



AGENDA

**PLANNING COMMISSION
THURSDAY, NOVEMBER 2, 2017 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Planning Commission – Regular Meeting – June 1, 2017
 2. Planning Commission – Regular Meeting – September 7, 2017
 3. Planning Commission – Regular Meeting – October 5, 2017
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. COMMISSION BUSINESS

1. 6900 E Main Street; Application #180598; Truro Township Fire Station; Applicant: Mark Larrimer; Major Site Plan

D. ADJOURNMENT

MINUTES

PLANNING COMMISSION THURSDAY, JUNE 1, 2017 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: McKenzie, Cullinan, Welda
ABSENT: Comeaux, King

PRESENT: McKenzie, Welda, Cullinan (arriving at 6:15 pm)
ABSENT: Comeaux, King

2. APPROVAL OF MINUTES

Minutes stand approved.

a. Planning Commission – Regular Meeting – May 4, 2017

3. APPROVAL OF AGENDA

Agenda stands approved.

4. SWEARING IN OF SPEAKERS

Speakers for the evening sworn in by Mark McKenzie.

B. COMMISSION BUSINESS

1. Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1187.07 Residential Appearance Standards of Chapter 1187 Special Provisions for Residential Uses. (Second Reading 6/26/2017; Planning Commission 6/1/2017).

Per Dr. McKenzie due to failed recording:

Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1187.07 Residential Appearance Standards of Chapter 1187 Special Provisions for Residential Uses.
(First Reading 4/24/2017).

Dr. McKenzie - I am concerned about what these changes might exclude. For example, they would seem to exclude a Lustron style house, or a well regarded design by a famous architect like Richard Neutra. A Neutra design would be post and beam construction with a thin flat roof and walls made of glass.

Dr. McKenzie - I am also concerned about the definitions of the terms used. You appear to

Minutes Acceptance: Minutes of Jun 1, 2017 6:00 PM (APPROVAL OF MINUTES)

exclude man made materials, but then give an example of an accepted material that is man made. While I have problems with this, as we are changing it now we can change it again in the future.

RESULT:	REFERRED TO COUNCIL [UNANIMOUS]	Next: 6/26/2017 8:00 PM
MOVER:	Tyler Cullinan	
SECONDER:	Robert Welday	
AYES:	McKenzie, Cullinan, Welday	
ABSENT:	Comeaux, King	

2. Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1183.05 Standards for Development Review of Chapter 1183 Planned Neighborhood Development District and Section 1184.05 Standards for Development Review of Chapter 1184 Planned Commercial Development District. (Second Reading 6/26/2017; Planning Commission 6/1/2017).

Per Dr. McKenzie due to failed recording:

Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1183.05 Standards for Development Review of Chapter 1183 Planned Neighborhood Development District and Section 1184.05 Standards for Development Review of Chapter 1184 Planned Commercial Development District.
(First Reading 4/24/2017).

Dr. McKenzie - This proposed change to this code seems to make it much more difficult for us to get anything from the developer in exchange for relieving them of the burdens of our quantitative codes. That balanced exchanged must be defined at the time of rezoning and not later after the zoning change has been approved.

Dr. McKenzie - While the approval process you describe is complex, it would not have been since we approved this new zoning option just a little more than a year ago. Also, already existing code seems to address your concerns.

The motion to refer amending the code of ordinances of the city of Reynoldsburg Amending Section 1183.05 Standards for Development Review of Chapter 1183 Planned Neighborhood Development District and Section 1184.05 Standards for Development Review of Chapter 1184 Planned Commercial Development District fails having fewer than three votes on the prevailing side.

RESULT:	REFERRED TO COUNCIL [2 TO 1]	Next: 6/26/2017 8:00 PM
MOVER:	Robert Welday	
SECONDER:	Tyler Cullinan	
AYES:	Cullinan, Welday	
NAYS:	McKenzie	
ABSENT:	Comeaux, King	

3. MOTION TO APPROVE AS SUBMITTED

137 S. Waggoner Road/7619 E. Board Street - United Dairy Farmers - Major Site Plan

Application: #178153 - Major Site Plan

Location: Property is located on the southwest corner of E. Broad Street and Waggoner Road.

Request: Request for review and approval of a major site plan for a new gasoline station.

Existing Zoning: PCD Planned Commercial Development District

Current Use: Vacant Land

Proposed Use: Gasoline Station

Applicant: United Dairy Farmers

The applicant is requesting that the Commission review and approve a major site plan in order to construct a commercial building, gasoline fueling canopy, and related site improvements.

The 6.424AC site consists of three separate parcels and is improved with an existing single family dwelling. To the north and east, the property abuts other commercial businesses in the CS zoning district, and across Broad Street in the City of Columbus. To the southwest, the property is adjacent to single family dwellings in the R-1 zoning district.

The applicant has provided a site plan that includes a 5678SF commercial building, along with 8 fuel pumps and underground fuel storage tanks. The fuel pumps will be covered by a detached canopy to protect customers from the elements while fueling.

The applicant has provided building elevations showing a 1 story commercial building. The proposed building materials consist of wood plank and stone. The proposed fuel pump canopy consists of similar materials. The site plan indicates general compliance with the landscape and buffering regulations of Chapter 1180, including parking lot perimeter plantings and service structure screening.

As a condition of approval, the applicant has indicated a portion of the site that will be designated as a preservation area. This is mis-labeled on the site plan as a conservation easement. The applicant should revise and submit a corrected plan for approval of the zoning certificate for the development. Staff will also require the applicant to provide a detailed description of this area.

Staff has reviewed the applicant proposed lighting plan, and found it to be generally compliant with the provisions of Chapter 1182. The rezoning text made a specific provision that allowed increased lighting levels beneath the fueling canopy, in order to promote safety within the site. The proposed plan is consistent with the deviations permitted by the text. The applicant is proposing some lighting around the rear retaining wall of the site. Although there will not be any activity in this area, Staff agrees that this is necessary to promote site security. The existing mature woods, as well as the full cut-off style fixtures minimize any light trespass, according to the plan.

The applicant has provided a facilities demand worksheet which indicates their demand for City water and sewer services. This information has been distributed to the Water/Wastewater Division and City Engineer for review. The applicant indicated that their

site will be served by an underground stormwater basin. It will be the responsibility of the City Engineer to determine if the size of the basin is adequate per the Stormwater Manual of the City.

The City Engineer and City of Columbus Traffic Management Division have already reviewed and approved the applicants previously submitted Traffic Impact Study. They have proposed several infrastructure projects which will be implemented at the expense of the applicant. These will be constructed and inspected according to the requirements of the City Engineer. The proposed site plan provides a right-in/right-out access drive on E. Broad Street and proposes full access onto Waggoner Road from the southernmost portion of the site.

The applicant's development plan indicated compliance with the parking requirements of Table 1179 of the Zoning Code for the entire site, including the parking spaces located at the gasoline pumps.

The Commission should apply the standards for review of major site plans contained in Section 1143.05 of the Zoning Code and determine if the site plan as proposed complies with those standards, as well as the development plan approved by Ord. 40-17. Staff recommends approval of the major site plan as submitted.

Nick Hershberger, CESO Engineers 395 Springside Drive, Suite 202, Akron, Ohio 44333 presented that the plan is essentially the same as what was presented for re-zoning but for the addition of the preservation zone.

Dr. McKenzie asked about the parking at the pumps in relation to the ice cream shop portion of the store. He asked if using those as parking places change because of that.

Mr. Snowden replied that you have to rely on the individuals and that in terms of calculating parking spaces, the spaces at the pump count because they do accommodate people going into the store for a short time. It would be up to the management to manage their parking.

Mr. Hershberger stated that they would need 26 spaces and they are providing 30 standard spaces in addition to the 16 at the pump so they are accommodating the requirement regardless of the parking spaces at the pump.

Mr. Welday asked if the sign at the corner of Broad and Waggoner will be grass. He stated that there are a lot of accidents there and wanted to know if there were going to be any gates or a wall.

Mr. Hershberger replied that there is not any fencing proposed but there is landscape proposed.

Dr. McKenzie asked about an elevation of soil right off the street as to whether it was going to be taken down noting it was above street level. He also asked about materials being wood and stone and asked if that is the facade.

Mr. Hershberger replied that yes, it was still going to be constructed of steel for the posts. It is just an architectural feature to match the building.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Tyler Cullinan
SECONDER:	Robert Welday
AYES:	McKenzie, Cullinan, Welday
ABSENT:	Comeaux, King

4. MOTION TO APPROVE AS SUBMITTED

1933 Baltimore-Reynoldsburg Road - New Commercial Shopping Center - Major Site Plan

Application: #178049 - Major Site Plan
 Location: Property is located on the northwest corner of Baltimore-Reynoldsburg Road and the south leg of Stonetrail Way.
 Request: Request for review and approval of a major site plan for a new commercial shopping center.
 Existing Zoning: CS Community Services District
 Current Use: Car Wash (Auto Services)
 Proposed Use: Shopping Center (Retail Sales)
 Applicant: Brad Williams

The applicant is requesting that the Commission review and approve a major site plan in order to construct a two building, neighborhood scale, commercial shopping center and related improvements.

The site is an existing carwash developed with a building for self-service and automatic car washes, as well as related improvements. To the south and east, the property abuts commercial shopping centers in the CS district. To the north and west, the property abuts multi-family dwellings in the AR-1 zoning district.

The applicant is proposing two, one-story commercial buildings. The site will have access from both Stonetrail Way and Baltimore-Reynoldsburg Road. The access drive from Baltimore-Reynoldsburg Road will separate the two proposed buildings. All parking is behind the buildings or to the side. No parking is proposed within the required setback, consistent with the regulations of the Zoning Code for commercial parking lots.

In order to accommodate their proposed construction schedule, the applicant is proposing a phase implementation of the site plan. This is perfectly acceptable under the requirements of the Zoning Code. The applicant has been informed that an additional certificate of appropriateness will be required for signage and any additional architectural changes to the proposed Phase II buildings to meet the needs of any future tenants. The applicant should also be aware that the City retains the power to require additional traffic studies, should a tenant be proposed that has a higher traffic impact, such as a restaurant. The applicant should clarify how they propose to limit customer traffic to the remainder of the site, from the first phase of development.

The applicant has submitted elevations indicating the proposed building design, materials and general location of signage. There are not specific material requirements for the CS district,

therefore, the style of design presented by the applicant is appropriate. However, generally speaking, previous Commissions and Design Review Board members have asked for additional natural materials, such as brick or stone.

The applicant has proposed the general location and type of sign. Staff has no concerns with is proposed, but a comprehensive sign plan approval will be required in the future. This should be done when detailed sign plans are available.

The applicant has provided a lighting plan which appears to meet the requirements of Chapter 1182 for intensity at the perimeter of the site. The mature trees and other natural screening will keep light trespass to a minimum. The proposed 20FT pole height meets the Zoning Code requirements. The proposed black finish is consistent with the building architecture.

The applicant has provided a landscape plan that meets the general requirements of Chapter 1180. The site has existing mature trees on the north and west sides. The applicant proposes to maintain these trees, consistent with the code requirements and the conditions of previous variance approvals. Staff has reviewed the applicants plant material calculations for detailed compliance and found the information to be accurate.

The applicant has indicated the location of their dumpster enclosures but has not provided a detail. The applicant should clarify the height and proposed materials. Staff's preferred material is masonry that matches the building architecture.

