff review of the above referenced Major Site Plan Application.

1. Project Summary

- a. The subject site is located at 411 Waggoner Road. The 5.3 acre lot is zoned SR, Suburban Residential District. A Major Site Plan has been submitted for the site which consist of 5 parcels (060-009335, 060-009339, 060-009338, 060-009337 & 060-009336).
- b. The subject site currently consist of vacant land and detached single-family dwellings on the subject site. There is also an AEP power line that runs through the northern portion of the parcels with a 100 foot easement, and an existing stream along the southeastern corner of the site. There is also a dense woodland located toward the back half of the subject site.
- c. The surrounding zoning consists of SR, Suburban Residential, to the north, west, and south of the subject site. The zoning to the east and south of the site is zoned R, Rural (Franklin County). The surrounding land uses consists of detached single-family residences.
- d. The applicant has submitted a Major Site Plan application with the intended land use of a Major Subdivision. The applicant is proposing 11 detached single-family homes that will be connected by a private road (Fongod Court). The proposed subdivision is intended to have access from Waggoner Road.
- e. Staff has been working with the applicant since November of 2022 to address staffs comments regarding information needed for the Major Site Plan Application. Staff has reviewed multiple versions of the Major Site Plan and majority of staffs comments have not been addressed. Attached are the previous set of comments from staff with the applicants response, along with this staff report with the remaining open comments.

2. Project Review, Major Site Plan

Submittal Requirements where the general review requirements are not met:

- a. *The limits of all wetlands and of the one hundred (100) year flood plain.*
 - i. Not shown on the existing conditions plan. Please show in relation to subject site/parcel.

- b. *The approximate location, dimensions, and area of all property proposed to be set aside for parks, open space, and other public or private reservation, with designation of the purpose and proposed ownership thereof.*
 - i. The site identifies the entire area (square footage) of the site, but does not address the area of parks, open space, designated purpose of all of the parcels. The square footage for all land uses does not equal the total square footage of the entire site.
 - ii. Each parcel should identify the lot coverage of the site, to ensure that the maximum lot coverage is not exceeded per Section 1103.17 development standards.
 - iii. There are also parcels that are not identified for a specific use or what their intended land use is for.
- c. *The location and type of all new landscape material and plantings, including street trees. Utilities shall be shown on all landscape plans.*
 - i. The Utility location is not indicated on the landscape plan.
- d. *All existing conditions, including but not limited to ditches, culverts, waterways, utilities, sidewalks, power poles, easements, building footprint and finish grade, finish grade of adjacent buildings, wetlands, and woodlands, etc.*
 - i. With the exception of the building footprints, the other items required - including ditches, culverts, power poles, finished grade of adjacent buildings, and wetlands - are not shown. This is required to be shown per Section 1109.17.C.ii.4
- e. *The location of all proposed walkways and pedestrian accesses within or to the site.*
 - i. The concrete walk proposed on the site plan states the concrete walk will be 5 feet wide and extends to Waggoner Road. The concrete walk on the utility plan and landscape plan state the concrete sidewalk will be 4 feet wide and does not extend to Waggoner Road.
 - 1. Provide plans that are consistent throughout the multiple plan sets.
- f. *Preliminary proposals for connection to existing water supply and sanitary sewer systems and for the collection and discharge of surface water drainage including the location and size of existing and proposed water mains, sanitary sewers, and drainage facilities.*
 - i. Size of sanitary, storm, and water lines and service connections not indicated. Please also see engineering's comments regarding this information that needs to be addressed.
- g. *All exterior lighting shall be shown, including parking lot, pedestrian, and building accent lighting. Lighting intensity and installation height shall be indicated. The styles and method of illumination of all heads and colors of all poles shall be indicated as well.*
 - i. Color of all poles not indicated on lighting plan. Please provide required color that is used for all residential developments within the

development handbook for the City of Reynoldsburg.

- h. **Lot Coverage (Max.):** *The maximum lot coverage in the SR, Suburban Residential district is 60%.*
 - i. The lot coverage, including all impervious surface is not indicated on the data table. Please identify the square-footage of all impervious surfaces (private street, driveways, walks, home footprints) and indicate % coverage of the total site area. This is required for each proposed parcel within the proposed Major Site Plan.
- i. Development Standards:
 - i. *Minimum lot dimensions shall be 50 feet wide x 100 feet deep.*
 - 1. The proposed lots are 60 feet wide x 141 feet deep min., up to 160 feet deep (as measured to the southern property line). A right-of-way line is shown on both sides of Fongod Court, but the side lot lines are shown extending through the line labeled right-of-way to the southern property line instead of terminating at the right-of-way.
 - 2. It is also not clear if the property line is what is identified as the front lot property line, or it extends all of the way to the southern property line.
 - 3. With the front lot property line identified, that leaves an additional 11 parcels on the site, which do not meet the minimum lot dimensions, if that is where the parcel ends.
- j. **Setbacks:** *Minimum required setbacks are 20 ft. front, 5 ft. side and 30 ft. rear.*
 - i. Although the front setbacks vary, the proposed minimum setbacks shown are 20'-5" front, 5 ft. side, and 30 ft. rear. The front setbacks was measured from the front building face to what is labeled as the right-of-way for Fongod Court.
 - 1. Building 11 appears to not be measured from the closest point to the identified right-of-way on the site plan. Please measure the setback from the right front edge of the building to the right-of-way (if looking at the plans). It is unclear if the required 20 foot setback is met since the proposed private road curves upward toward the building.
- k. **Height:** *Building height is measured as the vertical distance measured from the average elevation of the proposed finished grade at the front of the building to "the midpoint of any pitched gable, hip or the upper portion of a gambrel roof." The maximum height of a building in the SR District 35 feet.*
 - i. The site plan states a maximum building height of 31 feet, but the elevations show a maximum building height of 29 feet. Building height should be indicated on the elevation drawings as measured from the midpoint of the roof.
 - 1. Please provide the correct height, along with a consistent number for the building height throughout the plans where mentioned.

I. Circulation:

i. *Minimum cul-de-sac radius should be confirmed with the fire department plans examiner.*

1. No conformation from the fire department's plans examiner was submitted.

ii. *Private streets must include documentation of the responsible party for maintenance.*

1. No maintenance agreement provided, assuming the proposal is for a private street. This is a requirement of the Major Site Plan, please provide.

iii. *A 4 ft. sidewalk shall be provided along the street.*

1. A 5 foot sidewalk is shown, however the utility and landscape plan state the sidewalk to be 4 feet. The sidewalk measurement should be consistent throughout all plans.

m. **Signage:** A monument sign is identified in the median at the entry within the public right-of-way.

i. The monument sign will need to be located on the subject parcel meeting all signage requirements found in Section 1105.03 of the Zoning Code.

1. Please know that signage is a separate permitting process, will need its own sign permit application submittal prior to any signage being placed on the subject site.

n. **Interior Lot Landscaping:** *All residences and residential land uses, per dwelling unit, there must be planted one- half inch (1/2") in trunk diameter for everyone 3,000 square feet of lot size or fraction thereof, with a minimum of two inches (2") of total trunk diameter.*

i. Each lot is required 2.34" of trunk diameter. The plan provides two (2) 1.75" caliper trees per lot (3.5" trunk diameter per lot). Please know that each tree will need to meet the minimum diameter of 2", which it currently does not at 1.75".

o. **Architecture:** The application meets the submittal requirements for architectural review with the following exception:

i. *Design window recesses, window trim, and other window elements to create architectural interest. Incorporate at least one of the following window features throughout the project:*

1. *Minimum depth of at least two inches from glass to exterior of trim.*

a. Not in sufficient enough detail to determine.

2. *Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern).*

a. Not in sufficient enough detail to determine.

3. *Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth.*

- a. Not in sufficient enough detail to determine.
- p. **Parking:** *The driveway states it will be concrete or asphalt.*
 - i. Both materials are permitted driveway materials, however with a Major Site Plan the specific type of material needs to be identified, due to the applicant being held to the approved Major Site Plan.
 - 1. Please clarify the intended type of driveway material.

Submittal Requirements where the general review requirements are met:

- q. All plans shall be signed and sealed by a professional engineer, architect, or *landscape architect registered with the State of Ohio.*
 - i. Signature Provided
- r. *The current zoning of the parcel and all adjacent parcels.*
 - i. Zoning of adjacent parcels are shown.
- s. *The location of all existing structures with one hundred fifty feet (150FT) of parcel.*
 - i. Adjacent structures are shown.
- t. *Topography with a maximum contour interval of two feet (2FT).*
 - i. Topography at one-foot intervals are shown.
- u. *Exterior building design and surface treatments shall be indicated, including building material and color. Color and material samples shall be made available for inspection upon request.*
 - i. Building design and surface treatments shown.
- v. **Circulation:** The minimum pavement width of private streets shall be 26 feet.
 - i. The minimum pavement width of 26 feet for a private street is met.
- w. **Tree Replacement:** Trees equal to or greater than 18" diameter-at-breast-height (DBH) removed shall be replaced with one (1) tree, having a minimum caliper of one and three-quarters inch (1 3/4") as measured one foot (1') above ground level. The provided tree survey indicates 3 trees over 18" DBH to be removed, requiring 3 replacement trees.
- x. **Street Tree Requirements:** Street trees are required along both sides of the street. The proposed street trees are 2" caliper *Gleditsia triacanthos* var. *inermis* (Honey locust), a large shade tree. At maximum permitted spacing of 45 feet, 42 street trees are required and 43 trees are provided, which includes 4 existing trees to be preserved along the street.
- y. **Buffer Requirements:** N/A – all surrounding properties are the same zoning (SR – Suburban Residential) and are residential uses.
- z. **Parking Area Landscaping:** N/A
 - aa. **Parking Perimeter Landscaping:** N/A
 - bb. **Screening and Landscaping for Service Structures:** N/A
 - cc. **Exterior Lighting:** The average horizontal illumination level on the ground shall not exceed three foot-candles (3FC). The light level along a property line adjacent to a residentially zoned or used property shall not exceed an average intensity of one-half foot-candles (0.5FC).

- i. Streetlights are proposed along the private street. The photometric plan indicates that average foot-candles for the various areas of the site will be 0.4-foot candles or less. The point calculations indicated along the south property line shared with an adjacent residential use appear to comply with the 0.5 FC maximum.
- ii. The proposed light fixture will be the standard city light fixture, with a pole height of 14 feet.

3. Recommendations

- a. Staff has been working with the applicant since November of 2022 to get a complete Major Site Plan application. Staff has reviewed multiple versions of this application and majority of staffs comments have been the same comments that have not been addressed. Staff also has concerns with engineering's comments not being met (please see engineering's staff report). A very specific concern staff has in regards to the engineering report, is the location of proposed utilities, and if the utility lines will meet the minimum spacing between utilities and their required easement locations compared to the building location. Some of the utility lines are located closely to the proposed building locations, which could affect the entire site layout, since buildings generally can not be placed in utility easements. Based on these reasons and the above listed deficiencies in the staff report(a through p) of the current application, staff recommends denial of this application as it is.
- b. If the Planning and Zoning Board would like to allow the applicant to provide all required materials/information needed, staff would be ok with holding this application at the applicants request, as long as a reasonable time period was set by the Planning and Zoning Board for the applicant to provide a complete application. Staff recommends that these comments be addressed by the May 2, 2024 meeting, following along the submission deadline of April 11. Staff recommends the application then would come before the Planning and Zoning Board to be reviewed again and a determination made.



Engineers, Surveyors, Planners, Scientists

MEMO

Date: February 27, 2024

To: Ms. Phoenix Buathier, Planning & Zoning Administrator - City of Reynoldsburg

From: Scott Shaffer, PE

Subject: Staff Report for: 441 Waggoner Road

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director;
Eric Meyer, Director of Development; Ryan Andrews, City Engineer

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the project located at 441 Waggoner Road. **Please note that we have reviewed the site and utility plan for this project twice previously and the majority of comments have not been addressed. The utilities as shown are not acceptable and should be adjusted prior to moving to the PGU phase.**

The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site plan is proposing eleven (11) single family dwelling units to be accessed from a new roadway which will connect to Waggoner Road. Currently, there appears to be two (2) homes in this location which share a driveway off of Waggoner Road.
2. The site is currently composed of multiple parcels which will need to be combined or adjusted via a plat. Please confirm with the Development Department regarding the requirements for this.
 - a. Based on the City's GIS and the Franklin County Auditor, there appears to a parcel or strip of land that was previously intended to be a private road roadway or public right-of-way. It is shown on City GIS as "Ofosia Court". This is in a similar location to the proposed roadway on the site plan.
3. The proposed roadway is shown with a width of 26-feet. This would be adequate for two-way traffic if it is a private roadway, but no on-street parking will be permitted (unless allowed by the fire department). Per comment responses, we understand the desire is for the road to be private. An access easement will be required over the roadway and should be dedicated/deeded to the HOA for maintenance of the roadway.
 - a. The proposed parcel lines are shown going through the roadway. This is not typical, but can be done if desired by the applicant. As noted above, an easement is needed over the roadway to provide access to all residents and to the HOA for maintenance.
4. The entrance on Waggoner Road shows a median with inbound and outbound lanes. The inbound lane (north) is shown as approximately 27-feet wide and the outbound lane (south) is shown as approximately 24-feet wide. These lane widths are extremely wide in comparison to a typical entrance with median which may have minimum lane widths of 14-16 feet. Per the provided comment response, we understand the Truro Township Fire Department is acceptable to the entrance configuration.

5. Pavement composition shall meet the requirements as shown in the City's standard drawings.
6. A 5-foot wide sidewalk is shown along the north side of the proposed roadway.
 - a. Two ramps are shown within the cul-de-sac bulb which is redundant but acceptable.
 - b. It is unclear why a second ramp was added to the entrance area as the sidewalk does not connect to other pedestrian facilities.
 - c. The walk should stop at the existing Waggoner Road right-of-way. Future improvements to Waggoner Road will connect proposed pedestrian facilities to this walk as long as it is extended to the existing right-of-way.
7. The proposed roadway will be required to have curb on both sides. Type of roadway (public versus private) will dictate the allowable types of curb (straight versus curb & gutter).
8. Verify with Development if the 7-foot setback shown between the south property line and the roadway is adequate.
9. Per the comment response provided, we understand the fire department has reviewed and does not have concerns with the cul-de-sac diameter shown.
10. Based on proposed traffic data provided, a traffic study will not be required.
11. The site's proximity to the existing AEP overhead electric easement is noted. Please work with AEP to ensure all of their requirements are met.

UTILITIES

12. Water and sewer demand were included on the Facilities Demand Worksheet. The worksheet lists 4,400 gallons per day for water demand at 50 psi and 11,371 gallon per day for sewer flow.
13. Please note all utilities (water, sanitary sewer, storm sewer) must have minimum clearance of ten feet (10') to another utility (outside of pipe to outside of pipe) or to a structure. The current utility plan does not meet these requirements.
14. Sanitary sewer for the site is tributary to an existing 8-inch sewer stub (P01820) at Whitepine Ridge Court to the west. The existing manhole is shown on the utility plan. However, the manhole is shown on the subject property. GIS and record information indicate this manhole is on the adjacent property to the west.
 - a. The proposed sanitary sewer has been shown on the utility plan running in the rear of the proposed lots. Please note that the sewer must be clear of adjacent utilities or structure by a minimum of 10-feet.
 - b. The sewer will also need to be placed in an easement with minimum width of 20-feet.
15. The proposed water for the site is being provided via a tap of the existing 12-inch watermain (P01142) on the east side of Waggoner Road. An open cut of Waggoner Road will not be permitted. The water is currently shown in a loop on the north and south sides of the proposed units.
16. If the applicant wishes for the watermain to be public, it will need to be placed within an easement.
 - a. If the watermain is public, it will need to terminate in the cul-de-sac per City Standard Drawing WA-16.
 - b. If the watermain is private, a water meter with pit and backflow preventer located in an above ground enclosure will be required.
 - c. In either scenario, fire hydrants will be required along the roadway.
17. Street light locations have been shown on the site plan and a photometric analysis provided.

STORMWATER

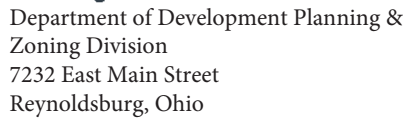
18. The site plan shows the location of a stormwater basin in the northwest corner of the site. Based on the site topography, this appears to be an adequate location. However, the ultimate outlet for the basin will need to be determined and shown (no outlet is currently shown). Based on a preliminary review, it appears the basin should outlet to the south through the Adams parcel to the existing

stream. There may potential for the outlet to go north and west, but this would need to be evaluated.

19. The proximity of the entrance road to the existing stream is noted. Based on FEMA Flood Insurance Rate Map 39049C0356K (June, 2008), the segment of stream adjacent to the roadway is not mapped.
 - a. Engineering Staff will require a study to show there will not be flood hazards associated with the placement of the roadway or development adjacent to the stream. The applicant should reach out to the City Engineer to discuss the requirements of the study.
20. Please provide a stormwater management report meeting the requirements of the City's current Stormwater Design Manual with supporting calculations and plan details with the PGU. Note that the manual was recently updated and now includes requirements for Stream Corridor Protection Zones (SCPZ).

DETAILS / SPECIFICATIONS

21. Where applicable, refer to Reynoldsburg Standard Construction Drawings on PGU plans.
22. Confirm with USPS if each unit will have an individual mailbox or if there will need to be a cluster box unit for the development. If the latter, please show location on the site plan and ensure adequate access and lighting.
23. For the wooded area on the western side of the proposed project, please provide evidence that there are no existing wetlands or environmental features on the site. If there are, please show that they are not being disturbed or the filling of these features will need to be permitted through Ohio EPA and/or US Army Corps of Engineers.
 - a. A FEMA firmette for the site was provided. A firmette only shows the floodplain/floodway information per FEMA records. To determine presence of wetlands, the applicant must do an investigation of the site area and provide proper documentation from an environmental scientist of the status of the area in question.



*Please know that an application will not be processed until payment has been received.

☐ Paid: _____

Property Address: 441 WAGGONER ROAD	Number of Lots:
Name of Plat: WAGGONER ROAD	Present Zoning:
Description of Location: SOUTH OF BROAD STREET AND NORTH OF RODEBAUGH ROAD	Present Use:
Parcel ID#(s): 060-009355, 060-009339, 060-009338, 060-009337, 060-009336	Existing Structures:
Complete Where Applicable: Engineer/Surveyor: _____ Builder/Developer: SONE INVESTMENTS LLC	_____

Property Owner Name(s):	Property Owner Address:
SONE INVESTMENTS LLC	6455 E LIVINGSTON AVENUE, REYNOLDSBURG OH

Applicant Name:	Applicant Address:
Aurtec Designs LLC/ VICTOR NDUAGUBA &UGO NWOKE	39 East Main Street, New Albany OH
Applicant Phone Number:	Applicant Email:
614 537 0261	ugonwoke@aol.com
☐ Property Owner ☐ Business Owner/Tenant ☐ Contractor ☒ Architect/Engineer ☐ Owner's Consent Attached.	

☒ **Major Site Plan** (\$500)
 ☐ **Engineering Review - Major Site Plan** (\$3,000 [min])
 ☐ **Traffic Access Study** (\$1,000)
 ☐ **Major Site Plan Amendments** (\$500)
 ☐ **Extension of Major Site Plan Approval** (\$50)

☐ **Minor Site Plan** (\$250)
 ☐ **Engineering Review - Minor Site Plan** (\$750 [min])
 ☐ **Traffic Impact Study** (\$4,000)
 ☐ **Administrative Changes for a Major Site Plan** (\$100)

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature:  Date: 02/02/2024

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

Additional Notes: 	<u>Additional Approval Required</u> ☐ Planning and Zoning Board ☐ Other: _____ <u>Zoning Information</u> Zoning District: _____ ☐ Olde Reynoldsburg District	PZB Meeting Date: _____ ☐ Approved as Submitted ☐ Approved w/ Conditions ☐ Tabled ☐ Denied
Clerk of Council: _____		Date: _____
Planning and Zoning Administrator: _____		Date: _____

Section 1109.17

MINOR SITE PLAN REQUIREMENTS

An application for a minor site plan shall be submitted for a development, building addition or site improvement which does not qualify as a major site plan in a commercial or industrial zoned district, or if in the professional opinion of the Planning & Zoning Administrator, the project warrants review.

ADDITIONAL MATERIALS CHECKLIST	
This application shall be accompanied by seven (7) copies of plan(s) to scale showing:	
1. A vicinity map showing the location of the proposed development in relationship to the surrounding area including major thoroughfares.	☒
2. The dimensions of property lines, parcel dimensions, and adjoining rights-of-ways.	☒
3. The current zoning of the parcel and all adjacent parcels.	☒
4. The location of proposed building and structures.	☒
5. The location of existing water bodies, streams, drainage ditches, stands of trees and other pertinent features within one hundred fifty (150') feet of development.	☒
6. Setbacks and building separations shall be noted in accordance with zoning requirements.	☒
7. A landscape concept plan, including approximate location of all new landscape material and plantings, that addresses the applicable district requirements.	☒
8. A transportation and parking plan, including location and number of all parking and loading spaces and location of all proposed walkways and bike/pedestrian access points	☒
9. An architectural plan, including exterior building materials, colors and lighting features	☒
10. Such other information as the Planning & Zoning Administrator may require so as to carry out the full intent of the Zoning Code.	☒
11. A digital submission of all applications and plans are required. Submit a digital copy on a flash drive or email copies to both permits@reynoldsburg.gov AND developmentdepartment@reynoldsburg.gov	☒

Overview

The following checklist of requirements is to be used to assist in site plan preparation. An application for major site plan review shall be submitted to the Planning & Zoning Administrator at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning and Zoning Board.

(1) General Requirements

- ☒ Completed application form.
- ☒ All plans shall be signed and sealed by a professional engineer, architect, or landscape architect registered with the State of Ohio.
- ☒ Each sheet shall contain a title block.
- ☒ A vicinity map showing the location of the proposed development in relationship to the surrounding area including major thoroughfares.

(2) Site Plan. A site plan indicating the following:

- ☒ The dimensions of property lines, parcel dimensions and adjoining rights-of-way.
- ☒ The current zoning of the parcel and all adjacent parcels.
- ☒ The location of proposed buildings and structures.
- ☒ The location of existing water bodies, streams, drainage ditches, stands of trees and other pertinent features within one hundred fifty feet (150FT) of the proposed development.
- ☒ Setbacks and building separations shall be noted in accordance with zoning requirements.
- ☒ The location of all existing structures with one hundred fifty feet (150FT) of parcel.

(3) Environmental/Landscape Concept Plan. A Landscape Plan that indicates the following:

- ☒ Topography with a maximum contour interval of two feet (2)
- ☒ The limits of all wetlands and of the one hundred (100) year flood plain.
- ☒ The approximate location, dimensions, and area of all property proposed to be set aside for parks, open space, and other public or private reservation, with designation of the purpose and proposed ownership thereof.
- ☒ The location and type of all new landscape material and plantings, including street trees. Utilities shall be shown on all landscape plans (Section 1105.07).

(4) Utility Plan. A basic utility plan that indicates the following:

- ☒ All existing conditions, including but not limited
- ☒ Preliminary proposals for connection to existing water supply and sanitary sewer systems and for the collection and discharge of surface water drainage including the location and size of existing and proposed water mains, sanitary sewers and drainage facilities.
- ☒ Complete "Facilities Demand Worksheet".
(See attached)

(5) Parking/Transportation Plan.

A transportation/parking plan that indicates the following:

- ☒ The location, width, names, and classification of existing and proposed streets, rights-of-way, and easements, and where pertinent, their designated use within one hundred fifty feet (150') of the proposed development.
- ☒ The location, typical dimensions, and number of all parking and loading spaces and the number of spaces required by Table 1105.01(A).
- ☒ The location of all proposed walkways and pedestrian accesses within or to the site.
- ☒ The location of all service areas or structures and associated screening (Section 1105.01).

(6) Architectural Plan. An architectural plan that indicates the following:

- ☒ Exterior building design and surface treatments shall be indicated, including building material and color. Color and material samples shall be made available for inspection upon request.
- ☒ All exterior lighting shall be shown, including parking lot, pedestrian, and building accent lighting. Lighting intensity and installation height shall be indicated. The styles and method of illumination of all heads and colors of all poles shall be indicated as well.

(7) A completed zoning certificate application and fees as required.

(8) Such other information as the Planning & Zoning Administrator or Planning Commission may require so as to carry out the full intent of the Zoning Code.

Major Site Plan – Final Submittal Checklist

- ☒ Eleven (11) complete sets of physical plans and One (1) electronic set of plans satisfying the requirement items 1-8. All plans to be in 11" x 17" size.
- ☒ PDF or similar scan of completed application and submittal packet, to be submitted by CD or other electronic means in coordination with the Planning & Zoning Administrator.
- ☒ Payment for the amount noted on the application form: "Plan Review Fee Schedule – Major Site Plans."
- ☒ Traffic evaluation, as stated on the attached "Facilities Demand Worksheet".

1. Water:

a) What will the total demand for water be in gallons per day (gdp) for this proposed site improvement?

4,400 gdp

b) How much pressure is required?

50 psi

Coordinate with the City Engineer to determine if a Water Usage/Flow Study is required.

2. Sanitary Sewer

a) What will the total anticipated flow in gallons per day for this proposed site improvements?

11,371 gdp

Coordinate with the City Engineer to determine if a Utility Study is required.

3. Traffic

a) Definitions:

i) Traffic Access Study: This type of study is to be used for small scale projects generating 50- 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. These studies are applicable to projects that do not have a significant impact on the overall transportation system, but will have impacts on site access points. Analysis is typically limited to review of access point location, type, and size. Analysis of turn lane requirements on the public road at the proposed access point may also be reviewed.

ii) Traffic Impact Study: An impact study is to be completed for uses that generate more than 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. This type of evaluation usually includes all access points and nearby intersections. The scope of the Traffic Impact Study is to be determined by affected agencies and the Applicant.

iii) Regional Traffic Analysis: This type of analysis is suited for large scale or groups of smaller projects that impact a large geographical area significant enough in the judgment of City to require an evaluation of impacts on a Comprehensive or Thoroughfare Plan Scale. Road segments, intersections, and perhaps alternative road networks shall be analyzed and long term needs identified. The scope is to be determined by affected agencies and the Applicant.

b) What are the anticipated Average Daily Traffic (ADT), Generator Peak Traffic, Adjacent Street Peak Traffic volumes, generated by the site improvement and what are the Peak Hours of operation (using ITE Trip Generation Manual).

		<u> </u> ADT Peak
Generator Peak	Adjacent Street Peak	Hour
<u>12,764</u> AM	<u>3927</u> AM	<u>22</u> AM
<u>12,764</u> PM	<u>3927</u> PM	<u>22</u> PM

c) USE FOR ZONING DISTRICT CHANGES: Is a zoning district being requested for uses that can generate 200 or more peak hour trip ends that the current zoning does not anticipate?

 Yes, Traffic Impact Study or Regional Traffic analysis is required. No,

 Traffic Access Study Required.

d) USE FOR MAJOR SITE PLANS: Check the following as applicable to the site development:

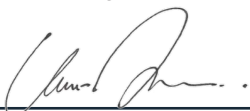
 There are 200 or more Peak Hour trips anticipated
(Traffic Impact Study or Regional Traffic Study is required.)

 There are between 50-200 Peak Hour trips anticipated.
(Traffic Access Study is required.)

 X There are less than 50 Peak Hour trips anticipated (No additional requirements)

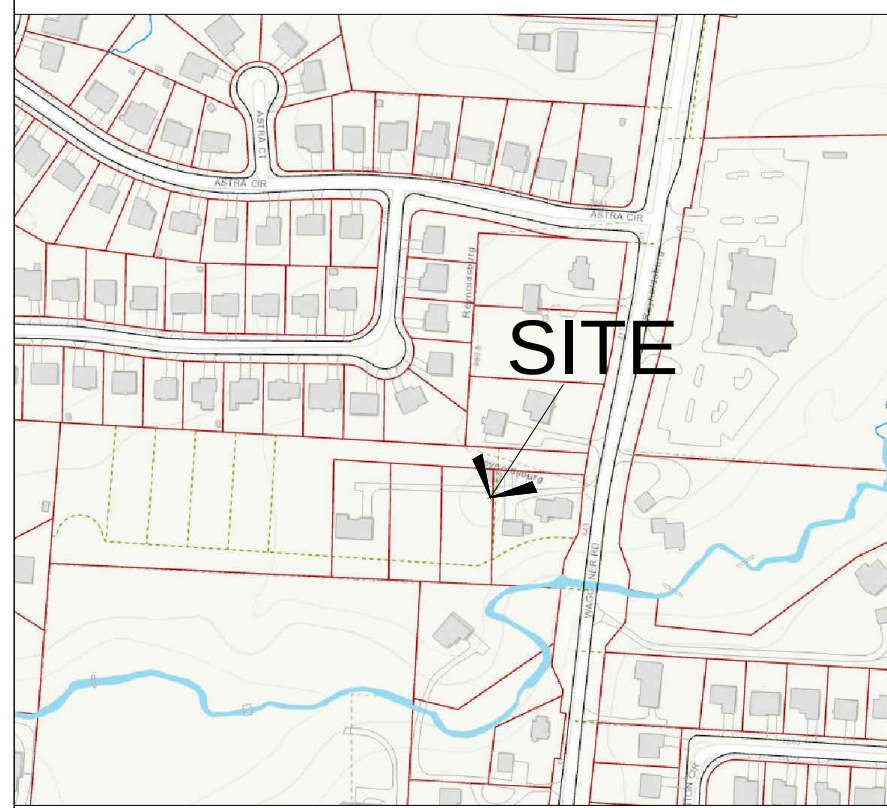
e) The information presented in this section is to assist the applicant with the requirements for traffic analysis within the City of Reynoldsburg. The City reserves the right to change these requirements if special conditions exist. If a Traffic Impact Statement or Regional Traffic Analysis is required, the applicant and the City Engineer must schedule a scope verification meeting with the City and any other local, state, or federal agencies affected by the proposed site improvements.