The applicant has provided a facilities demand worksheet, which indicated that the proposed development does not meet the threshold for an additional traffic study. This is partly due to the high traffic impact of the previous auto use. This information was reviewed by the City Engineer, who confirmed that no additional studies are required in this case.

The applicant proposed driveway access from both Baltimore-Reynoldsburg Road and Stonetrail Way, which is consistent with the current configuration of the site. The applicant conducted a parking study, which indicated that the site required 50 parking spaces and the applicant is proposing 54. The applicant did not include the 3 required loading spaces in their calculation, but regardless, Staff has no concerns. Deliveries to business of this type typically take place at off-peak hours. The applicant should be aware that repurposing the proposed furniture store to another use could require a variance or construction of additional parking.

The applicant has provided a facilities demand worksheet which indicates their demand for City water and sewer services. This information has been distributed to the Water/Wastewater Division and City Engineer for review. The information provided indicated that the water usage on the site will be less than previously required for the car wash use. The applicant indicated that their site will be served by stormwater catch basins that connect by underground pipe to stormwater facilities under Baltimore-Reynoldsburg Road. It will be the responsibility of the City Engineer to determine if the size of the basin is adequate per the Stormwater Manual of the City.

The Commission should apply the standards for review of major site plans contained in Section 1143.05 of the Zoning Code and determine if the site plan as proposed complies with those standards. Staff recommends approval of the major site plan as submitted.

Todd Cunningham, EMH&T 5500 New Albany Road, Columbus Ohio representing the developer on the project. He stated that the dumpster enclosure would probably be block, painted dark grey to match with the buildings. He would also propose the north curb line would be curved so as to keep people on the pavement. He said they would be happy to work with staff.

Mr. Snowden stated that EMH&T, as they are the City Engineers would not be performing the plot grade utility plan, that it would be the back-up Engineer CT Consultants performing those duties.

Mr. Cullinan asked how much area is being disturbed.

Mr. Cunningham replied around 70% of the site. The set back areas are going to be maintained along the edges of the site. The building sits north of the existing pavement line is, we're going to remove that pavement.

Mr. Cullinan asked if it's one acre.

Mr. Cunningham replied because of the use of the site when you compare the pre-developed conditions to the post-developed conditions that were in an improved condition in terms of overall imperviousness.

Dr. McKenzie stated, for whatever reason we only received these documents today and some of us have real jobs and so we didn't see the documents until we got home today. On the phase two, I noticed the listed handicap parking places on the north side of the building, but those are two separate activities there. The entranceway to the retail would be to the west and there's no close handicap parking spaces there.

Mr. Cunningham replied, typically the handicap parking spaces when we submit for building permit the proximity to the entrances, the building code official is not comfortable with the proximity that we've given them an appropriate priority relative to the building entrance we get commented on at that point. Also, from the tenant side of things if there's a concern as we work through that ADA code is a little bit nebulous, there's no minimum distance from the entry point. There's some room to navigate that and if there's a local concern we will address that.

Dr. McKenzie stated, while we are waiting could you give a little more idea of the concrete block enclosures for the dumpsters. You were saying you prefer concrete block.

Brad Williams replied, with Thomas English Retail Real Estate, 725 East 65th Street, Suite 300, Indianapolis, Indiana. Our intent would be to use a smooth face concrete block, paint it to match. The finishes on the building we're anticipating it to be a fairly smooth finish, more of a clean line, so having a block that was of similar style was our intent and that would allow us to get an exact color match. They would be 6 feet high, 3 sided enclosure, with a normal operating gate in front. If you look on the elevation sheets in the package, portions of the buildings we do have an exposed channel pattern. It's like a larger block, is what it would

look like, so this would be a similar pattern and a smooth finish as on the building, but it would not receive a stucco finish.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Robert Welday
SECONDER:	Tyler Cullinan
AYES:	McKenzie, Cullinan, Welday
ABSENT:	Comeaux, King

5. Comprehensive Plan

No Discussion.

C. ADJOURNMENT

Chairman



Planning and Zoning Administrator

Minutes Acceptance: Minutes of Jun 1, 2017 6:00 PM (APPROVAL OF MINUTES)

MINUTES

**PLANNING COMMISSION
THURSDAY, SEPTEMBER 7, 2017 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: McKenzie, Cullinan, Comeaux, Welday, King
ABSENT:

2. APPROVAL OF MINUTES

Dr. McKenzie: I had submitted what I remember as my own contributions to the discussion leading up to when the microphone or recording system was turned on, so you probably haven't seen those yet.

Mr. Snowden: Dr. McKenzie when was that submitted to Stephanie and April.

Dr. McKenzie: Just this afternoon.

Mr. Snowden: Ok well they're not going to be able to approve those since they haven't made the changes yet.

Dr. McKenzie: *inaudible*.. and the July 6th minutes, does anyone have any changes to those minutes?

No response.

Dr. McKenzie: Hearing none those will stand approved. And the August 3rd minutes. Any requests for changes to those?

No response.

Dr. McKenzie: Hearing none those will stand approved.

Mr. Snowden: Dr. McKenzie can you check your microphone are you sure you're online there? There you go.

Dr. McKenzie: Ok.

Mr. Snowden: Ok continue sir.

Dr. McKenzie: Ok, the LED on the President's microphone does not work.

Minutes Acceptance: Minutes of Sep 7, 2017 6:00 PM (APPROVAL OF MINUTES)

Mr. Snowden: Ok I'll pass that to Joe in maintenance, it's been here since 1986 I'm sure it's past its life.

Dr. McKenzie: Well the LED on the button has not operated on the entire time I've been Chair.

Mr. Snowden: Just let the record reflect that the June minutes were held pending revision to the draft minutes that was submitted yesterday. Stephanie is on vacation this week but she's going to be back next week. Actually she was vacationing in Florida and I've heard she's gotten back safely and July and August minutes were approved.

1. Planning Commission – Regular Meeting – June 1, 2017

Minutes held

2. Planning Commission – Regular Meeting – July 6, 2017

RESULT:	ACCEPTED
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3. Planning Commission – Regular Meeting – August 3, 2017

RESULT:	ACCEPTED
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3. APPROVAL OF AGENDA

Agenda stands approved.

4. SWEARING IN OF SPEAKERS

Speakers for the meeting sworn in by Chairman McKenzie.

B. PUBLIC COMMENT

No public comment.

C. COMMISSION BUSINESS

1. Ordinance Approving the Modification of the Plat of the Oak Valley Subdivision, Section One; Application #179772; Applicant: Dennis and Jennifer Franko;

Application: #179772 - Plat Modification

Location: Property is located on the east side of Oak Valley Drive between E. Main Street and Palmer Road.

Request: Request for review of a plat modification.

Existing Zoning: R-2 Single Family Residence District

Current Use: Vacant Land

Proposed Use: Residential

Applicant: Dennis & Jennifer Franko

The applicant is requesting the Commission review and make a recommendation of approval for the modification of an existing plat.

The 3.29AC site is currently undeveloped. To the east, west, and south, the property is

adjacent to single family dwellings in the R-2, R-3, and R-1 zoning districts, respectively. To the north, the property abuts a cemetery in the S-1 Special District.

The site was originally platted in 1998 for 5 single family lots, and intended as part of a future development which was never completed. The development, as originally envisioned, is no longer practical or feasible. Subsequently, the original developer has sold the lots to home buyers who wish to combine the existing platted lots into two build able lots and remove the unneeded public ROW.

The applicant has provided a new plat map, which was circulated for review by the City Engineer and other representatives of the Department of Public Service prior to application for Commission review. The City Engineer suggested several changes which were incorporated into the map exhibit presented, including notes, titles, and other details. In order to satisfy the requirements for multiple owners, the applicant provided written consent to proceed with this application from the owner of the three lots that will become the proposed lot 2A, and the owner of the parcels that abut the plat to the east.

There are city water and sewer services available in the area, but no portion of the improvements required by Chapter 1123 of the Subdivision Regulations have been constructed for this plat. The normal policy is to require lot or parcel owners to extend water and sewer across their lot. The removal of the existing public ROW between proposed parcels 1A and 2A removes the need for this requirement. In order to make clear the obligations of the City to any future owners of the parcels to the east of this plat, the City Engineer recommended note #3 of Sheet #2 of the plat map exhibit. This note clarifies the responsibilities of the City and any future owners who wish to extend public water and sewer subject to City review. This information will be filed with the plat map at the County Recorder's Office. The applicant is already aware that they will be required to a sanitary sewer extension to accommodate the two proposed lots. Fees for water taps will be calculated by the Water/Wastewater Division.

At the request of Department of Public Service, the applicant proposes to vacate the existing public ROW between the two proposed lots, and replace that with a 30FT ingress/egress and utility easement for the parcels to the east. This easement could be used as a private driveway, or upgraded to a private roadway in the future for the use of those parcels. In order to prevent an awkward driveway configuration, the City Engineer requested that the applicant add a note #2 on Sheet #2 of the plat map exhibit, requiring lots 1A and 2A to have driveways directly on to Oak Valley Drive.

The Commission should apply the requirements of the Subdivision Regulations and determine if the applicant has met those regulations. Staff's position is that the provision of the Subdivision Regulations have been met, and recommends the application be forwarded to City Council with a recommendation for approval by the Commission.

Dr. McKenzie: Would you please note that Mr. Comeaux arrived at 6:05

Mr. Snowden: Noted.

Mr. Comeaux: Process oriented question, were any notices required to be sent to adjacent land owners and did we hear back from them?

Mr. Snowden: They are not required by the subdivision regulations or by state law for this type of action. Mr. Comeaux to put a finer point on it, my understanding is that neighbors to the south are already aware that some development may be happening here because they've come in and talked to me and of course you have multiple property owners cooperating to get this done, that's why you have the 1A the 2A and the 3A portion. It's a pretty rare situation, if I didn't emphasize this in my report that we haven't done something like this in a very long time.

Dr. McKenzie: Just to let you know, to my knowledge, none of us have received the staff report.

Mr. Snowden: The staff report came out today at 4:00 due to my workload. You should have it on your desk, if you don't I'll bring copies around.

Dr. McKenzie: My desk?

Mr. Snowden: as in right where you're sitting.

Dr. McKenzie: No.

Mr. Snowden: Ok I'll bring copies around as the hearing continues. Mr. Chairman, it might be of interest to ask the applicant or the engineer if they have any additional comments.

Dr. McKenzie: Would anyone on this application like to address the Commission?

Voice on recording inaudible

Dr. McKenzie: Ok, thank you.

Mr. Comeaux: So, if we do nothing, what could developed there. Obviously residential, but what would it be one parcel altogether at that point or?

Mr. Snowden: So the issue here is one of, the underlying issue is that the, what we basically call a paper street is existing there and because of that, in order for the city to consistently enforce its requirements for installing public improvements next to lots that are being developed, the applicants could still build homes and could still build, combine the 2 and 3 lots respectively, but the costs that they are going to incur to have to install that street and subsequent underground utilities that would go with that, are going to be so fantastically expensive that they're not going to be able to do it. That's the reason why the property has not developed. I don't know the whole history of the area, but there is a reason why folks don't normally lop off 5 lots and install the infrastructure. You typically spread those infrastructure costs to a large development. Had that been done initially, its possible we

wouldn't have been in this situation, but the folks who were here at the time and the property owner at the time elected to just do this particular 5 lot section. It is also not possible, and I have folks from the former property owners have commented that extending the street into a cul-de-sac back here and trying to develop build able lots, that the infrastructure costs are too great to be supported given the value of the land. So at that point the only way to reduce that infrastructure cost is remove what is un needed public right of way. If you remove the un needed public right of way, you've reduced the cost and now it makes economic sense to build 2 homes on the lots. The right of way is of no value to the city. A cul de sac is not even great design when it comes to designing and laying out a residential neighborhood but it would have been the only way to get a street back in here.