I certify that the information provided with this application is correct and accurate to the best of my knowledge, in filing this application with the City of Reynoldsburg.

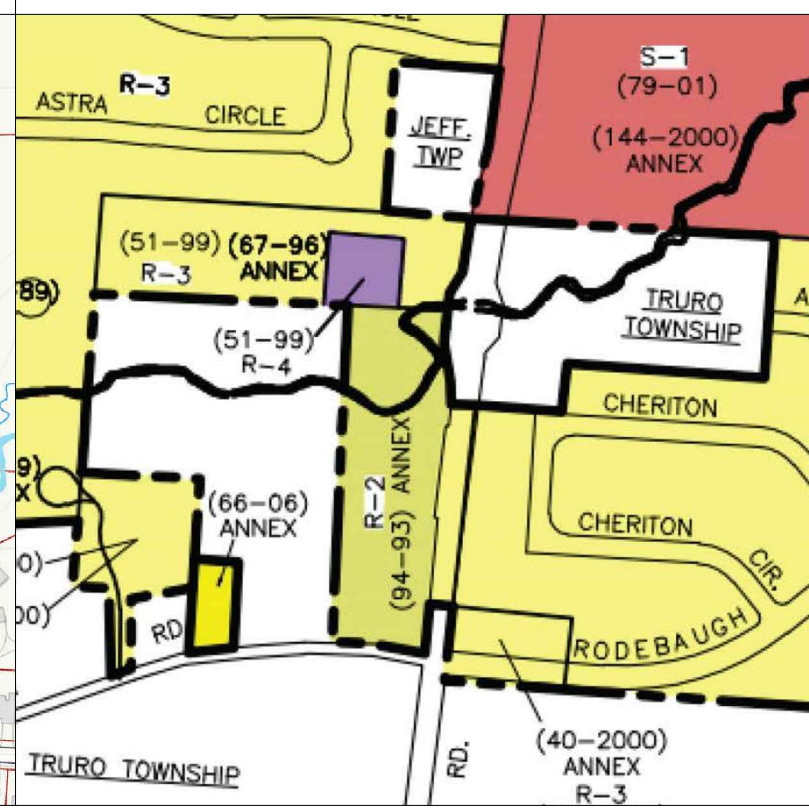

Applicant's Signature

02/02/2024
Date

VICINITY MAP



VICINITY ZONING



ZONING AND CODE INFORMATION

PARCEL NUMBER: 060-009335 -00

ZONING CLASS / LAND USE: SR- SUBURBAN RESIDENTIAL

SIZE OF SITE: 5.3 ACRES

LEGAL DESCRIPTION: 441 WAGGONER ROAD, REYNOLDSBURG OH 43068

EXISTING USE GROUP: 500- VACANT PLATTED RES LAND

NEW USE GROUP: 511- ONE FAMILY DWLG

OCCUPANT LOAD: NOT APPLICABLE

BUILDING CODE USED: 2019 RCO

CONSTRUCTION CLASSIFICATION: V - B

SPRINKLER: NONE REQUIRED

NUMBER OF FLOORS: TWO

AREA OF BUILDING: 2,765 SQ FT (VARIOUS)

AREA TO BE ADDED: N/A

AREA OF SITE: 230,868 SQ FT

PROPERTY CLASS: RESIDENTIAL

TAX DISTRICT: 060 - CITY OF REYNOLDSBURG

SCHOOL DISTRICT: 2509 - REYNOLDSBURG CSD

NEIGHBORHOOD: 06912

INDEX

A001 EXISTING SITE PLAN

A005 PROPOSED SITE PLAN

A010 ELEVATION TYPE 1

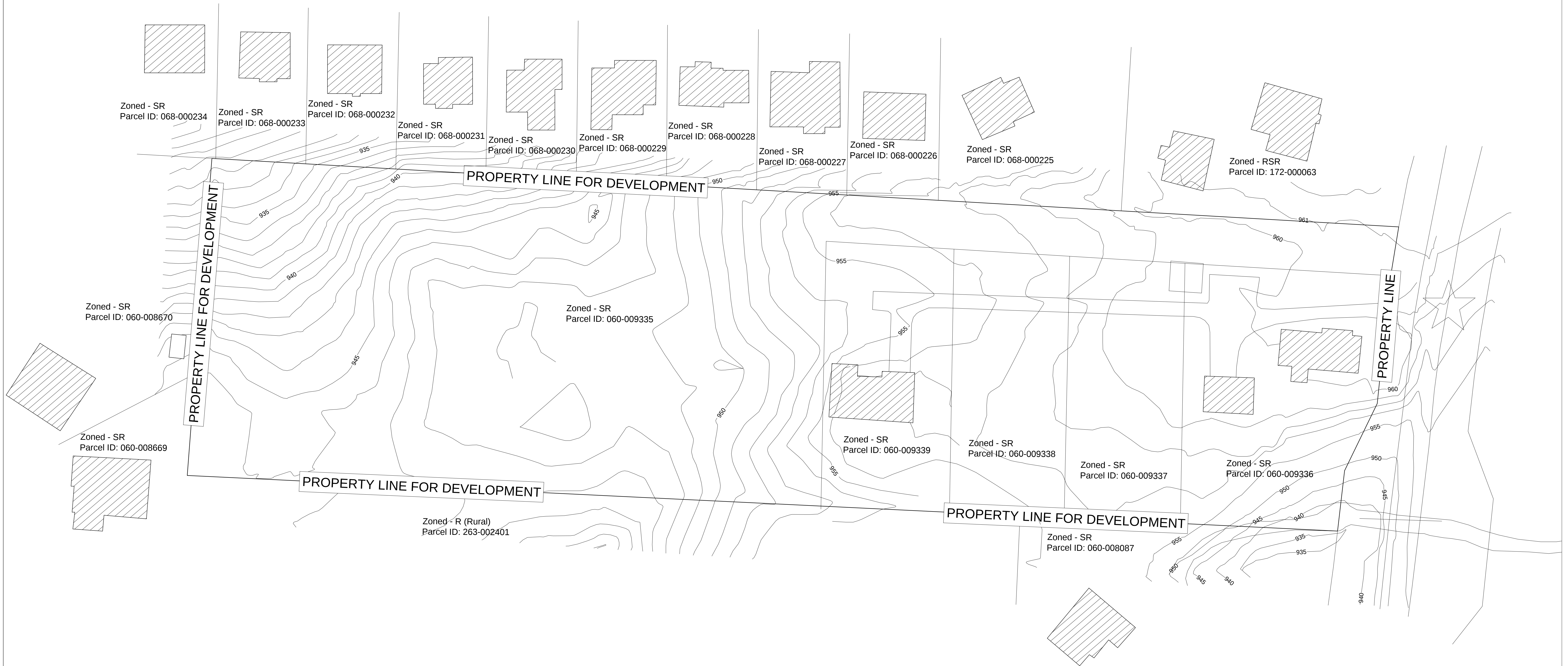
A011 ELEVATION TYPE 2

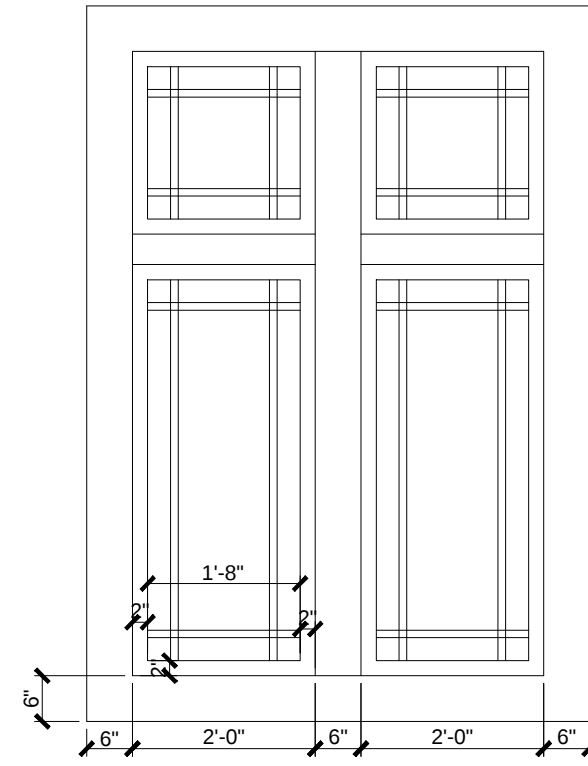
LT100 PHOTOMETRIC PLAN

C100 UTILITY LAYOUT PLAN

L001 PROPOSED LANDSCAPE PLAN

L002 TREE PRESERVATION PLAN

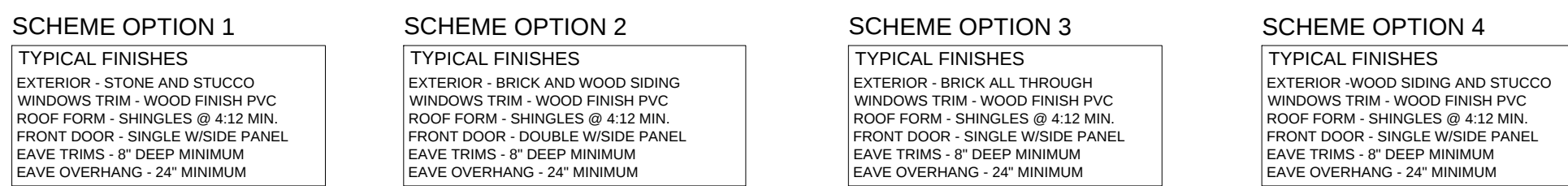




2 TYPICAL WINDOW TRIM
1/2" = 1'-0"

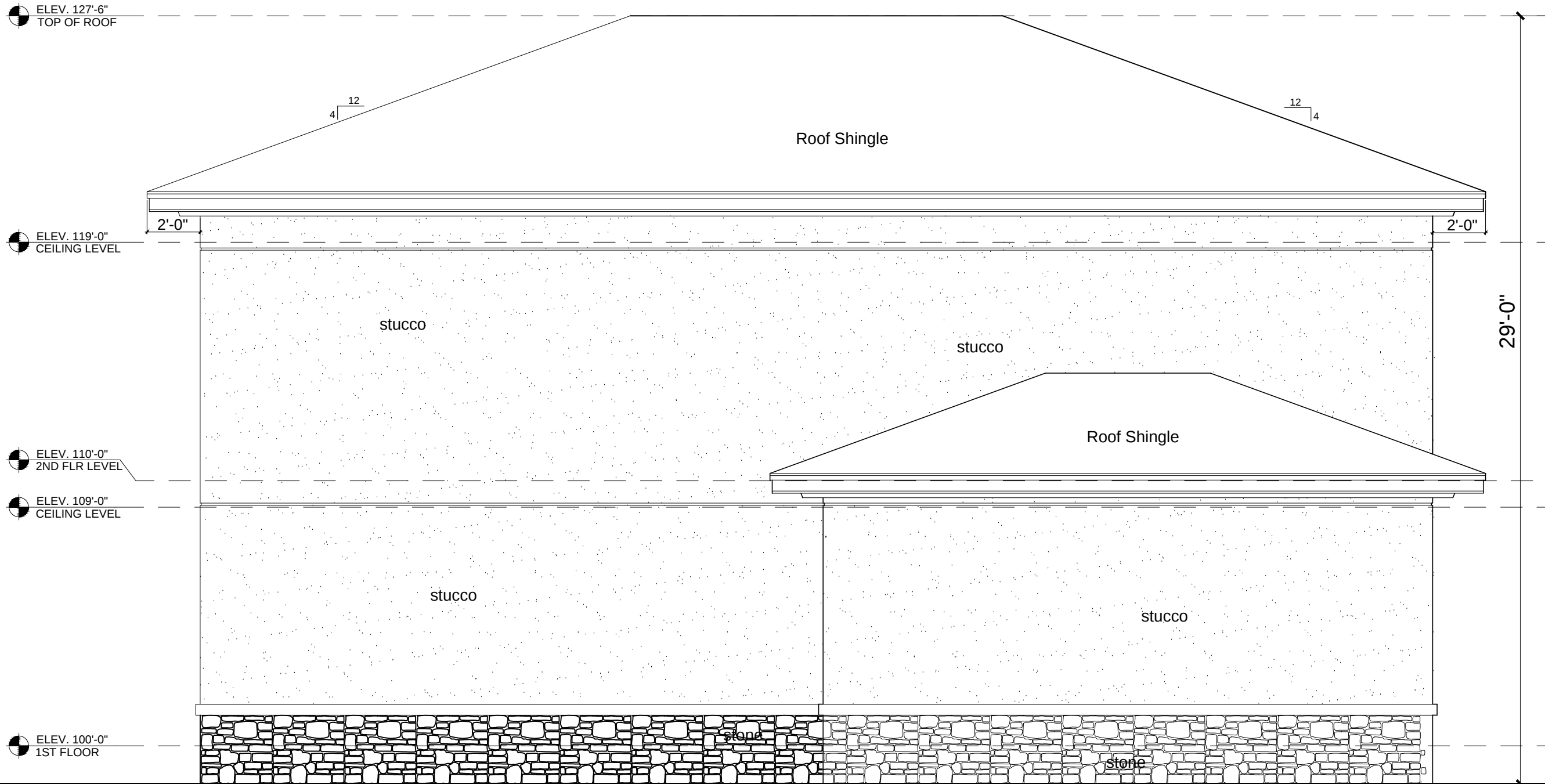
SITE ZONING NOTES

NUMBER OF UNITS =	11 SINGLE FAMILY DWELLING WITH DRIVEWAYS
LOT CHARACTERISTICS =	SINGLE FAMILY LOTS : = 60'-0" WIDE = 30'-0" REAR SETBACK = 5'-0" SIDE SETBACK
PARKING CHARACTERISTICS =	SINGLE FAMILY LOTS : = 2 GARAGE SPACES PER UNIT = 16'-0" WIDE DRIVEWAY
BUILDING SQ FT =	SINGLE FAMILY UNITS : 2,800 TO 3,200 4 BEDROOMS
MAXIMUM BUILDING HEIGHT =	31'-0"

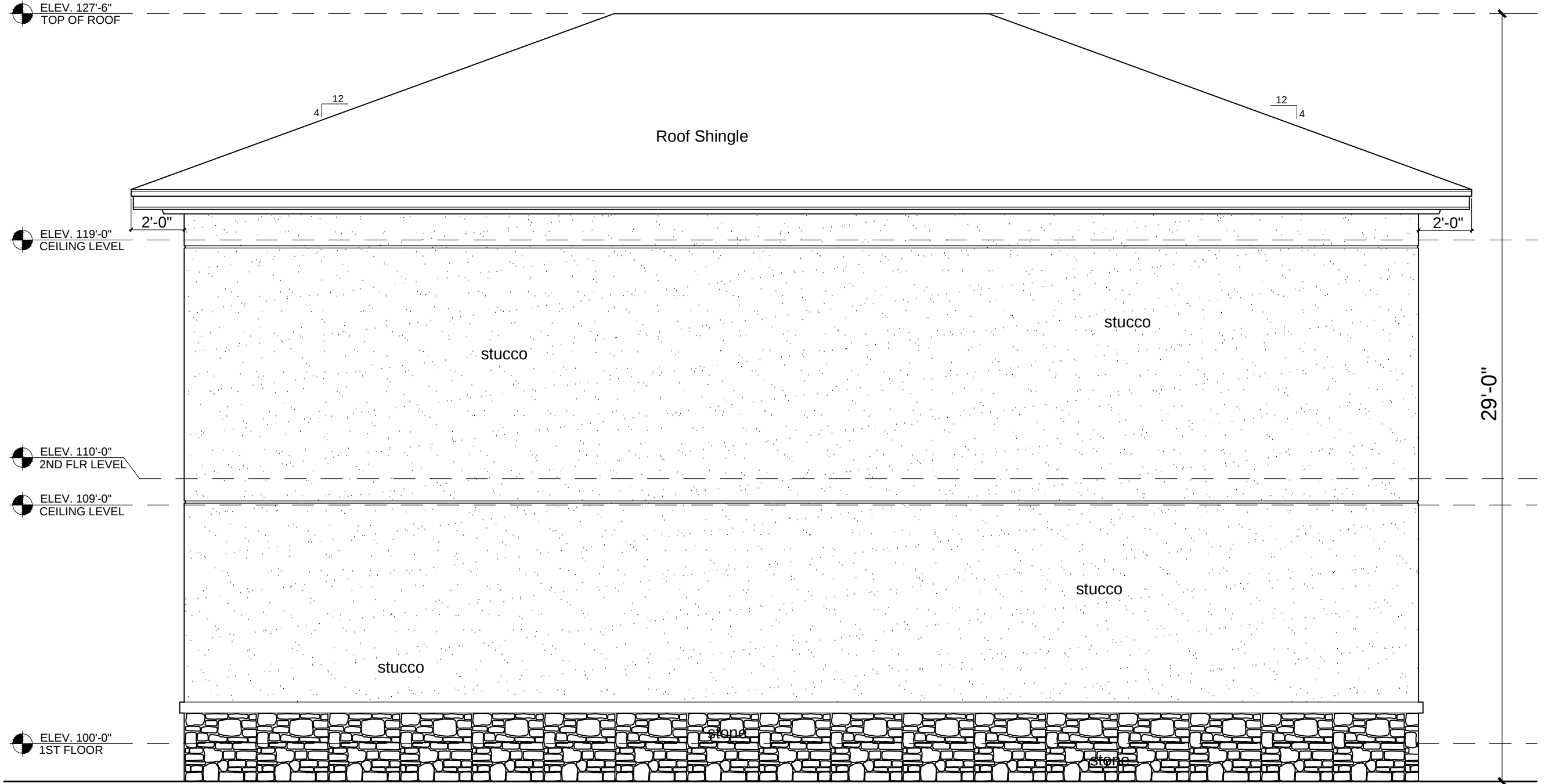


PROJECT NAME	WAGGONER ROAD	PROJ #	1495	DRAWN BY	UN
TITLE	Proposed Site Plan	DRAWING #	A005	DATE	05-26-2022

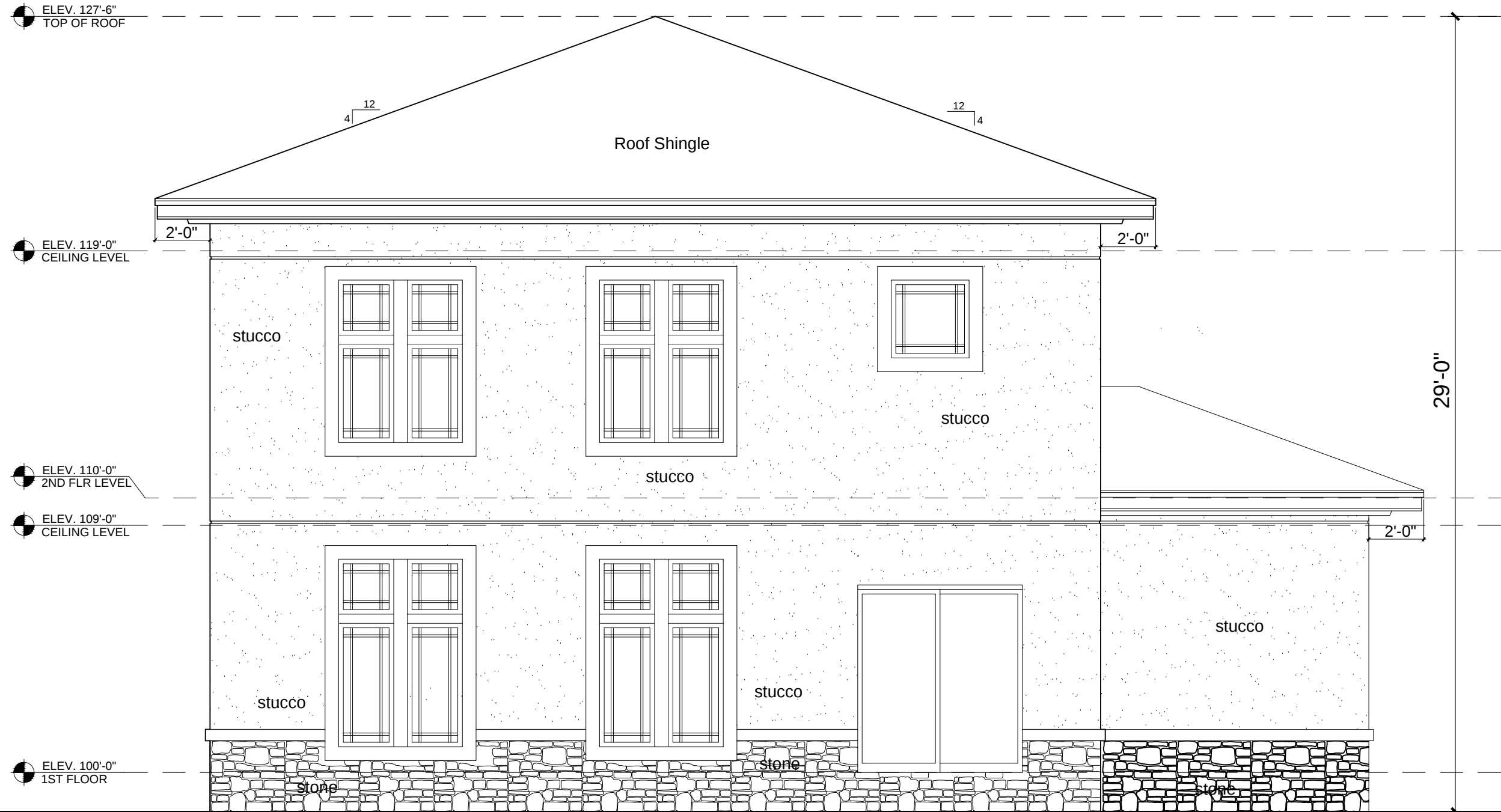
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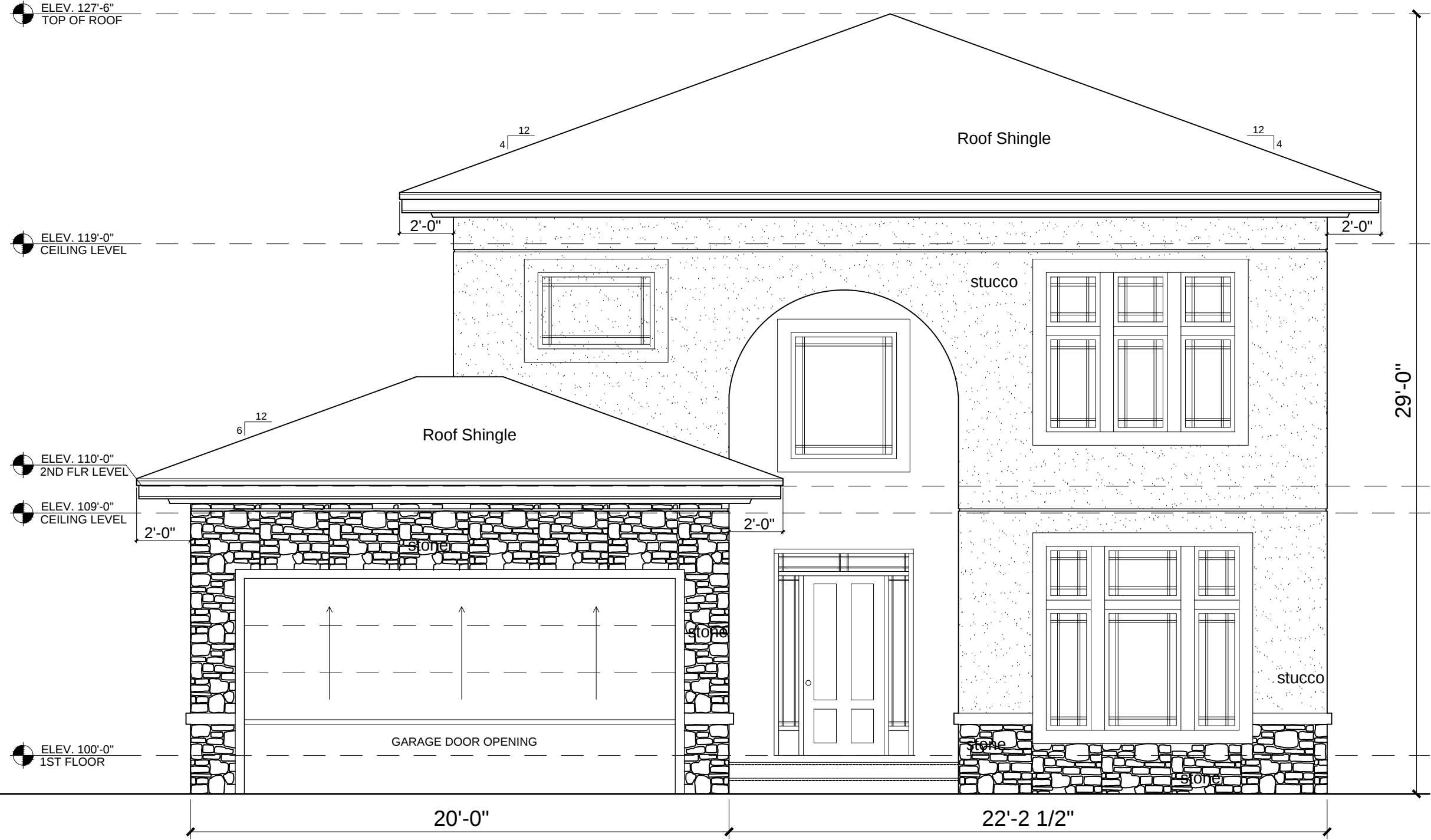
4 WEST FACING ELEVATION
1/4" = 1'-0"



2 EAST FACING ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

EXTERIOR BRICK FINISH



YELLOW BRICK



RED BRICK

EXTERIOR STUCCO FINISH



FINE STUCCO



COARSE STUCCO



WHITE STUCCO

EXTERIOR WOOD (NATURAL) SIDING



UNFINISHED



WHITE OIL



TEAK - BLACK

EXTERIOR STONE FINISH



COUNTRY RUBBLE



MOUNTAIN LEDGE



NATURAL STONE

ARCHITECTURAL ROOF SHINGLES



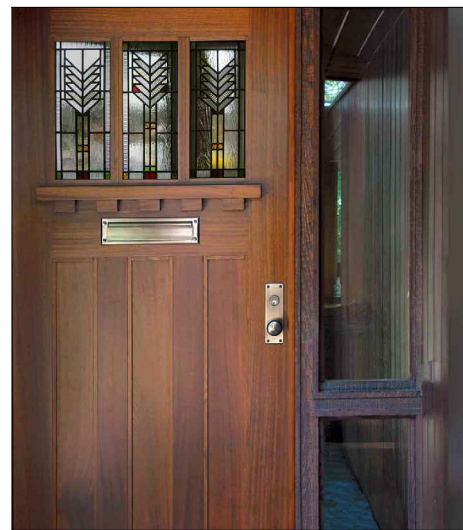
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DOOR TYPES OR SIMILAR