Dr. McKenzie: And yet despite that we have so many of them here in Reynoldsburg.

Mr. Snowden: Don't get me started.

Mr. Welday: Mr. Snowden, for 3A you said that won't be developed at this time?

Mr. Snowden: So what's going to happen here Mr. Welday is that the Franco's who are here with us tonight, own the property that will become lot 1A, another gentleman named Mr. Cipriano who's here in the audience in the black shirt and glasses owns lots that will be come lot 2A and the lot that is the small piece of right of way that is labeled lot 3A will be given to the gentleman who owns 3 parcels behind them who is the original property owner of the area, his name is Mr. Bates. Mr. Bates was a very long time realtor and developer in the Reynoldsburg area and he's the original one that laid parts of this area and the Leighton Village subdivision out in the first place. Mr. Bates owns the property and he just wasn't able to complete this development my understanding is giving him.. right of way, when you're vacating plat, you have to be careful, like when the city vacates right of way, the city can't give right of way to somebody, right of way has to be vacated down the middle and given to property owners on either side and I think that's what Mr. Long from Hocenden is intending in this case is just to divide that and give it to Mr. Bates since its really not of use to the other two. It would be really awkward if you were trying to attach that to 1A now you'd have a really bizarre looking lot that doesn't make sense.

Dr. McKenzie: I assume the complication of ownership here is why the fee was listed as not applicable.

Mr. Snowden: No, the reason there is no fee listed is because there is no fee listed in our fee schedule for plat modifications despite the fact that it is listed in our subdivision regulations. Dan and I are working with the Mayor at this time to get that corrected because obviously the city having the city engineer looking at these things and my time looking at these things and so forth, the City incurs some cost from that. Obviously I cannot fee for something that is not listed in the code.

Dr. McKenzie: The confusion for me is that it is listed on the application.

Mr. Snowden: Yeah I listed it as non applicable because there simply is no fee for this type

of modification.

Dr. McKenzie: There is a little block down here for instance on this one there is a little block for plat modification.

Mr. Snowden: I added that to actually have a block to check on the applications so I would know what it was that was actually happening in this case. Like I said there is no fee in the table, but there is a process in the code.

Dr. McKenzie: And believe it or not, I have not looked at the fee table very often.

Mr. Snowden: That's ok. I'm probably the only one that ever does so...

Dr. McKenzie: Though I did look at it today.

Mr. Snowden: So I am working with the administration to propose a modified fee table to City Council because if something appears in the code that is incurring cost, that cost needs to be borne by the folks doing the development, but I can't make up a fee for the process that's there.

Dr. McKenzie: I agree, generally we charge fees for a purpose, not just because we want to and while Mr. Snowden feels very powerful there are limits to his exercise of authority.

Mr. Snowden: My power comes from what's delegated to me by City Council.

Dr. McKenzie: That's right, that's basically what I said. He has limits. The reason I'm waiting is I see people going through documents just so you know.

Mr. Comeaux: So are there any additional costs to the city to change, to do this change vs. if they were to come in and say build the road as it's currently..

Mr. Snowden: No, it's less of a cost to the City because if you leave the right of way there, the city is going to end up having to maintain that long term. If it goes away and it becomes you may have one of three things happen in the future. If you have the public right of way there, there is always a city cost. If you remove that the City now doesn't have a maintenance cost you may have one of several things happen. The property that currently belongs to Mr. Bates, if you look at the screen, they have access to the private drive down through here, so it's possible that those 3 parcels would remain in a single ownership and nothing would ever happen on that ingress egress. It's possible that one drive might be installed in here to service this home back here, it's possible that if you had up to 3-4 try to be built back here, they would have to upgrade to a private roadway. There is a limit both in our city code and state law of how many private drives you can have off of one another. I don't find that that's very likely. I think the most likely thing is that some day, whoever owns this property would say it would make a lot more sense if I could just go out to Oak Valley drive rather than down to here and here and so on. So that would be the most likely scenario but if you had a private roadway, it would be something to accommodate a couple of homes back

here, the City Engineer would have to inspect that and there would be other requirements but it's not very likely.

Mr. Comeaux: So the 5 parcels we see here, if we were to approve them, then Mr. Bates' s property could be subdivided? Is that correct? I'm just wondering about the future development that could occur at the tail end of this.

Mr. Snowden: What you're doing here, all you're being asked to decide is whether having 5 lots with a public right of way or having basically 2 lots and a little chunk being tossed over to Mr. Bates because he's adjacent there makes more sense. That's what you're being asked to decide. Mr. Bates does have the option to do additional subdivision assuming they have additional ingress/egress the problem is that Mr. Bates' s property back there is on a septic system. There is a minimum lot area I don't know what it is off the top of my head to do a septic but our city code also prohibits new septic systems within the city limits. So if you can't get water and sewer back to the back of the property, that would be at the developers cost, its not developable. Mr. Bates has owned the property since the 1970s and its only now that he's down to where he's got his last couple of pieces there. I don't think it's likely that a large development would move in behind there.

Mr. Cipriano: inaudible from 25.31 to 26:00

Dr. McKenzie: Thank you. Just for explanation, I don't know what Mr. Comeaux's interest or concerns were from his questions, could you make a statement as to why you were having this question, what your concern might be?

Mr. Comeaux: Just, not, we need to focus on what we're asked to do here but what about the parcels that are not on this plan that might be impacted adjacent to it. I know you're not going to put anything crazy in there that would have to go through a different process, but it's un-platted...

Mr. Snowden: It is not platted that is correct, it has been subdivided through the lot split process many times over the years which is one reason why its in this situation. But Mr. Comeaux, in my professional opinion, I think Mr. Cipriano's statement is accurate, the most that you'd probably ever get here would be 3 homes. Maybe Mr. Bates' s property, the three parcels at the back could have an additional single family home, it's only zoned for single family only, so they would have to re-zone to try to get another use. But development, its all about utilities, if you got em you can do stuff. The back existing home doesn't have them so the home could be re constructed, probably have some small additions but there is going to be a limit and when the septic system goes out they can be required to tie in to our municipal water system, I would have to discuss with our City Attorney and water waste water division guys as to what that would entail but it can be required if it's ordered by the board of health.

Mr. Comeaux: I'm not too concerned that geographically its constrained, you're not going to build to the north because there's the cemetery and slightly to the east there are already houses there and to the south, so it's not like this is a massive amount but I was just curious if there were any next steps. I'm not worried about them putting in a Wal-Mart there, I'm not

suggesting that, I just wanted to see what infrastructure that's going in would support, what it would have to support...

Mr. Snowden: The infrastructure that's going to go in as part of this is ultimately going to accommodate the Franco's house and the house that Mr. Cipriano, what his buyer would propose on the lots labeled 1A and 2A. It doesn't even account for any of the previous parcels and their infrastructure, the rear parcels and that's the reason they proposed to get rid of the right of way. If they do continue to have the right of way, then our engineers continue to enforce the requirements and put in storm water and gutter and all of the things that are going to cause that lot to be impossible to build.

Mr. Comeaux: They can already cut into the curb on Oak Valley right?

Mr. Snowden: They can cut in for water, they can cut in for the drives and our City Engineer and water/waste water guys have made a determination that they are going to need to construct a sanitary sewer. The red represents city sanitary sewer right in front of you. They're going to need to construct a sanitary sewer that is going to go approximately kind of here. The reason is, its all open to our engineer what exactly needs to happens, slopes, etc.. our engineer is going to handle all that. But this is a bulkhead and you cant just have a private lateral go directly into the bulkhead so there's going to be a small amount of what's going to eventually become public infrastructure but its a lot less public infrastructure than would have been required for both sanitary and water to go all the way back here in which case they would have had to gone here, here to here and back along here and back along to the property.

Dr. McKenzie: You stated that someone was going to get the right of way, we're giving the right of way to someone. Who is that?

Mr. Snowden: So all three of the property owners are going to be taking a portion of the platted right of way. Lot 2A and 1A are going to receive the portions that are adjacent to their proposed lots which you can see the ghosting on the plat. The lot labeled 3A is going to go to the lot in the rear that is most adjacent to.

Dr. McKenzie: So you brought up the point that there is septic at the house that Mr. Bates owns now and if it were to fail he would be required to tie in and without the right of way being there, would they now have access to water and sanitary sewer.

Mr. Snowden: Yes because the ingress egress easement is also utility easement. So the right of way instead of having a 60ft right of way, its being replaced with a 30 foot ingress/egress and utility easement for the back property so in the event that a future property owner wanted to put private water and sewer in there, they theoretically could, they may according to our engineer due to the distances, be required to extend the public water and sewer in order to give themselves access but ultimately that's really not our concern. If they want the access then they'll have to provide the infrastructure to do it. But it has a utility easement there.

Dr. McKenzie: You understand, the applicants understand that your lawn might get torn up

by the right of way.

Mr. Snowden: It was the applicant's idea so I think they're good with it.

Dr. McKenzie: Any other questions?

No response.

Dr. McKenzie: Hearing none would anyone like to make a motion.

Mr. Welday: I make a motion that we approve application 179772.

Dr. McKenzie: Ok you're going to move that we forward this to Council with a recommendation they approve it. We have a Motion from Mr. Welday.

Mr. Cullinan: I second.

Dr. McKenzie asked for debate

No response.

Mr. Snowden called the roll.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Robert Welday
SECONDER:	Tyler Cullinan
AYES:	McKenzie, Cullinan, Comeaux, Welday, King

2. 2365 Taylor Park Drive; Application #179812; Applicant David Keyser; Major Site Plan

Application: #179812 - Major Site Plan

Location: Property is located on the west side of Taylor Park Drive, just south of Taylor Road.

Request: Request for review and approval of a major site plan for new two-building commercial development.

Existing Zoning: CS Community Services District w/ Limited Overlay

Current Use: Retail Sales (accessory parking)

Proposed Use: Speculative Commercial Uses

Applicant: David Keyser/DBK Architecture

The applicant is requesting the Commission review and approve a major site plan, in order to construct a two-building, commercial development and related improvements. The site will be a new outlot within an existing commercial shopping center.

The site of the proposed development is the accessory parking lot to a commercial shopping center. Neighboring uses in that shopping center include retail sales. The east, the property abuts a restaurant (eating and drinking establishment), also in the CS district. To the south, the property abuts a large, two-tenant commercial retail center. To the north, the existing

shopping center abuts a senior living complex in the AR-3 zoning district.

The applicant is proposing two, one-story commercial buildings. The site's existing access to Taylor Park Drive will be maintained. The applicant is proposing to configure the site for drive-thru service. Given that no specific tenant is yet identified, a special exception use permit will be required to begin operation of the drive-thru use in the future. This configuration has the effect of pushing the building further back from Taylor Park Drive, but this is not avoidable given the proposed use.

The applicant has submitted elevations indicating the proposed building design, materials and general location of signage. There are no specific material requirements for the CS district, therefore, the style of design presented by the applicant is appropriate. Generally speaking, previous Commissions and Design Review Board members have asked for natural materials, such as the proposed brick veneer. The applicant is also proposing metal awning and storefront window systems, which are very typical to commercial retail buildings.