TYPE A



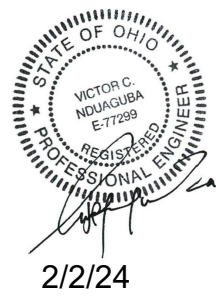
TYPE B



TYPE C



TYPE D



Aurtec Designs

Design Consulting, Industrial Designers

39 East Main Street, New Albany, OH 43054, Phone: (614) 600 8964 Fax: (614) 737 5252

PROJECT NAME
WAGGONER ROAD

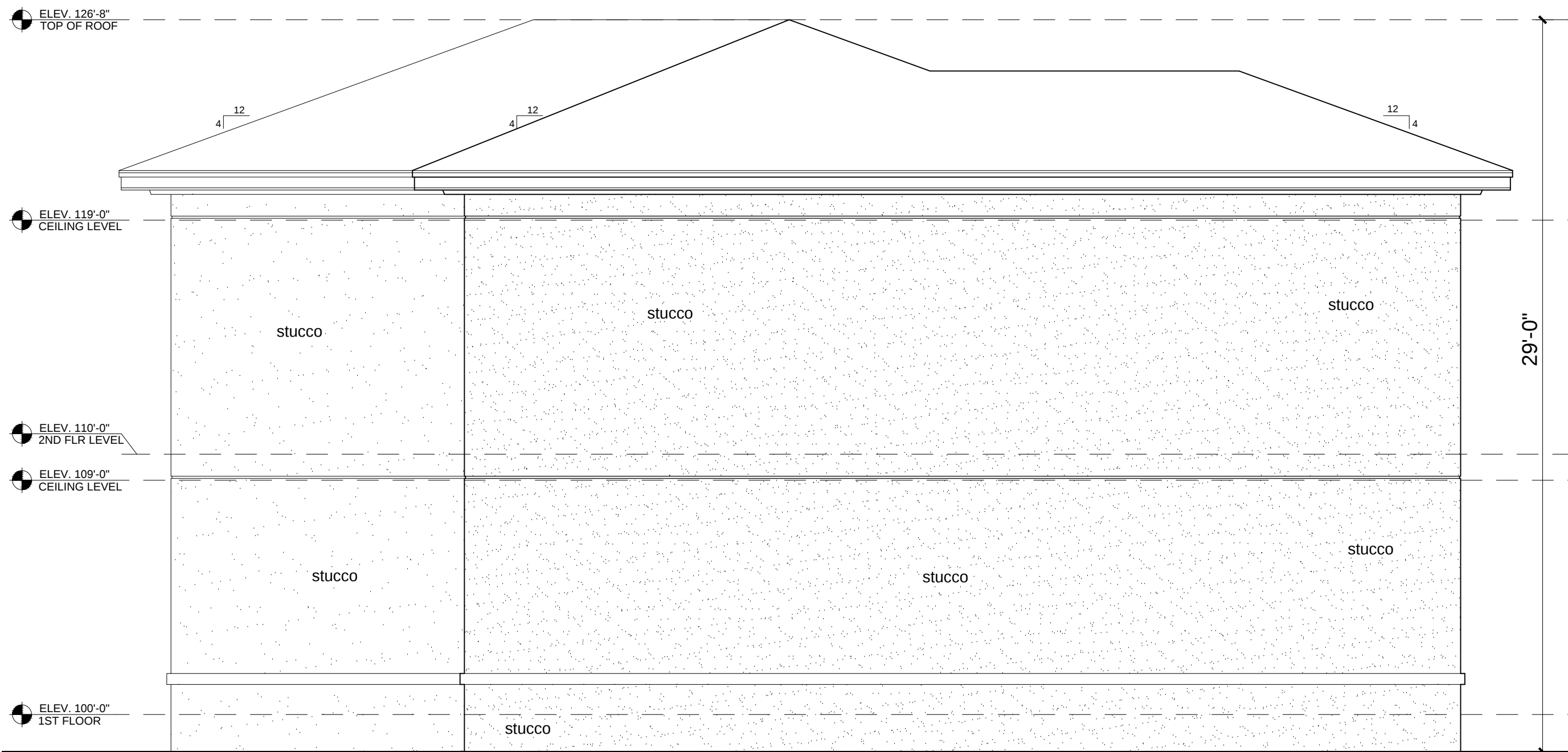
PROJ #
1495

DRAWN BY
UN

TITLE
BUILDING TYPE 1

DRAWING #
A010

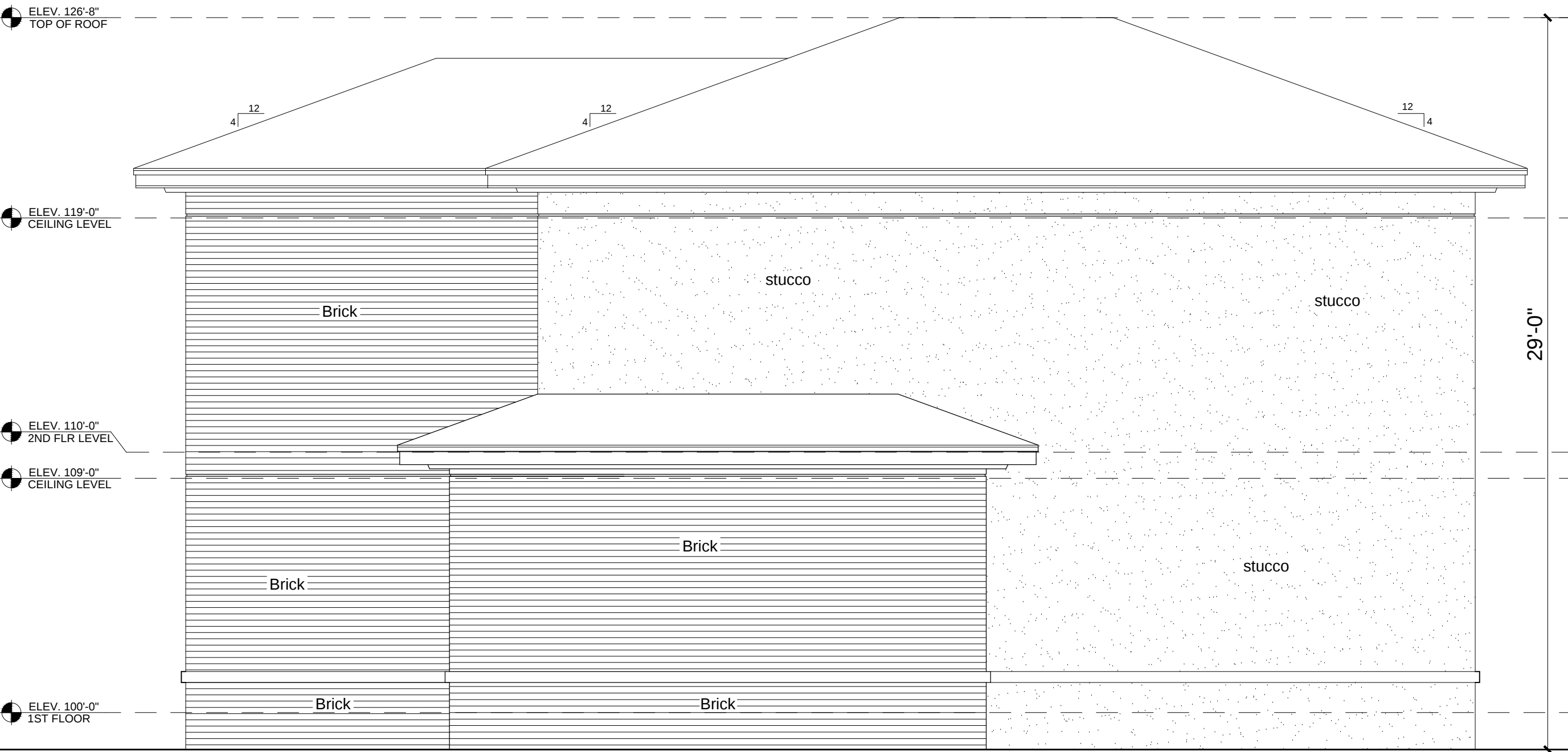
DATE
05-26-2022



4 WEST FACING ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



2 EAST FACING ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

EXTERIOR BRICK FINISH



YELLOW BRICK



RED BRICK

EXTERIOR STUCCO FINISH



FINE STUCCO



COARSE STUCCO



WHITE STUCCO

EXTERIOR WOOD (NATURAL) SIDING



UNFINISHED



WHITE OIL



TEAK - BLACK

EXTERIOR STONE FINISH



COUNTRY RUBBLE



MOUNTAIN LEDGE



NATURAL STONE

ARCHITECTURAL ROOF SHINGLES



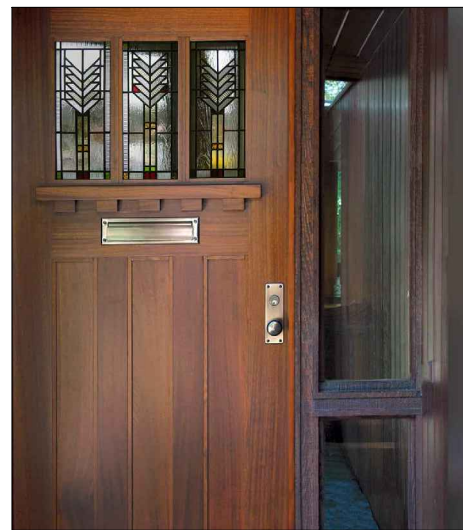
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DOOR TYPES OR SIMILAR



TYPE A



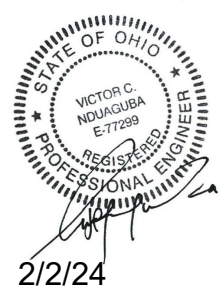
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TYPE C



TYPE D

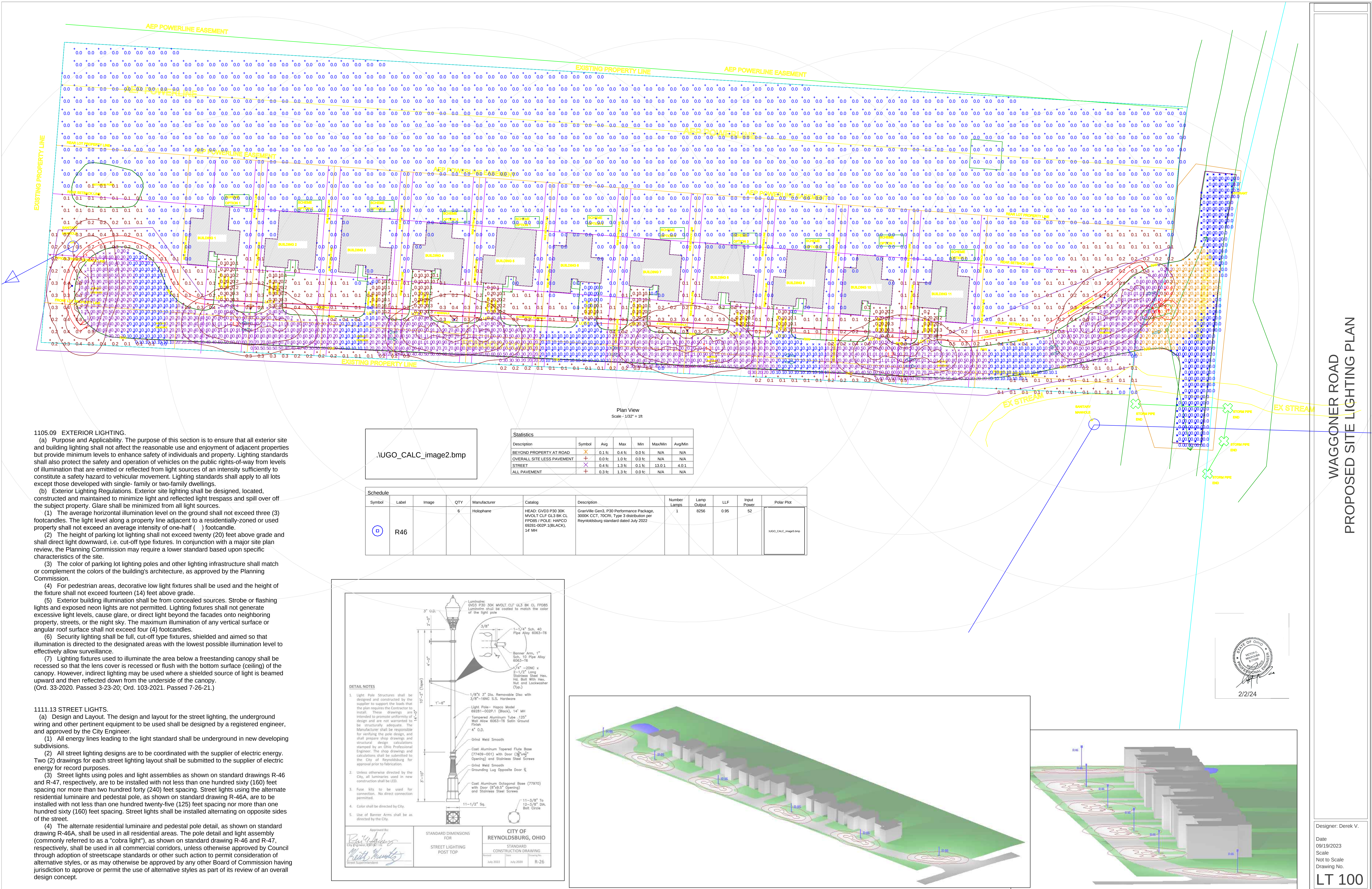


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PROJECT NAME	WAGGONER ROAD	PROJ #	1495	DRAWN BY	UN
TITLE	BUILDING TYPE 2	DRAWING #	A011	DATE	05-26-2022



1105.09 EXTERIOR LIGHTING.

(a) Purpose and Applicability. The purpose of this section is to ensure that all exterior site and building lighting shall not affect the reasonable use and enjoyment of adjacent properties but provide minimum levels to enhance safety of individuals and property. Lighting standards shall also protect the safety and operation of vehicles on the public rights-of-way from levels of illumination that are emitted or reflected from light sources of an intensity sufficiently to constitute a safety hazard to vehicular movement. Lighting standards shall apply to all lots except those developed with single- family or two-family dwellings.

(b) Exterior Lighting Regulations. Exterior site lighting shall be designed, located, constructed and maintained to minimize light and reflected light trespass and spill over off the subject property. Glare shall be minimized from all light sources.

(1) The average horizontal illumination level on the ground shall not exceed three (3) footcandles. The light level along a property line adjacent to a residentially-zoned or used property shall not exceed an average intensity of one-half (1/2) footcandle.

(2) The height of parking lot lighting shall not exceed twenty (20) feet above grade and shall direct light downward, i.e. cut-off type fixtures. In conjunction with a major site plan review, the Planning Commission may require a lower standard based upon specific characteristics of the site.

(3) The color of parking lot lighting poles and other lighting infrastructure shall match or complement the colors of the building's architecture, as approved by the Planning Commission.

(4) For pedestrian areas, decorative low light fixtures shall be used and the height of the fixture shall not exceed fourteen (14) feet above grade.

(5) Exterior building illumination shall be from concealed sources. Strobe or flashing lights and exposed neon lights are not permitted. Lighting fixtures shall not generate excessive light levels, cause glare, or direct light beyond the facades onto neighboring property, streets, or the night sky. The maximum illumination of any vertical surface or angular roof surface shall not exceed four (4) footcandles.

(6) Security lighting shall be full, cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

(7) Lighting fixtures used to illuminate the area below a freestanding canopy shall be recessed so that the lens cover is recessed or flush with the bottom surface (ceiling) of the canopy. However, indirect lighting may be used where a shielded source of light is beamed upward and then reflected down from the underside of the canopy.

(Ord. 33-2020. Passed 3-23-20; Ord. 103-2021. Passed 7-26-21.)

1111.13 STREET LIGHTS.

(a) Design and Layout. The design and layout for the street lighting, the underground wiring and other pertinent equipment to be used shall be designed by a registered engineer, and approved by the City Engineer.

(1) All energy lines leading to the light standard shall be underground in new developing subdivisions.

(2) All street lighting designs are to be coordinated with the supplier of electric energy. Two (2) drawings for each street lighting layout shall be submitted to the supplier of electric energy for record purposes.

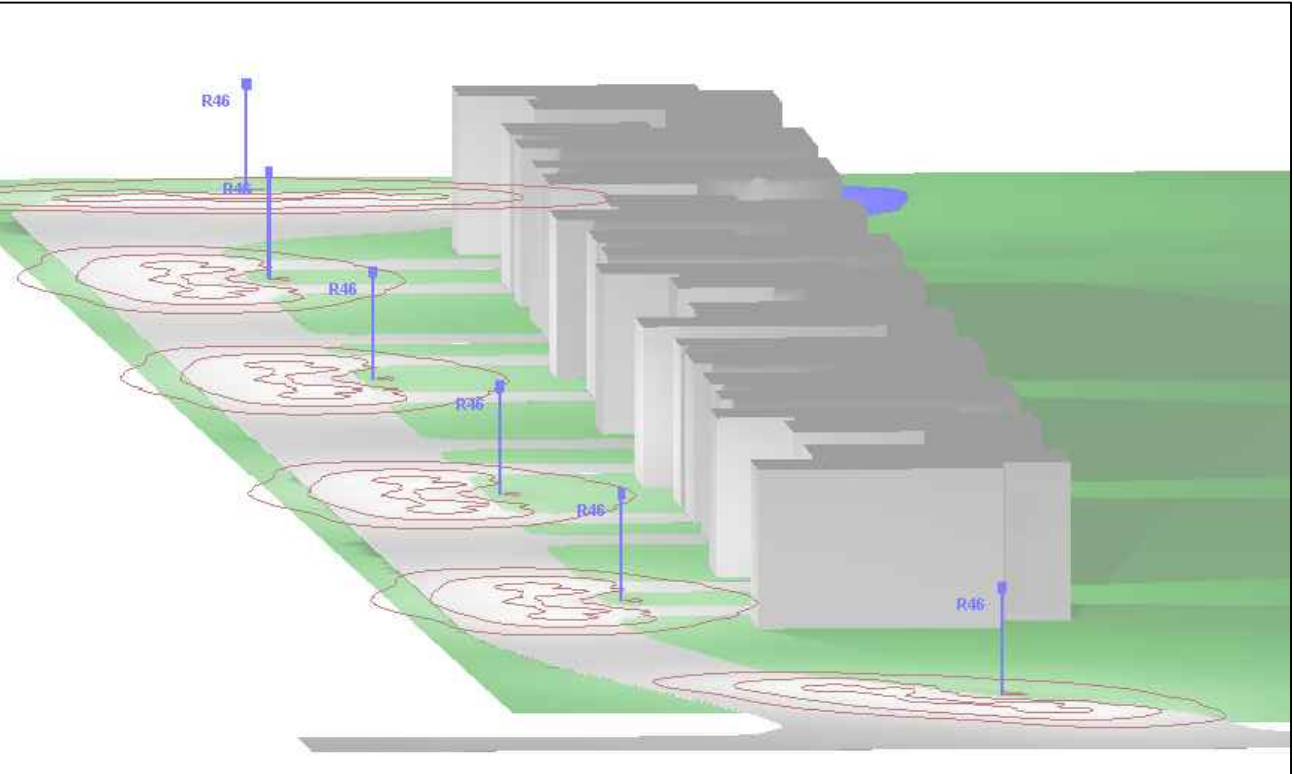
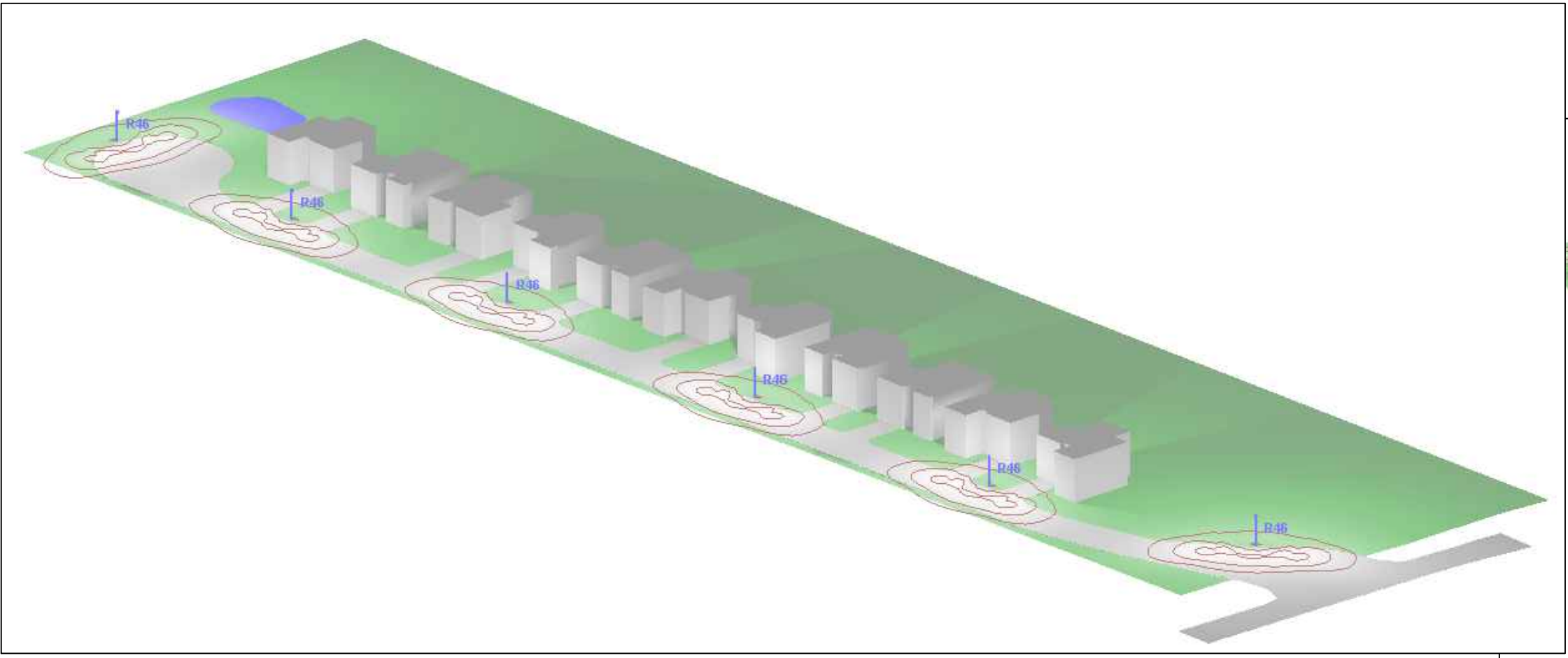
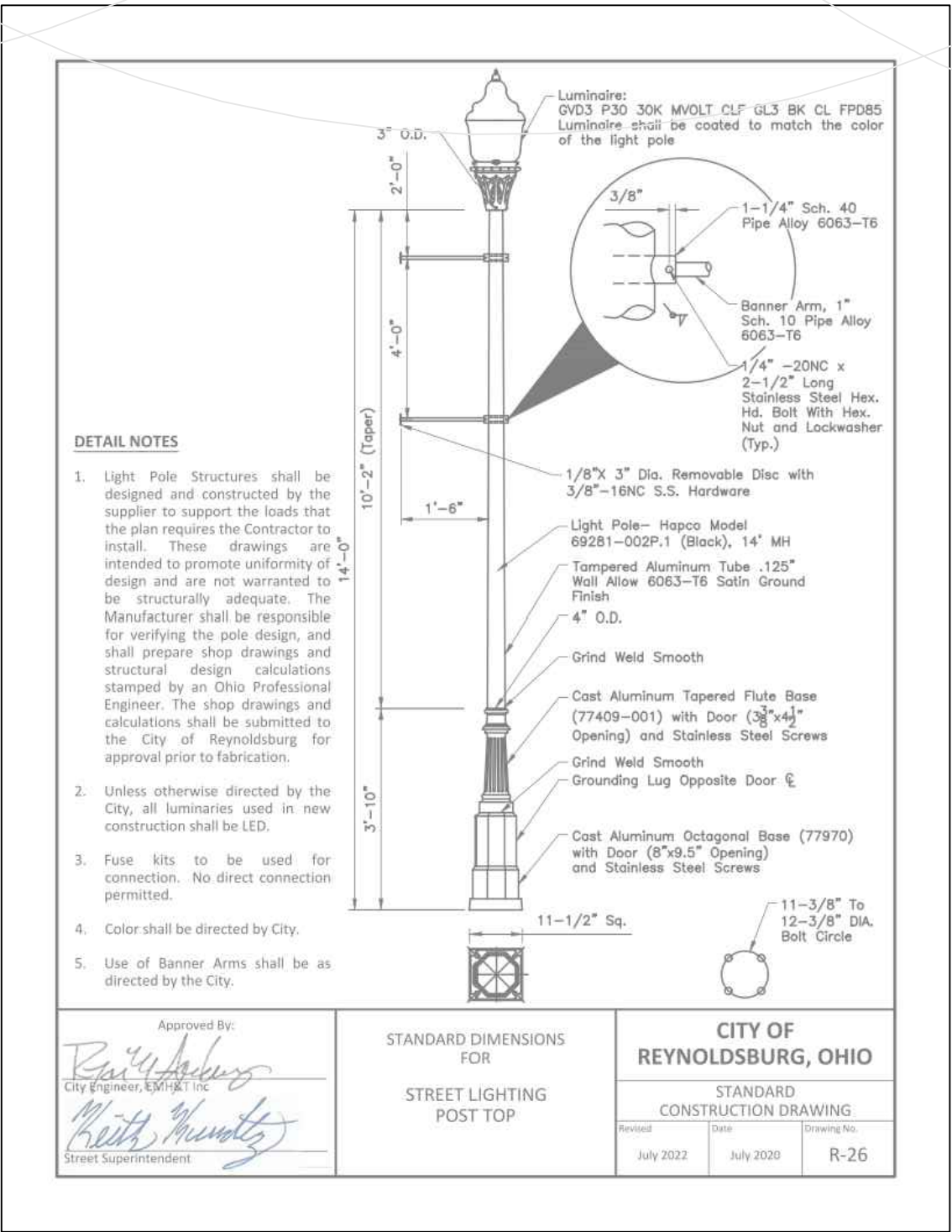
(3) Street lights using poles and light assemblies as shown on standard drawings R-46 and R-47, respectively, are to be installed with not less than one hundred sixty (160) feet spacing nor more than two hundred forty (240) feet spacing. Street lights using the alternate residential luminaire and pedestal pole, as shown on standard drawing R-46A, are to be installed with not less than one hundred twenty-five (125) feet spacing nor more than one hundred sixty (160) feet spacing. Street lights shall be installed alternating on opposite sides of the street.

(4) The alternate residential luminaire and pedestal pole detail, as shown on standard drawing R-46A, shall be used in all residential areas. The pole detail and light assembly (commonly referred to as a "cobra light"), as shown on standard drawing R-46 and R-47, respectively, shall be used in all commercial corridors, unless otherwise approved by Council through adoption of streetscape standards or other such action to permit consideration of alternative styles, or as may otherwise be approved by any other Board of Commission having jurisdiction to approve or permit the use of alternative styles as part of its review of an overall design concept.

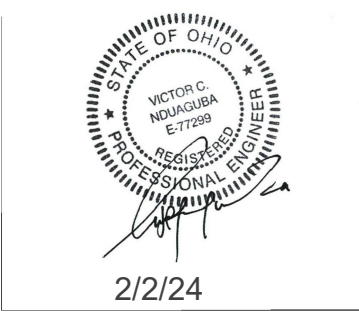


Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
BEYOND PROPERTY AT ROAD	✗	0.1 fc	0.4 fc	0.0 fc	N/A
OVERALL SITE LESS PAVEMENT	+	0.0 fc	1.0 fc	0.0 fc	N/A
STREET	✗	0.4 fc	1.3 fc	0.1 fc	13.0:1
ALL PAVEMENT	+	0.3 fc	1.3 fc	0.0 fc	N/A

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
R46			6	Holophane	HEAD: GVD3 P30 30K MVOLT CLF GL3 BK CL FRONT: POLE HARPCD 69281-002P-1(BLACK), 14' MH	Granville Gen3, P30 Performance Package, 3000K CCT, 70CRI, Type 3 distribution per Reynoldsburg standard dated July 2022	1	8256	0.95	52



WAGGONER ROAD
PROPOSED SITE LIGHTING PLAN



Designer: Derek V.
Date
09/19/2023
Scale
Not to Scale
Drawing No.

LT 100

SECTION 1105.07

E - TREE REPLACEMENT. EACH EXISTING MAJOR TREE REMOVED IN ACCORDANCE WITH SUBSECTION D ABOVE SHALL BE REPLACED WITH ONE TREE, HAVING A MINIMUM CALIPER OF ONE AND THREE QUARTERS INCH AS MEASURED ONE FOOT ABOVE GROUND LEVEL.