The applicant has proposed the general location and type of sign. Staff has no concerns with the proposal, but a comprehensive sign plan approval will be required in the future. This should be done when detailed sign plans are available.

The applicant did not provide a lighting plan for the proposed development. Since the overall site is existing, the requirements of Chapter 1182 can only be applied to the new development. The applicant's site plan does not indicate any site lighting to be removed. Staff would like the applicant to submit a photometric plan indicating any proposed building lighting complies with Chapter 1182.

The applicant has provided a landscape plan that meets the general requirements of Chapter 1180. The site has existing tree and shrub plantings along Taylor Park Drive. The applicant has proposed some foundational plantings along portions of the proposed building facades.

At the request of Staff, the applicant relocated the dumpster enclosure to the west portion of the proposed new buildings. Previously, this was proposed to front Taylor Park Drive. The applicant has provided significant screening plantings along the dumpster area, but it not clear from the plans if the dumpster will be screened with fencing or masonry walls. Staff would also like the applicant to clarify how the dumpster area will be accessed from the proposed service area.

Between the two proposing buildings, the applicant has designed an outdoor seating area. This is a nice amenity, which will be partly shaded by the proposed buildings, and is screened from the adjacent service area. Given that the service area between the buildings will be visible from the main entrance drive, Staff proposes that the landscape buffer adjacent to the east side of the dumpster enclosure area be extended to the east. This will screen the area from traffic where it enters the site.

The applicant has provided a facilities demand worksheet, which indicated that the proposed development met the threshold for a traffic access study. That study is currently under review, but due to the City's main engineering firm's membership on the project team, the City is using another consultant. This has caused a delay in the review, but given the existing

lane controls and stacking space along the exit drives, Staff would not expect significant additional requirements.

The applicant has 270 existing parking spaces, and including the new development, 236 spaces will be required. The applicant's revised site plan, including the proposed new development and the existing shopping center, indicates that 250 parking spaces are proposed. Given the variety of uses the site supports, and the time differential of many possible tenants, Staff's believes the site is adequately parked.

The applicant has provided sidewalks along the north side of the proposed development, which will serve as the main entrance, but has not connected that area to the public sidewalk along Taylor Park Drive. Staff would like this to be considered.

The applicant has provided a facilities demand worksheet which indicates their demand for City water and sewer services and indicated on their site plan where they will tap into utilities. This information has been distributed to the Water/Wastewater Division and City Engineer for review. The applicant has significant stormwater detention basins already on site, which would have accommodated the existing impervious surface. The City Engineer will be required to review the proposed increase in impervious surface area and determine if the existing catch basins are adequate per the Stormwater Manual of the City.

The Commission should apply the standards for review of major site plans contained in Section 1143.05 of the Zoning Code and determine if the site plan as proposed complies with those standards. Staff's position is that the applicant has met those standards, recommends the Board approve the application for a certificate of appropriateness on the following condition:

1. That the landscaped bed along the south side of the proposed development shall be extended eastward, in order to screen the designated service area in a manner acceptable to the Planning & Zoning Administrator; and that this revision shall be reflected on the site plan submitted with the application for a zoning certificate;
2. That the applicant shall screen the dumpster with masonry walls and gate that match the building architecture; and that the Planning & Zoning Administrator may order additional changes to the dumpster enclosure area to provide a direct path to the service area of the proposed buildings;
3. That the applicant shall receive final approval of the required traffic access study; and
4. That the applicant shall submit a photo-metric plan, indicating the lighting levels around the immediate area of the proposed development, which shall be reviewed by the Planning & Zoning Administrator for compliance with Chapter 1182.

Dr. McKenzie: Would the applicants or their engineer like to address the commission at this time?

Audience member: No additional statements at this time.

Mr. Comeaux: So the second, you had listed 4 things, additional screenings...

Dr. McKenzie/Mr Snowden: Page 6

Dr. McKenzie: Keep in mind whoever decides to make the motion, they've got a lot to remember fortunately its in the staff report.

Mr. Snowden: I think the commission should inquire with the applicant and just see which of those comments they're open to and they're not open to, if the applicant is not able to respond then the Commission will have to decide what to do at that point.

Mr. Welay: Going back through for them, the applicants, right now you've got the staff and the staff review there is no specific tenant and on the one diagram its Starbucks, is that what you're proposing or planning to have a coffee shop through there for the drive through, am I correct?

Audience member: The owners are targeting a coffee *inaudible

Mr. Welay: They don't have a specific one but they're targeting a coffee drive through? Anything on the second building?

Audience member: No specific *inaudible

Mr. Snowden: Mr. Kiser just for record keeping sake would you introduce yourself and give us your address.

Mr. Kiser: David Kiser, DKB Architects 52 E. Lynn Street, Columbus, Ohio

Mr. Snowden: Thank you sir.

Mr. Comeaux: Mr. Snowden suggested that you all have access to storm water retention pond behind Target, is that accurate as well? Obviously the engineer will have to determine whether you have enough capacity, but if you have access to that I think capacity isn't an issue.

Mr. Peltier: James Peltier, EMH&T 5500 New Albany Rd, Columbus Ohio as far as the basin behind the Target, I'm not familiar how it interacts, its something we'll have to study and work with engineering on.

Mr. Snowden: but there are 2 basins on site.

Mr. Peltier: There are 2 basins just south of the project that we would study to confirm they have capacity.

Mr. Snowden: Stormwater is all about how much impervious surface, so when you have a parking lot your converting that to building, your not really increasing the impervious surface

by that much, am I correct in that summary, Mr. Cullinan you deal with that all of the time.

*Inaudible

Mr. Peltier: We haven't studied pre or post yet, that would come with the plot grade utility.

Mr. Snowden: I always like to comment that they've at least looked at them, the detention basins and they have a game plan. We've had a major site plan come in where they've had no idea what they're going to do in stormwater- that raises some red flags.

Mr. Comeaux: The other question I have, did you say the City would hire someone to look at the traffic? The only thing I would say is with the fire station back there the traffic pattern has to be contemplated in different ways.

Mr. Snowden: The applicant qualified for a traffic access study so what that generally looks at the immediate periphery where private drives go into private right of ways, how much stacking space, are their lane controls.. it usually doesn't look at a... maybe if there would be some small public infrastructure that would help such as a turn lane on a 2 lane country road, it generally not for super intense uses but in this case I'm sure that's something they would have taken into consideration. The issue was that EMH&T is our engineer so when they're on a project team, we have to go with a back up engineer without getting into the inside baseball, I didn't catch that it was EMH&T until the person that was assisting me had already opened the PO with EMH&T which we then had to close and get open with our back up firm which is called CT Consultants and CT is reviewing at this time and I've talked with Mr. Parkinson and he didn't have any additional comments but he said they're not done yet just due to their workload so I would think we'll have a response back within the next couple of weeks. It usually takes a good 3-4 weeks.

Mr. Peltier: We studied the intersection of Taylor Parkway Dr and post development the level of services is A or B and that's great for a drive through so we should be in good shape.

Mr. Comeaux: I think in general its great the only thing I don't know is if we need special accommodations for the Fire Department as far as ingress and egress. One final question. There were 4 suggestions that Mr. Snowden was making to us, can you speak to whether or not you can commit to them or can't commit or what. The first was landscape bed along the bed of the south side of the development should be extended eastward in order to screen the designated service area in a manner acceptable.

Mr. Kiser: Agreed

Mr. Comeaux: the second screening the dumpster area with masonry walls and a gate.

Mr. Kiser: Would the commission entertain a wood screen wall? I have some details that I can show you today for what that might look like.

Mr. Comeaux: So can we make it screening contingent upon consulting with the Planning

Administrator or something of that sort?

Mr. Snowden: if the Commission wants to leave the fencing or masonry decision up to me, that's fine just state some sort of screen. The code states that masonry is preferred and it's preferred when it can be integrated to the building, you're not going to be able to integrate it to the building here without having a really awkward configuration. I was less concerned about that and more concerned about making sure we have a path to get around there because to think someone that is pushing a trash rolling cart is going to be able to go all the way around to do a dump on the Southwest side, you want to have some sort of path or access on the back or something. I would just like to see Mr. Kiser lay out a detail on that.

Mr. Welday: Just to expand upon that point, I see there is only 12 ft clearance, if that is a dumpster, how are you going to get a truck in there in order to dump that dumpster.

Mr. Snowden: Mr. Welday that's really why I was asking for clarification. Why don't we just let Mr. Kiser tell us how it's going to operate?

Mr. King: My question is, are those doors actually going to block the driveway for the emergency facility in the back? That's my thought right now.

Mr. Kiser: You're right, for some reason it's showing up there are the gate doors which would be.. based on the comments from staff, we've relocated the dumpster from the other side to this location and there would be some traffic crossing issues if you had a service condition during an emergency perhaps. Let me bring up an item on that question. We had it originally located it in that area basically, and the idea was that yes it was further away from the service area/traffic patterns. Ideally we wouldn't want it on Taylor Park but it seemed like it was the most real estate. We thought we could do a better job with the landscape screening. I think if we can look at sort of an enlargement of the plan, there is a lot bigger area we could provide landscape buffer with. If it was perhaps in that location, but it was staff's concern with the proximity to Taylor Park Drive that it perhaps would be better in this location here. If you see where we've got a much larger area in that island we can landscape buffer around with plant materials, evergreen screening and try and do a better job at screening as well as the vehicular congestion at the current location.

Mr. Snowden: This is a fence line with some mature shrubs and what Mr. Kiser is saying is it would be placing it right here.

Mr. Kiser: Yeah and it would be an entry landscape, decorative screenings and a much larger area around the dumpster that would serve as an entrance feature landscape wise and provide some buffer for that utility dumpster.

Mr. Comeaux : and the idea would be to access it then from the parking lot.

Mr. Kiser: Yeah. So you would have an access drive where the ** is and it would basically line up with that and get all of that vehicular congestion out of the way.

Mr. Cullinan: I think the idea about moving the dumpster enclosure to that location makes sense, better use and there is some more space to be able to screen it and be able to utilize the enclosure.

Mr. Snowden: The remaining items we were going to ask about and we can re-write number 2 we can discuss the enclosure, was getting approval of the traffic access study and taking care of getting me a photometric of just the area around the, that was just an oversight on the application, but I can't enforce 1182 for the entire site, just the area around your proposed development.

Mr. Kiser: Agreed.

Mr. Snowden: So in that case gentlemen, all we need to do is just revise staffs suggested number 2 and let me see if we can do this quickly, or you can if you prefer Mr. Comeaux.

Mr. King: I think if it moves there's a lot more there to figure out.

Dr. McKenzie: Mr. Comeaux I take it you're preparing a motion?

Mr. Comeaux: I'd like to make a Motion to approve item #179812 with the following provisions 1. additional landscaping be provided along the south side of the development headed eastward and that that plan be approved by the Planning Administrator; 2. that the dumpster be moved to the location on the south east corner of the parcel and that it be screened in a way that is consistent with the discussion tonight and approved by the Planning Administrator; 3. that the traffic access study be completed and submitted to the Planning Administrator; 4. That the photometric study for the additional development be provided to the Planning Administrator.

Dr. McKenzie: Mr. Comeaux moves, is there a second?

Mr. King: I second

Dr. McKenzie: Mr. King Seconds, any debate?

Mr. Snowden called the roll, motion adopted.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Jim Comeaux
SECONDER:	Ivan King
AYES:	McKenzie, Cullinan, Comeaux, Welday, King

3. Origins of Brookside/Huber Housing Developments Presentation by Mark Myers

Mr. Havener: Mr. Chairman due to the late time of the meeting and due to the fact that the DRB is supposed to start at 7 I would recommend that we either postpone the proposed discussion or of the Commission would want to hear this, we do it after the DRB meeting.

Dr. McKenzie: I would ask Mr. Myers if he had any input would he be willing to come back next month, he would be the first item on the agenda?

Mr. Myers: That would be fine.

Mr. Snowden: that would be the only thing on the agenda at this point as there have been no applications.

D. ADJOURNMENT

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of Sep 7, 2017 6:00 PM (APPROVAL OF MINUTES)

MINUTES

PLANNING COMMISSION THURSDAY, OCTOBER 5, 2017 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: McKenzie, Cullinan, Comeaux, Welday, King
ABSENT:

2. APPROVAL OF MINUTES

Dr. McKenzie: Approval of minutes of the regular of the September 7th Planning Commission. Does anyone have any comments, requests for changes or anything? I would direct you to the motion to approve Item 179812. It shows as mover of Mr. Welday. Is that correct?

Mr. Welday: That is correct.

Dr. McKenzie: Ok. And you read those off of the...

Mr. Welday: Our agenda, yes.

Dr. McKenzie: Off of the staff report to get those items into it and everything.

Mr. Snowden: He did and I added the one because he modified one. I can't remember which one, but there was one that was a modification. Is that regarding the site plan approval?

Dr. McKenzie: No. This was the one for the, yes, the major site plan.

Mr. Snowden: In addition to what was in the staff report he also made the, we worked with the applicant, if you recall to move the dumpster enclosure, so that was in addition to what staff stated and it should be listed in there.

Dr. McKenzie: Ok. The reason I bring this up is that Item 2 it starts off with a motion showing there being three provisions and later on in the document, as it was since it was read off of the staff report, there were four revisions to it and those four revisions are listed later in the thing, but at the start of it where it gives the motion it only lists three of them. The one that is missing is the photometric site plan and that one is not in that. So I think it should be added.

Mr. Snowden: Dr. McKenzie and other members of the commission, it is critical that you provide us. These draft minutes came out a week after the meeting. It is critical that you

Minutes Acceptance: Minutes of Oct 5, 2017 6:00 PM (APPROVAL OF MINUTES)

provide with any comments. We understand your time and we understand that some of you may not have read it, but it seems like every single time we get up here there's some correction that folks have waited until the meeting to tell us about. If you tell me or Stephanie or both of us, prior to the meeting, I promise we will get a corrected version to you prior to the next meeting so we don't have to continually delay minutes approval which causes some administrative problems. So, please, please, please tell us about it as soon as you notice them. I will pass that along to Stephanie.

Dr. McKenzie: Ok.

Mr. Comeaux: So, I think with respect to 179812, I was the mover.

Dr. McKenzie: That is what I remember, yes.

Mr. Comeaux: And that is what it reflects. If you look on, but the mover is at the tail end of the, if you look at page 16 it says that I move and Mr. King seconded and the minutes do reflect the photometric studies are being provided. So, while it isn't included at the front part of that, the minutes do reflect all four items being included. Notwithstanding the fact that whoever put it in the motion itself did not, so. So, for example if you look at page 11, it represents four conditions and then if you look at page 15 or 16 again, on page 15 where I read it, it is reflected in the minutes, notwithstanding the fact it's not in the caption. So, I don't know if that needs to be put in there.

Dr. McKenzie: My concern is that although this one does not move to anyone else, but when it does that it be as clear as possible those people who may be reading the minutes what the motions are when we're making specifications, you know, additional specifications to the motion and since it is included at that point I think that that's the point it should also have that included.

Mr. Snowden: It's also that maybe it could have been cut off by the software as well, which I will ask. So the specific point is that under Item 2, under the actual motion provision number four did not make it into the motion, but it was read as the staff report and it was read by the gentleman making the motion. Is that the issue?

Mr. Comeaux: No. It is contained in the motion, right? The transcriber, what have you, has a paragraph that leads in and says and we're now going to talk about section 2 or item 2 and in there it did not reflect all four provisions.

Mr. Snowden: Look at the screen in front of you Jim, page 9. So 9 does not match 15. Whereas 9 is the motion. I believe it says number 3 that the traffic access site be completed and submitted to the plan and then it's cut off probably due to the software, a formatting issue.

Mr. Comeaux: That is what they're saying, but that is not the minutes itself, that is, I don't know what that is.

Mr. Snowden: It's a motion that is recorded in the information in MinuteTraq.

Mr. Comeaux: Ok.

Mr. Snowden: Gentlemen, I'll follow up with Stephanie. That's all I can tell you and find out whether that was a computer problem or an error and let you know.

Dr. McKenzie: Alright, thank you.

Mr. Snowden: Mr. Chairman, you also have in front of you, although it does not appear on the agenda, the minutes from June and those are still outstanding.

Dr. McKenzie: They are outstanding.

Mr. Snowden: So I don't know if the commission would entertain the minutes from June and approval given that, those were the minutes where there was an error with the recording.

Dr. McKenzie: Mr. Cullinan and Mr. Welday were the two other members beside myself who were present for that meeting. Have you looked at the revisions I've made to those minutes to supplement the missing recording in the last month?

Mr. Welday: If I recall it, in the last meeting you had changes you had submitted right before the meeting or so. I have not looked at it after that.

Mr. Snowden: I will have her send that out again.

Dr. McKenzie: And I have never received any notification that those had been sent out. I didn't know if anyone else had seen them.

Mr. Snowden: I'll follow up with her and have her send them out again.

Dr. McKenzie: Ok.

Mr. Snowden: Or I will have them sent out tomorrow. Stephanie might be out of the office tomorrow. I can probably send them out tomorrow.

1. Planning Commission – Regular Meeting – September 7, 2017

RESULT:	HELD
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2. Planning Commission – Regular Meeting – June 1, 2017

RESULT:	HELD
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3. APPROVAL OF AGENDA

Agenda not addressed by commission.

4. SWEARING IN OF SPEAKERS

None.

B. PUBLIC COMMENT

Dr. McKenzie: We have no applicants tonight and I don't believe we have any public comment unless Brett would like to address us. No.

C. COMMISSION BUSINESS

A. Presentation by Mark Myers - Origins of Brookside/Huber Housing Developments

Dr. McKenzie: Going on to the commission business. Presentation by Mark Myers, Origins of Brookside/Huber Housing Development and this really is something that gets to the charter specified purpose of the Planning Commission to do research and commit, do studies and like in regard to, you know plan, you know updating and also you know comprehensive plan like, so. So, to read from it, Article 7, Section 701C, the Planning Commission shall conduct studies and surveys and prepare advisory plans, reports, and maps relative of the overall planning of the growth of the city. The commission shall be responsible for the preparation and implementation of the comprehensive plan for the city and subsequent plan amendments for council approval and it goes on and the Planning Commission shall assist the Director of Development with policy development impacting short and long range planning issues with the city. As I pointed out before, when you're doing a comprehensive plan, one of the things to, the first items to understand is where you're coming from. What exists now? So, I asked Mr. Myers to give us a little background on the city at the time that the first two major subdivisions were included, which would have been Huber and Brookside. Mr. Myers. Thank you.

Mr. Myers: My name is Mark Myers and I live at 1375 Creekside Place. I've been a resident of Reynoldsburg since 1973. I'm a volunteer with the Reynoldsburg Truro Historical Society. In case you may not be aware our buildings are located right up the street here on Jackson Street. Right across from Hannah Ashton Middle School. We have three buildings that we maintain. We're completely self-supporting. I've been the past President. I've been an active volunteer for about 10 years. Right now I'm the recording secretary and an archivist. I am a retired teacher/librarian. That's why I'm interested in archival work. I promise you I will be brief tonight and to the point. As a teacher, I've learned that early on. You get to the point. You don't bore people. You get to it and you get over with it. I'm fascinated with the history of the town. I've done a lot of work with it and so I'm really happy to be here. As Dr. McKenzie said, our purpose here tonight is to give you some background on these historic buildings, housing developments from the 50's where it all started. 1955 was a very critical year in our history here and that's when the first Planning Commission was formed. I'm sure at times you are overloaded with work and you wonder how are we going to get through this, can you imagine what it must have been in the mid 1950's when all these housing developments suddenly descended upon the city. In an appreciation for their work the four streets in Huber were named after members of the original Planning Commission and if you know any of the streets Lucks, Stouder, Shively, and Parkinson were all on the Planning Commission in 1955.

The city was in good shape back in the 1950's because from the 1930s there was a great push to strengthen the infrastructure of the city. New water lines were put in, sewer lines, the Main Street was widened. It was repaved. It was ready for development and the citizens knew that if they were ever going to reach city hood they would have to have more housing.

So, they were accepting of it basically from the get go, from what I can find out.

Now, what sources did I use? Well, I used the histories that have been written at the historical society mainly by Connie Parkinson. I looked through all the newspapers of 1957 and 1959. Unfortunately, other years are not available anywhere, so far as I know, but they did give me kind of a good feel. Those were critical years in the housing developments phase. I also talked with Jack Winters who was the contractor at Brookside. One of the original contractors. As an overview I'm going to explain a little bit about the history of each one of the developments. How they were different. Then I'm going to show you the effects on the town operations as a result of all these houses and people coming in. And lastly, the reactions from the citizens to all this building they saw going about them.

Now, back in 1955 there were only maybe 800-900 people here in town. That was soon to change. Brookside came first. This was 1956. 714 homes were built out there. Started north of Bryden, of course this was east of N. Lancaster up to Rodebaugh. It was mainly the work of one man, Allen Ortlip, who was quite a dynamo. He not only developed the plans, he marketed the subdivision. He sold the houses. He was in charge of all the operations out there. He had over 200 employees just selling Brookside Homes working in the office out there. These were 3 bedroom ranches basically. Price around \$12,000. You could have one for \$350 down payment and \$79 a month. That included principal, interest, taxes, and insurance. If you were a veteran, you got a better deal even. If you didn't have the down payment, no problem, you could join the down payment club and you could pay that off in monthly installments. They were built to sell and there were a lot of people that bought them and bought them quickly. The prices I'd say around \$12,000. They did try and experiment around Saratoga and Gilmore. They tried to build some more expensive homes out there. Selling at a little higher price, wouldn't sell. It went back to the standard plans around \$12,000. These were modular homes. They were national homes from Indiana. Allen Ortlip behind all of this. They came in on a semi-truck. One house. They'd park it in a lot and then they would start hauling the materials off of the truck. It was enough for one home. It took them about 8 weeks to build a house and when that semi-truck was empty, the next time a driver came in from Indiana he would take the empty one back to Indiana. They would finish about 2 a day. These were mainly frame homes and then the next development Huber were the brick ranches, for the most part, and Huber then started about a year later in 1957. This went up to 1,200 homes. Haft to Rosehill and then beyond and of course that property most of it did belong to Al Haft, the wrestling promoter here in town. Very famous man. We're very interested in him. Originally as far as I can tell, it wasn't called Huber it was called Rosehill Heights built by the Huber Company from Dayton. These ran for about \$14,000. They were traditional construction, like carpenters, one piece at a time, just as you would build houses today, for the most part. That was Huber Village then. Those were the main ones, but there were others also that were coming in at the same time that need to be mentioned, for example, Briarcliff, now much more expensive homes with basements. These were starting at \$16,000. There were about 700 - 800 homes built over in Briarcliff. At \$16,000 you can see the increments, you started with Brookside around \$12,000, Huber was \$14,000 and Briarcliff around \$16,000. Marabar where I lived originally, as far as I can tell I would guess maybe 200 houses over there. They were considered when they were built in the mid 50's as being really quite nice. They used to call it mortgage row because they

figured that people who lived up there really had a whopper of a mortgage. That was Marabar named after the developers two daughters, Mary and Barbara. It was just a lot going on here.