44 TREES REMOVED (3 OVER 18" DBH) 66 NEW TREES TO BE PLANTED (3 REQUIRED) 10 TREES PRESERVED

H - INTERIOR LOT LANDSCAPING

- i.
1. ALL RESIDENCES AND RESIDENTIAL LAND USES, PER DWELLING UNIT, THERE MUST BE PLANTED ONE HALF INCH IN TRUNK DIAMETER FOR EVERY 3,000 SQ. FT. OF LOT SIZE OR FRACTION THEREOF, WITH A MINIMUM OF TWO INCHES OF TOTAL TRUNK DIAMETER.
14,000 SQ. FT. LOTS = 2.34" CALIPER PER LOT OR (2) 1.75" CALIPER TREES
 - 2 1.75" CALIPER TREES PLANTED PER DWELLING UNIT



STORM INLET

TREE LIST					
ABBREV.	LATIN NAME	COMMON NAME	FURNISHED	SIZE	QTY.
AS	ACER SACCARUM	SUGAR MAPLE	B&B	1.75" CAL.	6
QR	QUERCUS RUBRUM	RED OAK	B&B	1.75" CAL.	4
QM	QUERCUS MACROCARPA	BUR OAK	B&B	1.75" CAL.	3
GT	GELDITSIA TRICANTHOS VAR. INTERMIS	THORNLESS HONEYLOCUST	B&B	2" CAL.	39
SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	B&B	1.75" CAL.	4
AG	AMELANCHIER GRANDIFLORA	SERVICEBERRY	B&B	1.75" CAL.	6
CK	CORNUS KOUSA	KOUSA DOGWOOD	B&B	1.75" CAL.	4



PROPOSED STREET TREE



PROPOSED SHADE TREE

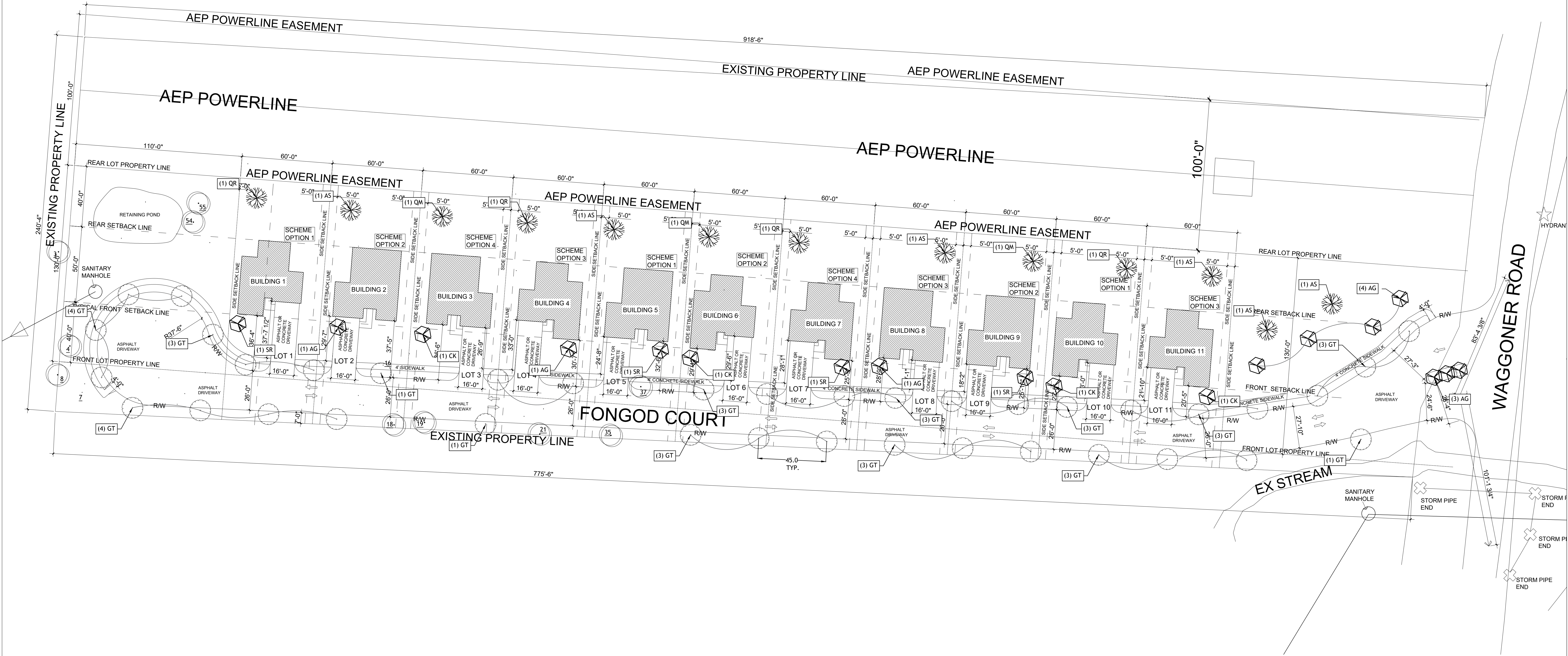


PROPOSED ORNAMENTAL TREE

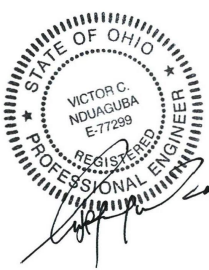


EXISTING TREES TO BE PRESERVED

3. Black Walnut, Juglans nigra - 30" DBH. Tree is in poor condition. Large wound on trunk. Should be removed.
4. Black Walnut, Juglans nigra - 16" DBH. Tree is in fair condition. Deadwood and ivy should be removed.
8. Black Walnut, uglans nigra - 12" DBH. Tree is in fair condition. Poor structure. Ivy should be removed.
18. Sugar Maple, Acer saccharum - 11" DBH. Black sooty mold from past scale infestation. Tree is in fair condition. Deadwood and ivy should be removed.
19. Black Walnut, Juglans nigra - 12" DBH. Tree is in fair condition. Poor structure. Deadwood and ivy should be removed.
21. Black Walnut, Juglans nigra - 14" DBH. Tree is in fair condition. Deadwood and ivy should be removed. Unbalanced canopy.
35. Slippery Elm, Ulmus rubra - 9" DBH. Tree is in fair condition. Poor structure. Deadwood and ivy should be removed. Unbalanced canopy.
37. Black Walnut. Juglans nigra - 15" DBH. Tree is in fair condition. Deadwood and ivy should be removed.
54. Sugar Maple, Acer saccharum - 17" DBH. Tree is in good condition. Poor structure. Deadwood and ivy should be removed.
55. Slippery Elm, Ulmus rubra - 11" DBH. Tree is in fair condition. Deadwood and ivy should be removed.



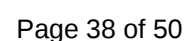
LANDSCAPE PLAN
1" = 30'-0"



2/2/24

Aurtec Designs

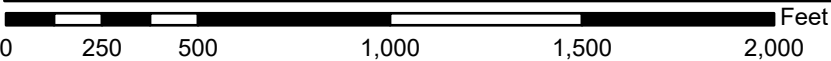
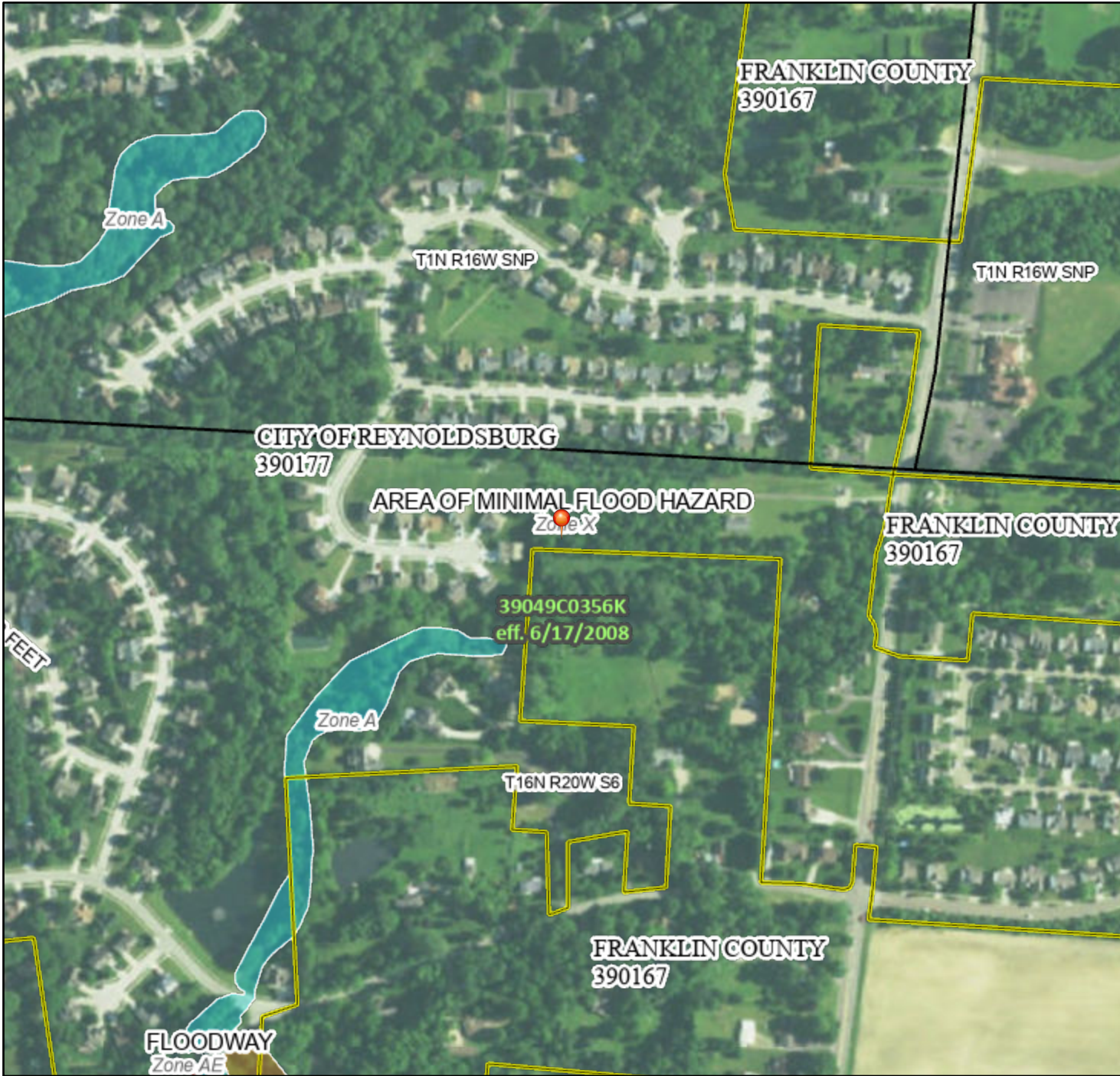
PROJECT NAME	WAGGONER RD	PROJ #	1495	DRAWN BY	AC
TITLE	LANDSCAPE PLAN	DRAWING #	L001	DATE	9-21-2023



National Flood Hazard Layer FIRMette



82°48'4"W 39°58'49"N



1:6,000

82°47'27"W 39°58'22"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/31/2024 at 5:01 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

From: [Lieutenant Schmidt](#)
To: [Phoenix Buathier](#)
Cc: [Shaffer, Scott](#)
Subject: Re: 441 Waggoner Road
Date: Wednesday, February 28, 2024 12:06:37 PM
Attachments: [Outlook-ftoa1nco.png](#)
[Outlook-mwlungio.png](#)

[NOTICE: This email originated outside of the City of Reynoldsburg.]

Phoenix,

Good afternoon.

We are good with the road and cul-de-sac widths. What we will need to know at a later date is who is going to be maintaining the fire hydrants (fire lines)?

Thanks,

Lieutenant Theo Schmidt, BS
Fire Prevention
Truro Township Fire Department
6305 E. Livingston Ave.
Reynoldsburg, Oh 43068
614-729-1921 (Office)
614-419-0188 (Cell)



"Our Community, Our Commitment"

From: Lieutenant Schmidt <LTSchmidt@trurotwp.org>
Sent: Wednesday, February 21, 2024 12:05 PM
To: Phoenix Buathier <pbuathier@reynoldsburg.gov>
Cc: Shaffer, Scott <sshaffer@emht.com>
Subject: Re: 441 Waggoner Road

Good afternoon Phoenix,

The Fire Chief and I do not require any changes for the civil drawings. The only thing that we ask is to let us know if the fire lines are going to be maintained by the City of Reynoldsburg or are they going to be privately owned.

Thanks,

Lieutenant Theo Schmidt, BS
Fire Prevention
Truro Township Fire Department
6305 E. Livingston Ave.
Reynoldsburg, Oh 43068
614-729-1921 (Office)
614-419-0188 (Cell)



"Our Community, Our Commitment"

From: Phoenix Buathier <pbuathier@reynoldsburg.gov>
Sent: Wednesday, February 21, 2024 10:50 AM
To: Lieutenant Schmidt <LTSchmidt@trurotp.org>
Cc: Shaffer, Scott <sshaffer@emht.com>
Subject: FW: 441 Waggoner Road

Mr. Schmidt,

I am sending you the 411 Waggoner Road Major Site Plan and related items that are scheduled for the March 7th, 2024 Planning and Zoning Board meeting. Our code requires us to send out a staff report at least a week in advance of the meeting. Therefore, I am asking for any comments you may have by February 27th so that we can incorporate them in the staff report that goes out first thing on February 29th.

If you have any questions please feel free to call or email. Thank you for your help.

Sincerely,

Phoenikx Buathier

DEPARTMENT OF DEVELOPMENT

Planning and Zoning Administrator

—

City of Reynoldsburg

7232 East Main Street | Reynoldsburg, OH 43068

T 614-322-6829 | **F** 614-322-6830

www.reynoldsburg.gov

November 27, 2022

Mr. Eric Meyer
Development Director
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: 441 South Waggoner Road: Major Site Plan

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. Project Summary

- a. The partially vacant, 5.3-acre, gently rolling subject property is zoned SR Suburban Residential located on the west side of Waggoner Road. Single-family residences zoned Suburban Residential surround the north, west, and southern boundaries. Two, on-site existing single-family residences have access from the existing frontage on Waggoner Road. A dense woodland is located toward the back half of the site with a 100-foot AEP power easement running along the north boundary. An existing stream runs alongside the southeastern corner of the site.
- b. A previous application was submitted in November 2022 and the Zoning Recommendation was to not approve “due to the lack of required submittal information.”