Now, the next part of my talk is what effects did this have on the town operations. First of all it increased the population dramatically. Over 5 years you're going from 800 - 900 to over 5,000 and closer to 6,000 in the next census. A fivefold increase happening all at once within 5 years. We had overcrowded schools, that I could see in the newspapers. They knew that would happen, of course. You're going to have these things happen and of course all of the developers were required to set aside land for schools and they were being built, Herbert Mills over there in Huber, for example. They were being built. They couldn't be built fast enough. There were water shortages, not critical, but you would see in the papers every so often the city service directors reminding people not to over water their lawns. Water was getting a little tight. Traffic congestion. Now with all these new homes that were built in part to satisfy the housing requirements for Western Electric, North American Aviation, out there going towards Whitehall. These people were coming in. It got to the point where we finally had to stop contracting with the Sheriff and we started our own police department in 1957 to try to handle some of this. Reynoldsburg Bank returned finally that closed during the depression. Never had a bank in town since the 30's until 1957. Who was one of the trustees? Allen Ortlip. Got a new post office on French Run. The very first separate building and door to door mail delivery finally started in the mid 50's. All of this because of all the housing and all the house numbers changed. First shopping center came in. Other developers starting to see the possibilities here with all these people. Let's look now at the reactions of the citizens. Basically what I found and looking through all these newspapers was that people did not write to the papers. They did not write angry letters about all of the new housing developments at all. It was kind of accepted that this was a part of our reaching the magic number of 5,000 population. The only letters you see are letters of people complaining about others in the neighborhood burning trash and garbage. I saw one time where the mayor, Mayor Wollam, said I'm going to stop this rumor, right here and now, that we are not going to be building anymore houses in town. He says that's not true. We will continue to build and that was the end of it. No angry letters. Nobody coming to council and complaining about what he said or anything. This was accepted as part of it. The newspapers, when you read them, they had very nice ads for these subdivisions. Brookside and Huber were still selling homes. You could see people in their backyard in their Adirondack chairs with a cold drink. Wouldn't you like to be in one of these homes? They had the diagram with the 3 bedrooms, all diagramed out. Only \$350 down and \$79 a month. You see these over and over. Also, the newspapers then every month had regular columns for each one of these subdivisions. You'd have news from Brookside, news from Huber, tell you who was coming into the division, where they'd been, what the local block party was up to. Everybody kind of felt welcome and everything was blissful. We were growing. You could go up to Ralph Connell, this was great too. You know when you go into get a furnace filter, I don't know about you, but I always got to find my note, now what's the size on this filter again, 28x32x1? You went into Ralph and you said I live in Brookside. He said, well, alright you need this filter right here. Huber there in this pile. Radio stations came out here and did shows because this was nice out here. People heard about Brookside. Nice homes. They would do shows out here. There was kind of a united community spirit. The closest I

think you might come to it right now is like with our recreation center now. If any of you went to the dedication here a week or so ago, very nice. Bands, blow-up toys for the kids, ice cream, and everybody's happy and in a good mood because this is a wonderful thing. It kind of united the city. It's something we really needed. It was the same way back in the 50's with these new developments. There was a little bit of a backlash, but that happened in 1961. Two things happened in 1961. In January we got the results of the 1960 census and Reynoldsburg passed the magic 5,000 mark, probably closer to 6,000, but in November then there was really some, a heated election and all the incumbents on city council were voted out of office because the people felt they were tied in with the developers. This reverse effect happened only later. That's basically what I found. With that I'd be happy to receive any corrections or answer any of your questions.

Dr. McKenzie: Thank you Mr. Myers. Any questions from anyone?

Mr. Weldon: First off I want to thank him for all the research that you've done. I'm sure it was quite a bit rummaging through all those newspapers to provide us the history and origins of the neighborhood. I don't know if you, my grandpa worked at DCSC and a lot of those module homes that you're talking about here actually are also seen in Gahanna and Whitehall and there was a big push back then during World War II because that actual area grew and they brought in, I think it was 10,000 civilian workers, not to mention the ones in the forces. They just needed places for them to live because they didn't live on the barracks which were closer to DCSC. My grandpa bought out one of the modular houses out in Gahanna, lived there for some time and then sold it and then got another one too, but he would talk about the stories. I actually got, a lot of times got to go out there. I don't know if a lot of people know this, but during World War II some of those warehouses, they actually used out there, they had prisoners in there. During World War II that was the biggest supply depot in the world. It was a blessing that was here in Ohio and I think it may have sparked the growth here and I'm glad it did. Again, I just want to thank you again for all the research you did on that history. I love history too. I know I've been down to the historical society and I know what you have to go through, the microfiche and everything just to get some of that paperwork.

Mr. Snowden: Mr. Myers, I also want to thank you for being here. I have one question. Did it tell you in your research where the gentleman's office was to sell the Brookside Homes? Just out of curiosity that's one fact I wasn't aware of.

Mr. Myers: That office was up by French Run School. Dr. McKenzie, isn't that right?

Dr. McKenzie: Yes. You can identify the house very easily because it's the only one that's designed like it. They have what are very modernistic windows of plate glass over moveable vent windows below and the entire south side of the house is all windows and there are two doors on the south side. It has not been changed since it was the sales office for Brookside Homes.

Mr. Snowden: Very cool. I don't know how useful it would be to you in an initial research, but if you're ever looking to confirm any information or dates or anything the Planning and Zoning Commission minutes from that era are in my office and they are accessible. They

were in an off-site storage and we did a reorganization of our off-site storage. Disposed of some unnecessary city records and I'm retaining those in my office because they are useful, so I was actually aware of some of the details just from, they're very mechanical. Five commissioners said x and x was approved and there you go. But if you're ever interested in dropping by and taking a look don't hesitate. To our commissioners, I think something that might take away is that the city responded, both the Planning and Zoning Commission, which was what was known as the time when it was a statutory village or statutory city and city officials responded to some of the challenges they were meeting. 1955 they enacted the original zoning code of the city. A lot of which is still largely with us today for better or for worse. It was obviously been amended and revised, but much of the language is the same from what I can figure out. I have a 1969 zoning code. The 1955 zoning code it seems to be lost to history and I have not been able to locate it. The minutes in the clerk office simply say see attachment A and nobody can find attachment A, but I do have the 1969 zoning code where things were purposely reorganized and much of it's the same. 1961 you were talking about changes to the city administration. The city enacted a subdivision code, which is almost exclusive, with the exception of many of the changes we worked through to update the language, much of which is still with us today to help make sure that future similar developments would be laid out in an organized manner. We've responded to challenges in our history and I think that's very interesting.

Mr. Myers: Thank you Eric. I will make a note at the museum that you do have those records. I was not aware of that, but we should know.

Mr. Snowden: Yes, absolutely. Please do and they are on our retention schedule permanently. I cannot destroy them. They will always be available. They're treated the same as the city council minutes for both Board of Appeals and Planning and Zoning Commission.

Mr. Myers: That's good to hear.

Dr. McKenzie: Also, over the summer April Beggerow had a free intern that was given the task of going through and scanning documents and so they found, they were doing the 1950's and the city council readings and stuff and so they now have scanned the legislation that formed the first building department.

Mr. Snowden: It's still ongoing and we have another young man from the Reynoldsburg School system that started that in my office and I was just informed that he's going to be returning and spending some afternoons with us and so we will continue to have those available electronically for public use, so don't hesitate.

Dr. McKenzie: If I may, I don't mean to step on your toes or anything, but Mr. Myers and I together went to the Ohio Historical Society and I was scanning through the microfiche for 1960-61 and in the 1960 census, just to say you're saying a five to one increase in population the numbers that were published in the paper in 1960 were for a ten to one increase from 775 in 55 to over 8,000 in 1960 or a ten to one increase in population, so that's quite a big bump in a very small period of time. So, 56 is when Brookside, you said Brookside started and by

61 they clear out all but one incumbent on city council. These are all gone and they were, and those who were running against him were using the argument that these were too much, these people were too much in the pockets of the developers and not looking out for the Reynoldsburg people. But you were talking about the, you know, water rationing that occurred in 1957 if I remember correctly. They had to increase, in 60 they had to, well, by 60 they had built a new sewage treatment department to go from handling 400,000 gallons of sewage a day to over a million gallons of sewage per day. In the summer of 60 there were complaints about sewer odor. They found pipes coming out of Huber that stopped at the property line where the sewage department was, but were not connected. So, they were dumping raw sewage and there was also a raw sewage outlet right east of us here by Blacklick Creek as well. Don't know where it came from, but in the newspaper article also mentioned that it was also a raw sewage outlet off of north of Main Street right by where the school building department is now, but those are some of the things that happened that lost the incumbents their jobs in that 61 November election. So, there was some, there were some impacts and there were some negatives going on with the building too, but that's a huge increase compared to the building we've had in your guy's ten year it makes, well, in numbers of value it may seem large. It seemed small to doing a ten to one increase in size in just six years.

Mr. Snowden: Certainly that would be a reason to have good subdivision regulations because if you're using the ORC subdivision regulations there's not as many requirements for required improvements; whereas, in our city subdivision regulations there are required improvements and inspections of the engineer and processes for new public infrastructure installation. It's a great thing.

Dr. McKenzie: It's also something that's good to realize is that those changes came after not before.

Mr. Snowden: Correct. Absolutely, they're triggered by.

Dr. McKenzie: It was the interest of the developers, who like Mr. Ortlip, was out here to make money. Although, I should point out that I know a neighbor. I don't know if I should say her name or not, but she lived in Brookside in the 50's, soon after it was built and she knew Allen Ortlip's parents who lived in a Brookside home at that time. He didn't live there though. He lived in Upper Arlington. His house has been, by the way, torn down in 2004 and now there's a 3 million dollar mansion on that property, but the houses from the early 50's that survived, that are neighbors of his are 3,000 to 5,000 square feet in size and are priced at 6 to 900,000 in today's money. He kept his parent's out there, but he didn't stay out here too. As you pointed out he did become the, he was the vice president as well as a trustee of the Reynoldsburg Bank here as well and by 57-58. That money, you know, that was consequence to those developments made a big shift in the dynamics here in Reynoldsburg. As Mr. Myers pointed out those were desirable homes when they were built and as I pointed out earlier if you go to real estate advisors. Can you do a search for real estate advisors and find their suburban map? Are you able to do that?

Mr. Snowden: No.

Dr. McKenzie: No. Ok.

Mr. Snowden: No, but I'm aware of what you're speaking of.

Dr. McKenzie: Well, they aren't the only ones. It's just the one that I can remember. Once again, they have maps of the status quality of the subdivisions and stuff as I pointed out before in Brookside and Huber Home are now listed in pinkish color as being sections of poverty.

Mr. Snowden: That's based on a variety of metrics, which may not fully take into the account of the quality of life in the neighborhood.

Dr. McKenzie: As I pointed out though people who are wanting to develop in the city, particularly on Main Street here which are bordered by those properties, they use those things to make their decisions about where to locate their business and stuff and as I pointed out several meetings ago if you want to understand why we're getting, you know, underwritten daycare, where were getting Dollar Stores, while were getting, why we're getting a Title Loan, people wanting to move in along those streets. It's because of how we profile on these national databases right now. But there is a lot of value in those homes and other communities have also, in the same way as Reynoldsburg did when they were being built, have struggled with those housing developments which were built in the post war baby boom era. It's not unique to Reynoldsburg, as Mr. Welday pointed out. It was happening before it happened in Reynoldsburg and Whitehall and East Columbus and then it moved out later here into Reynoldsburg in the late 50's. But other places have had them as well and had to deal with these. So, you said Huber was 1,200 homes? And Brookside was 714 to 730 something and, so, that's almost 2,000 homes right there. Mr. Snowden, do you know how many homes there are in Reynoldsburg right now?

Mr. Snowden: Not off the top of my head. I know we have 10,000 lots in the city. Just individual parcels. Obviously some of those are commercial. That would give you an idea.

Dr. McKenzie: So, when you add Marabar and also Briarcliff into that, it maybe as much as half of the parcels in Reynoldsburg are from these late 50's early 1960's developments and that's going to be something that going forward and there are. In the way cities have responded to them is by there zoning codes. What the property owners are allowed to do with their properties. That's been the way cities have successfully addressed these lagging developments have done so.

Mr. Snowden: That's not entirely accurate. I mean there's many other, it's one tool in the tool box when we're dealing with the housing policy.

Dr. McKenzie: That's right, but for those communities that have successfully; those are the ones that are generally highlighted as the things to do. It's just something to also keep in mind. So, does anyone else have anything that they'd like to add or to have us look at in the future going forward into ideas of planning and development and all this kind of stuff for the

Planning Commission?

Mr. Snowden: Dr. McKenzie, and other members of the commission. One thing I just want to clear up. I haven't said this publicly yet, but one thing I want everyone to understand regarding the charter language regarding the Planning Commissions specific duties. Many planning commissions are created by charter. Many are created by zoning codes or zoning resolutions or whatever, depending on the state's history and the municipality. Ours is created by charter and that's a good thing. Planning Commission is something that's important that should not be changed or go away based upon the political whims. One thing I just want to be clear is the language in there is very general and it's boiler plate language. It's very similar in many other charters. The thing I want to understand is a little about the history of planning. When city planning first got started way back around the turn of the century and in to the 1920's the primary organ for city planning was actually like commercial clubs, chambers of commerce. The reason was because the business interest were realized that hey, cities are large cities, your big cities, Chicago, etc, were difficult places to live and that in order to address many of these challenges a planning type approach should be taken, so what these organizations would do would create a plan and then hand that over to the city government or the city in general, community in general and say, here's your plan book. Once that era passed and many state's started adopting city plan statutes and allowing communities to do planning and that started in the 1920's and went up to World War II instead of having these business associations doing the planning communities created planning commissions where they would appoint typically a consultant, but a lot of times other city officials, such as a public service director or even a mayor to a commission. In fact, the statutory planning commission in Ohio includes it's not 5 citizens, it's 5 members, one of them is the mayor and one of them is the service director, so we're talking about 3 other citizens. The idea is that these organizations would do planning instead of like a business association or a chamber of commerce. Subsequently, once you do planning and do zoning you assign planning commission typically some responsibilities with review, which is really, has become the main focus on many planning commissions for better or for worse. There's no community that I am aware of except for maybe a very small community that did not even have a staff planner or a staff development director or the ability to hire any consultants or anything where the planning commission would be actively actually crafting the plan. We are working and by we I mean our city administration including the director to recruit a consultant and that is wrapping up. The planning commission will be heavily involved in the process. Not just at the approval phase, but in the crafting and the designing and so forth and so you will be working to your charter requirements, but I think the idea that the 5 gentleman and myself and Dan are going to actually lead the plan and actually write the thing is just not realistic to the way everyone in, although that may be the literal statement of what the charter language states. That is not the way most peer communities are operating. Especially, and I would like to point out in my title, to emphasize the administrator. As much as the, there is so much work doing simply review and approvals and reviews for reports and so forth that there's almost really no time for me to go out and do planning, actual planning. Although I'm trained with the same qualifications that our prospective consultants were. Example would be with the City of Columbus they have a planning department, which does crafting plans and they have building and zoning services which does what I do and the colleagues in building in zoning. That doesn't mean that I won't help and that doesn't mean

Minutes Acceptance: Minutes of Oct 5, 2017 6:00 PM (APPROVAL OF MINUTES)

that I'm not here to help, Dan and I aren't here to help guide the consultant and the board and so forth, but ultimately what we have to manage the development approval process. There's been a lot of confusion and I just wanted to say I understand what the literal language says, but I'm just here to tell you you're going to be heavily involved in the process. Not just at the approval phase, but in the, in all phases of the plan.

Dr. McKenzie: One other thing. I think at our next meeting we should also return to the rules of the commission again. In particular for our meeting and the times with doing site plan review as well we have run over the one hour allotment between 6 and 7 several times. I think that we should revisit several items within the rules of the commission, but that one in particular to find a new day of the week, and hour whatever, that would allow us to not be so pressed for time to get done before the Design Review Board wants to start at 7:00 after us.

Mr. Havener: We are definitely open to entertaining that issue. I do understand we've run into a couple cases where we've run tight and running into the DRB time frame. Whether that's an opportunity that can be entertained I know in many cases Planning Commissions are during the day. I know some people here may not have the opportunity to do that, but I know in a lot of communities where they do it during the day. Employers are somewhat understanding that you're doing your civic duty and they don't have a concern whether you're taking a up to a 2 hour time frame off during the day or whatever to do that. So, that's up for discussion as well as possibly bumping, I don't know how realistic it is, again, bumping the time up a little bit earlier, which would mean, I'm sure many of you would have to leave work a little bit earlier than 5:00. That's another option. I hate to see us drag more time any later into the evening if we can avoid that, but we're open to options.

Dr. McKenzie: My point was that it's just that because of the extra responsibility for the Planning Commission the one hour time frame hasn't exactly fit too well. I leave it up to the other members to come up before the next meeting with possibilities that they would have for alternate times that would relive us of that one hour deadline for finishing our business during a meeting and I think we can all do that by the next meeting. I should point out that before you two gentlemen started we did try once before to change the meeting times. Remember that? That didn't work out.

Mr. King: Was it during the day or was it?

Dr. McKenzie: There were two options. One of which was that Dan had suggested we meet during the day and there were members of the commission who could not get off from their work during the day and the second one was to delay the start time of the DRB. That was the second option and the current chair of the DRB and several other members, he was the only one who publicly responded, said that he didn't want to start later than 7:00. So, those two option have been tried before and they weren't able to move them, but that was actually even before we added the site plan review to the planning commission's work load.

Mr. Welday: Prior to myself and Mr. King coming on, were you holding the meetings within that period of time? Maybe the last year, has it become a problem where we...

Mr. Snowden: Here's the history of it. The tradition was for many, many years Planning Commission and BZBA met on the 1st and 3rd Thursday respectively, just as we do now and the meeting started at 6:30. What happened was in the early 90's, 1994 when Design Review Board was added Design Review Board started after Planning Commission. The challenge is that one that drives Design Review Board very late into the evening as we discussed. Secondly, as were finding out now the reviews can be repetitive and are repetitive in a lot of cases. So, that's something we're exploring internally. Dan and I aren't going to make that final decision and you're going to be involved in the decision, but there's some synergy there that could be worked out. So, what happened was when Planning Commission was basically on a hiatus during the recession due to the fact nobody was platting and nobody was doing rezoning, which are the only things that you were charged with at the time and there was no staff around to change the code or do the things we've been working on. It just simply became the Design Review Board started at 6:30 and Planning Commission was an afterthought. The interesting thing I find is that they had 3 meetings and they struggled when they had 3 meetings, so they dropped it down to 2. We were forced just due to circumstances to go back to having 3 commission meetings and frankly I struggled with to keep up with the amount of work. I struggled to keep up. If we could get it down to 2 commissions my workload and the amount of administrative busy work that I have would go down quite a bit because there's certain things I have to do for every meeting and Stephanie has to do with every meeting. That's something to keep in mind. I don't want to get into that whole discussion now. Dan and I are happy to talk to you in private. Like I said, I know there's strong feelings, so I don't want to ramp that off, but the fact is that then when we brought Planning Commission back just due to the fact that we need to have a functioning Planning Commission the Design Review Board was already meeting at 6:30 and so all we were able to do was push that back to 7:00. Now I have a situation where I got one week I start at 6:00 and I've got two meetings, another I start at 6:30 and again it's not about necessarily what's convenient to me, but if we could standardize it and make it more similar it definitely would help in terms of postings and just me remembering to be here on time and not be still eating dinner. That's the history of it. There's a lot of things at play. My preference would be if we could get it down to 2 bodies and all start at 6:30 that would be my preference. If we continue with the 3 body method then I really think moving it to another time or another day is appropriate and whatever body stayed meeting on 1st Monday at 6:30 we would have a meet at 6:30. That's just my 2 cents into the process and it's complex because you're talking about not just rules changes, possible code changes. We're trying to coordinate. We don't want Planning Commission to make decisions in a vacuum because decisions that you make effect what's going on, on our other board and commissions. That doesn't mean don't do what you think is best for the commission, but what I'm saying is it's all got to be tied together. It's all got to work together comprehensively. We're using that term. Throwing it around with the planning, but approval system needs to be comprehensive as well. My true preference is to merge Design Review Board responsibilities into Planning Commission. That is the way that many other communities do it. I understand there's strong feelings, again we're not here to make that decision for you. Ultimately you would have to approve that decision and go to city council and be changed if that's the will of folks. It would certainly help me out a lot and then we could start at 6:30 and you'd be able to meet well into the evening. Talk to me if you have a strong feeling either way. I'd be happy to chat with you.

D. ADJOURNMENT

Dr. McKenzie: Adjourned at 6:52 pm.