2. Zoning Review – Major Site Plan (Section 1109.19, Site Plan and Design Review)

- a. **Submittal Requirements: The application meets the submittal requirements for general review with the following exceptions:**

- i. All plans shall be signed and sealed by a professional engineer, architect, or landscape architect registered with the State of Ohio. No signatures provided. **See resubmitted set of drawings**
- ii. The current zoning of the parcel and all adjacent parcels. Zoning of adjacent parcels are shown.
- iii. The location of all existing structures with one hundred fifty feet (150FT) of parcel. Adjacent structures are shown.
- iv. Topography with a maximum contour interval of two feet (2FT). Topography at one-foot intervals are shown.
- v. The limits of all wetlands and of the one hundred (100) year flood plain. Not shown. **See submitted FEMA map**
- vi. The approximate location, dimensions, and area of all property proposed to be set aside for parks, open space, and other public or private reservation, with designation of the purpose and proposed ownership thereof. Not shown. **See resubmitted set of drawings**
- vii. The location and type of all new landscape material and plantings, including street trees. Utilities shall be shown on all landscape plans. Utility location not indicated on the landscape plan. **For ease of reading the plans, it was advised to separate the plan elements to their main subject title. We can overlay these elements during post zoning site engineering and building permit submissions.**
- viii. All existing conditions, including but not limited to ditches, culverts, waterways, utilities, sidewalks, power poles, easements, building footprint and finish grade, finish grade of adjacent buildings, wetlands, and woodlands, etc. With the exception of the building footprints, the other items required - including ditches, culverts, power poles, finished grade of adjacent buildings, and wetlands - are not shown. **FEMA map is enclosed, Existing AEP power pole is shown on plans, power sources to units are buried underground, there are no ditches present at the**



site and the nearest culvert outside the perimeters of the site at the southeast end bridge on Waggoner Road. All finished grades and notations will be part of the building permit (foundation drawings)

- ix. *The location of all proposed walkways and pedestrian accesses within or to the site.* Four-foot-wide concrete sidewalk is shown parallel to and on the north side of the Fongod Court right-of-way.
 - x. *Preliminary proposals for connection to existing water supply and sanitary sewer systems and for the collection and discharge of surface water drainage including the location and size of existing and proposed water mains, sanitary sewers, and drainage facilities.* Size of sanitary, storm, and water lines and service connections not indicated. **Contents listed are to be included in the site engineering permit submission post zoning approval**
 - xi. *Exterior building design and surface treatments shall be indicated, including building material and color. Color and material samples shall be made available for inspection upon request.* Building design and surface treatments shown.
 - xii. *All exterior lighting shall be shown, including parking lot, pedestrian, and building accent lighting. Lighting intensity and installation height shall be indicated. The styles and method of illumination of all heads and colors of all poles shall be indicated as well.* City of Reynoldsburg recommended streetlights are shown, but no other type of site lighting, if provided, is shown. **Only street lighting is proposed as shown.**
- b. **Lot Coverage (Max.):** The maximum lot coverage in the SR district is 60%. The lot coverage, including all impervious surface is not indicated on the data table. Please identify the square-footage of all impervious surfaces (private street, driveways, walks, home footprints) and indicate % coverage of the total site area. **The Lot coverage data table is already shown on sheet A005**
- c. **Development Standards:**
- i. *Minimum lot dimensions shall be 50 feet wide x 100 feet deep.* The proposed lots are 60 feet wide x 141 feet deep min., up to 160 feet deep (as measured to the southern property line). A right-of-way line is shown on both sides of Fongod Court, but the side lot lines are shown extending through the line labeled right-of-way to the southern property line instead of terminating at the right-of-way. **The private road is in place to give general access and therefore each lot owns a portion of the access road as indicated with the property line. The HOA deed will establish and separate upkeep responsibilities such as curb grass maintenance within property lines which is the responsibility of the property owner except green spaces along south of right of way and north of south property line and other areas outside the property line such as proposed open spaces.**
 - ii. *Setbacks: Minimum required setbacks are 20 ft. front, 5 ft. side, and 30 ft. rear.* Although the front setbacks vary, the proposed minimum setbacks shown are 21'-5" front, 5 ft. side, and 30 ft. rear. The front setbacks was measured from the front building face to what is labeled as the right-of-way for Fongod Court. **Typically with the proposed easement from the various lots to provide communal access for the private road, there is the option of calculating the set back from the middle of the road however we decided on the right of way to move the houses further back into the lot.**
- d. **Height:** Building height is measured as the vertical distance measured from the average elevation of the proposed finished grade at the front of the building to "the midpoint of any pitched gable, hip or the upper portion of a gambrel roof." The maximum height of a building in the SR District 35 feet. The site plan indicates a maximum height of 31 feet. Building heights should be indicated on the elevation drawings as measured from the midpoint of the roof. **Please see sheets A010, A011. The proposed maximum height is currently 29'-0.**
- e. **Circulation:** The site will be accessed from Waggoner Road from what appears to be a 26-foot-wide private drive labeled as Fongod Court but is also shown with a right-of-way line. There needs to be a determination as to whether Fongod Court is a private street or a public street and labeled accordingly. **Fongod Court is a private road. See sheet A005**

A landscaped median is at the entry and with Fongod Court terminating in a cul-de-sac with a 30' radius. Cul-de-sacs are not permitted in residential districts unless necessitated by local conditions. The adjacent subdivision to the west does not provide a stub that can be connected into from this site,



necessitating the cul-de-sac.

- i. The minimum pavement width of private streets shall be 26 feet.* If the street is private, then it meets the required minimum pavement width of 26 feet.
 - ii. Minimum cul-de-sac radius should be confirmed with the fire department plans examiner. No conformation from the fire department's plans examiner was submitted. See attached email approval from Lieutenant Theo Schmidt.*
 - iii. Private streets must include documentation of the responsible party for maintenance. No maintenance agreement provided, assuming the proposal is for a private street. The documentation is part of the site engineering and building permit submission package.*
 - iv. A 4 ft. sidewalk shall be provided along the street.* A four-foot sidewalk is shown.
- f. Signage:** No signage is shown on the site plan, even though there is a landscaped median at the entry. This is shown on sheet A005.
- g. Tree Replacement:** *Trees equal to or greater than 18" diameter-at-breast-height (DBH) removed shall be replaced with one (1) tree, having a minimum caliper of one and three-quarters inch (1 3/4") as measured one foot (1') above ground level.* The provided tree survey indicates 3 trees over 18" DBH to be removed, requiring 3 replacement trees.
- h. Street Tree Requirements:** Street trees are required along both sides of the street. The proposed street trees are 2" caliper *Gleditsia triacanthos* var. *inermis* (Honey locust), a large shade tree. At maximum permitted spacing of 45 feet, 42 street trees are required and 43 trees are provided, which includes 4 existing trees to be preserved along the street.
- i. Interior Lot Landscaping:** *All residences and residential land uses, per dwelling unit, there must be planted one-half inch (1/2") in trunk diameter for every one 3,000 square feet of lot size or fraction thereof, with a minimum of two inches (2") of total trunk diameter.* Each lot is required 2.34" of trunk diameter. The plan provides two (2) 1.75" caliper trees per lot (3.5" trunk diameter per lot).
- j. Buffer Requirements:** N/A – all surrounding properties are the same zoning (SR – Suburban Residential) and are residential uses.
- k. Parking Area Landscaping:** N/A
- l. Parking Perimeter Landscaping:** N/A
- m. Screening and Landscaping for Service Structures:** N/A
- n. Exterior Lighting.** The average horizontal illumination level on the ground shall not exceed three footcandles (3FC). The light level along a property line adjacent to a residentially zoned or used property shall not exceed an average intensity of one-half footcandle (0.5FC).
 - i. Streetlights are proposed along the private street. The photometric plan indicates that average footcandles for the various areas of the site will be 0.4-foot candles or less. The point calculations indicated along the south property line shared with an adjacent residential use appear to comply with the 0.5 FC maximum.*
 - ii. The proposed light fixture will be the standard city light fixture, with a pole height of 14 feet.*
- o. Architecture: The application meets the submittal requirements for architectural review with the following exceptions:**
 - i. The submittal meets at least three of the following features, consistent in design style, that provide articulation and design interest consistently throughout the project:*
 - 1. Pitched/variegated roof forms.* Meets required features.
 - 2. Roof overhangs at least 12 inches deep.* Meets required features.



3. *Variety in use of materials, especially at ground level stories, for detailing at porches/entry areas, paneling at bays or at special parts of the building; Meets required features.*
- ii. *Design window recesses, window trim, and other window elements to create architectural interest. Incorporate at least one of the following window features throughout the project:*
 1. Minimum depth of at least two inches from glass to exterior of trim. Not in sufficient enough detail to determine. Please see sheet A005
 2. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern). Not in sufficient enough detail to determine. Please see sheet A005
 3. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. Not in sufficient enough detail to determine. Please see sheet A005

3. Zoning Recommendation

- a. Approval is not recommended for the 441 South Waggoner Road major site plan due to the lack of required (noted above as underlined) submittal information.

If you have any questions or comment, please feel free to contact us.

Very truly yours,

Kim Littleton



MEMO

Date: November 28, 2023

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: 441 Waggoner Road

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the project located at 441 Waggoner Road. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site plan is proposing eleven (11) single family dwelling units to be accessed from a new roadway which will connect to Waggoner Road. Currently, there appears to be two (2) homes in this location which share a driveway off of Waggoner Road. **All units are designated with separate driveways as shown on sheet A005.**
2. The site is currently composed of multiple parcels which will need to be combined or adjusted via a plat. Please confirm with the Development Department regarding the requirements for this.
 - a. Based on the City's GIS and the Franklin County Auditor, there appears to a parcel or strip of land that was previously intended to be a private road roadway or public right-of-way. It is shown on City GIS as "Ofosia Court". This is in a similar location to the proposed roadway on the site plan. **Parcels to be designed out from the merging of the following parcel ID: 060-009355, 060-009339, 060-009338, 060-009337, 060-009336. Ofosia Court was a previously proposed and is now changed to Fongod Court.**
3. The proposed roadway is shown with a width of 26-feet. This would be adequate for two-way traffic if it is a private roadway, but no on-street parking will be permitted (unless allowed by the fire department). If private, an access easement would be required over the roadway.
 - a. Plan labels denote the edges of the roadway as right-of-way (R/W). If the applicant wishes for this to be a public street with right-of-way, the street must meet the requirements of the City's standard drawings. The minimum public street width is 26-feet per standard drawing R-13. Additionally, the limits of right-of-way for such a street would be 50-feet. **Fongod Court**
4. The entrance on Waggoner Road shows a median with inbound and outbound lanes. The inbound lane (north) is shown as approximately 27-feet wide and the outbound lane (south) is shown as approximately 24-feet wide. These lane widths are extremely wide in comparison to a typical entrance with median which may have minimum lane widths of 14-16 feet. Please confirm the reason for the wide lanes and gain approval from the fire department. Also, the geometry of the entrance may need to be adjusted as it currently not perpendicular to Waggoner Road. **The speed limit of 45 mph within the vicinity of the entrance to Fongod court prompted the concept of allowing slowing vehicles to safely maneuver into the development without affecting the traffic flow. It is also easier for fire trucks and or similar to maneuver from Waggoner Road. Lieutenant Theo Schmidt of Truro fire department was happy with the over approach of the road layout.**

5. Pavement composition shall meet the requirements as shown in the City's standard drawings.
6. A 4-foot wide sidewalk is shown along the north side of the proposed roadway. The minimum sidewalk width per the City's Standard Drawing R-9 is 5-feet. **This has been revised to 5 feet wide sidewalk as per A005**
 - a. A ramp is shown entering the cul-de-sac with no receiving ramp. Please provide a receiving ramp or path for pedestrians to follow. **This has been revised. Please see sheet 005**
 - b. A ramp is shown entering the roadway near the entrance with no receiving ramp. The walk may need to be extended closer to Waggoner Road and the connection to future pedestrian facilities along Waggoner Road coordinated with the City. **This has been revised. Please see sheet A005**
7. The proposed roadway will be required to have curb on both sides. Type of roadway (public versus private) will dictate the allowable types of curb (straight versus curb & gutter).
 - a. Verify with Development if the 7-foot setback shown between the south property line and the roadway is adequate. **A final confirmation will be filed during site engineering permit application post zoning approval.**
 - b. A ramp is shown entering the roadway near the entrance with no receiving ramp. The walk may need to be extended closer to Waggoner Road and the connection to future pedestrian facilities along Waggoner Road coordinated with the City. **A final confirmation will be filed during site engineering permit application post zoning approval.**
8. Verify with the fire department if the radius of the cul-de-sac is acceptable. **See approval email from Lieutenant Theo Schmidt.**
9. Projected traffic information was not provided for the development on the Facilities Demand Worksheet. Based on 11-units, it is not anticipated that a traffic study would be required, but the projected information needs to be submitted so this can be evaluated. **This is provided in the submitted worksheet.**
10. The site's proximity to the existing AEP overhead electric easement is noted. Please work with AEP to ensure all of their requirements are met. **AEP advised that a 100'-0" easement is maintained as shown in A005**

UTILITIES

11. Water and sewer demand were not included on the Facilities Demand Worksheet. The applicant should provide this information in subsequent submissions. **This is provided in the submitted worksheet.**
12. Sanitary sewer for the site is tributary to an existing 8-inch sewer stub (P01820) at Whitepine Ridge Court to the west. The existing manhole is shown on the utility plan. However, the manhole is shown on the subject property. GIS and record information indicate this manhole is on the adjacent property to the west.
 - a. The proposed sanitary sewer has been shown on the utility plan running in the rear of the proposed lots. Please note that the sewer must be clear of adjacent utilities or structure by a minimum of 10-feet. **This will be indicated in the site engineering permit submittal.**
 - b. The sewer will also need to be placed in an easement with minimum width of 20-feet. **This will be indicated in the site engineering permit submittal.**
13. The proposed water for the site is being provided via a tap of the existing 12-inch watermain (P01142) on the east side of Waggoner Road. An open cut of Waggoner Road will not be permitted. The water is currently shown in a loop on the north and south sides of the proposed units. **Details of directional boring for water tapping to be included in the site engineering permit.**
14. If the applicant wishes for the watermain to be public, it will need to be placed within an easement (pending resolution of the street being public versus private, see previous comments).
 - a. If the watermain is public, it will need to terminate in the cul-de-sac per City Standard Drawing WA-16. **The road is private as indicated above**
 - b. If the watermain is private, a water meter with pit and backflow preventer located in an above ground enclosure will be required. **Water supplier is public.**

- c. In either scenario, fire hydrants will be required along the roadway. **This will be indicated in the site engineering permit submittal.**
15. Street light locations have been shown on the site plan and a photometric analysis provided.

STORMWATER

1. The site plan shows the location of a stormwater basin in the northwest corner of the site. Based on the site topography, this appears to be an adequate location. However, the ultimate outlet for the basin will need to be determined and shown. Based on a preliminary review, it appears the basin should outlet to the south through the Adams parcel to the existing stream. There may potential for the outlet to go north and west, but this would need to be evaluated. **This will be indicated on the site engineering permit submittal.**
2. The proximity of the entrance road to the existing stream is noted. Based on FEMA Flood Insurance Rate Map 39049C0356K (June, 2008), the segment of stream adjacent to the roadway is not mapped.
 - a. Engineering Staff will require a study to show there will not be flood hazards associated with the placement of the roadway or development adjacent to the stream. The applicant should reach out to the City Engineer to discuss the requirements of the study. **This will be indicated on the site engineering permit submittal.**
3. Please provide a stormwater management report meeting the requirements of the City's current Stormwater Design Manual with supporting calculations and plan details with the PGU. Note that the manual was recently updated and now includes requirements for Stream Corridor Protection Zones (SCPZ). **This will be indicated in the site engineering permit submittal.**

DETAILS / SPECIFICATIONS

1. Where applicable, refer to Reynoldsburg Standard Construction Drawings on PGU plans.
2. Confirm with USPS if each unit will have an individual mailbox or if there will need to be a cluster box unit for the development. If the latter, please show location on the site plan and ensure adequate access and lighting. **Individual mailbox is proposed.**
3. For the wooded area on the western side of the proposed project, please provide evidence that there are no existing wetlands or environmental features on the site. If there are, please show that they are not being disturbed or the filling of these features will need to be permitted through Ohio EPA and/or US Army Corps of Engineers. **The FEMA map is attached in the submission. No existing wetland on the site.**