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of Oct 5, 2017 6:00 PM (APPROVAL OF MINUTES)

Planning Commission**Eric Snowden****7232 E. Main Street****Reynoldsburg OH 43068****614-322-6829 Phone****MOTION REQUEST**

DATE: November 2, 2017**TO: Planning Commission****RE: 6900 E Main Street; Application #180598; Truro Township Fire
Station; Applicant: Mark Larrimer; Major Site Plan**



CITY OF REYNOLDSBURG
Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

Application #: 180598

Permit #:

Date Submitted: 10/4/17

Fee Amount: \$500.00

☒ Paid: CK #1258

PLANNING COMMISSION APPLICATION

II. PROPERTY INFORMATION

Property Address:

6900 E. Main Street

Description of Location:

N. Side of E. Main Street, West of Briarcliff Drive

Parcel ID(s):

060-001255

Number of

Lots: 1

Present Zoning:

S-1

Present Use:

Twp. Admin/Fire House

Complete Where Applicable:

Engineer/Surveyor: Moody Engineering

Builder: _____

FOR DISTRICT CHANGE ONLY

Proposed Zoning:

Size of Area to be Rezoned:

Existing Structures:

Proposed Use:

III. PROPERTY OWNER OF RECORD

Property Owner Name(s):

Truro Twp. Trustees

Property Owner Address(s):

6900 E. Main Street

IV. APPLICANT INFORMATION

Applicant Name:

Mark Larrimer

Applicant Address:

300 Spruce St. Suite 200

Applicant Phone Number:

614 280-8882

Applicant Email:

mlarrimer@moody-eng.com

I. PROJECT TYPE

☐ District Change (Rezoning)
(\$750 Residential plus \$50 per lot/\$1,000
Non-Residential)

☐ Amendment of
Development Plan or Text
(\$500)

☒ Major Site Plan
(\$500)

Applicant Signature: Mark Larrimer

Date: 10/3/17

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information

- ☐ Historic District
☐ CC Overlay

Add'l Approvals Req'd

- ☐ DRB
☐ BZBA

Planning Com. Meeting

Date: 11/2/17

- ☐ Approved as Submitted
☐ Approved w/ Conditions
☐ Tabled
☐ Denied

City Council Meeting

Date: _____

- ☐ Approved as Submitted
☐ Approved w/ Conditions
☐ Tabled
☐ Denied

P&Z Admin.: _____ Date: _____

Clerk of Council: _____ Date: _____

Attachment: App # 180598 - 6900 E Main St (App# 180598, 6900 E Main St, Larrimer)

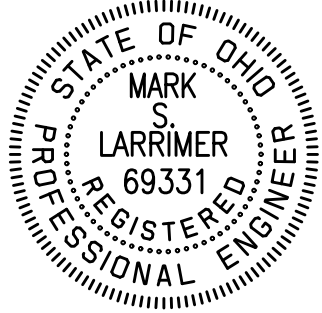
TRURO TWP. FIRE DEPARTMENT
FIRE STATION 161
REPLACEMENT
6900 E. MAIN STREET
FRANKLIN COUNTY
REYNOLDSBURG, OHIO 43068
OCTOBER 2, 2017

INDEX OF SHEETS

C101	SITE PLAN
L101	ENVIRONMENTAL/LANDSCAPE PLAN
E101	LIGHTING PLAN
A101	ARCHITECTURAL PLAN

39,869 SF IMPERVIOUS/2530=16
STORM WATER UTILITY FEE: 16 ERU

PREPARED BY
M 300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 9355
MOODY MOODY-ENG.COM
ENGINEERING



REGISTERED ENGINEER _____ DATE _____



UNDERGROUND UTILITIES
TWO WORKING DAYS
BEFORE YOU DIG
CALL 1-800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

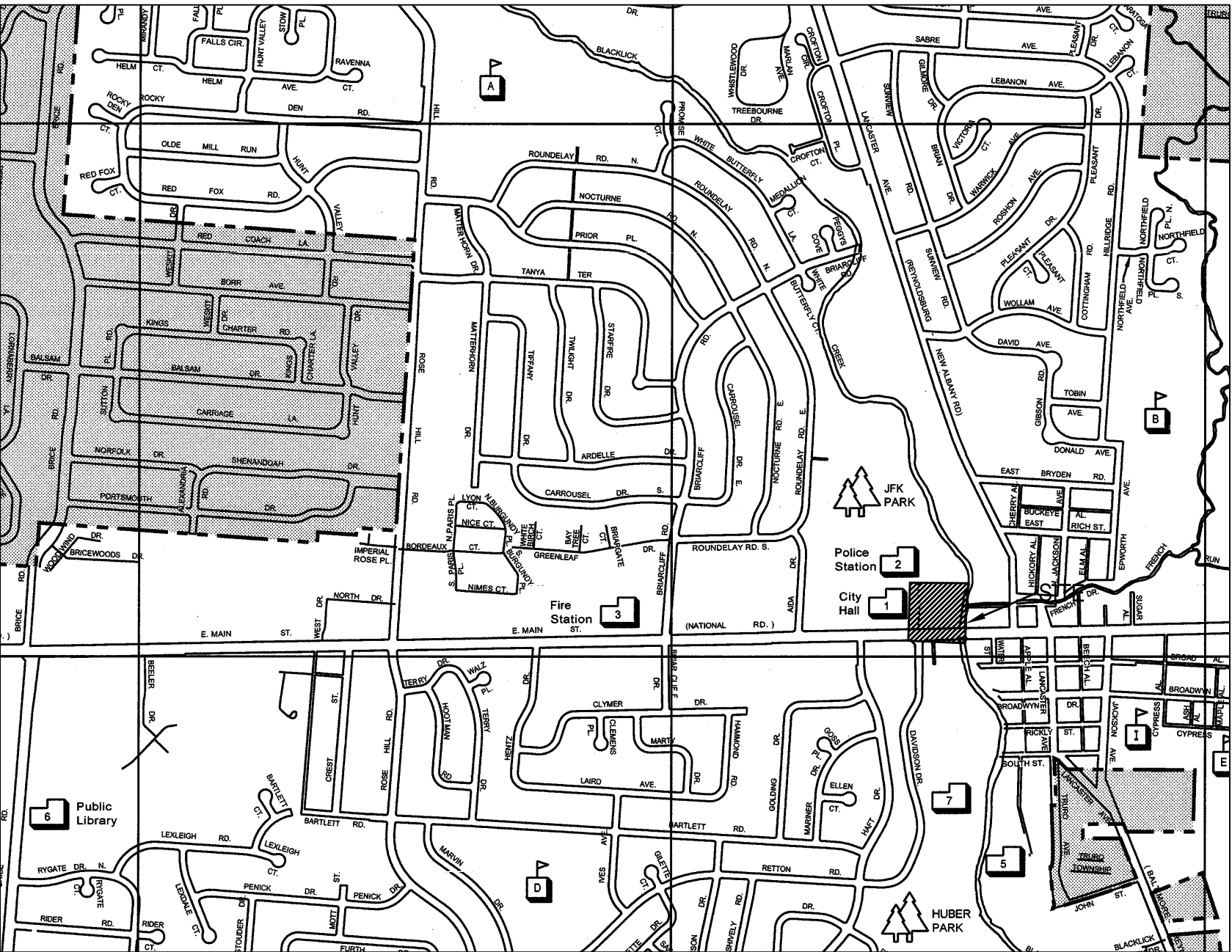
STANDARD CONSTRUCTION DRAWINGS		
ODOT	CITY OF COLUMBUS	CITY OF REYNOLDSBURG
CB-2.2	AA-S148	R-1
MH-1.2	AA-S149	R-1A
	AA-S151	R-1B
	AA-S155	R-1C
	AA-S166	R-9
	AA-S168	R-12
	2319	

REVISIONS		
NO.	DESCRIPTION	APPROVAL/DATE

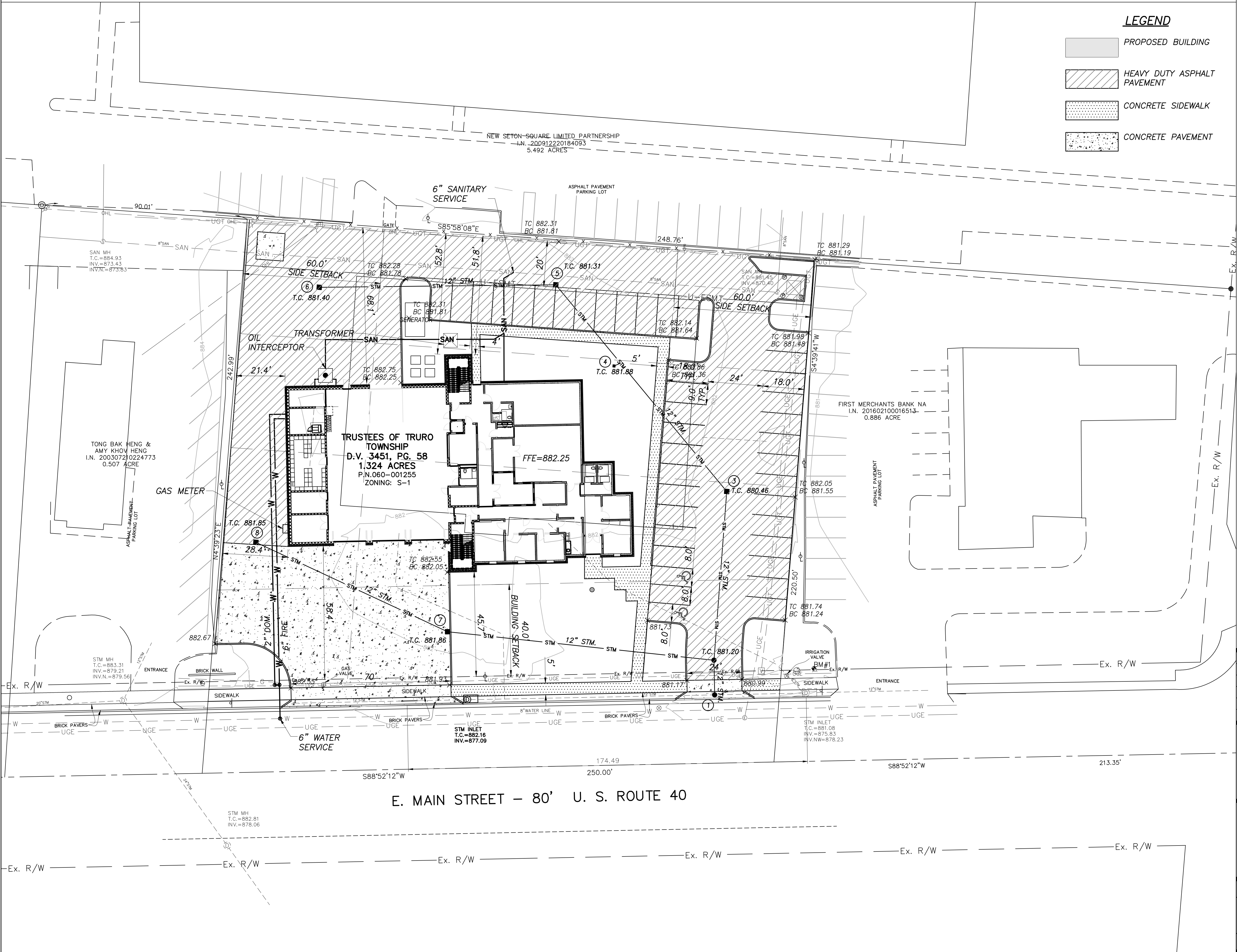
CITY OF REYNOLDSBURG APPROVALS

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

DIRECTOR OF ENGINEERING _____	DATE _____
SAFETY/SERVICE DIRECTOR _____	DATE _____
SUPERINTENDENT OF WATER/WASTEWATER _____	DATE _____
SUPERINTENDENT OF STREETS _____	DATE _____
FLOODPLAIN ADMINISTRATOR _____	DATE _____
CHIEF TRURO TOWNSHIP FIRE DEPARTMENT _____	DATE _____

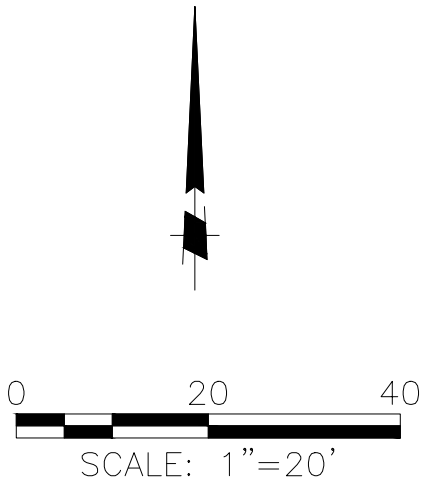


VICINITY MAP
NO SCALE



LEGEND

- PROPOSED BUILDING
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT



060-001255
6900 E. MAIN STREET
ADJACENT PROPERTY LIST

- 060-002861
6850 E. MAIN STREET
TONY AND AMY HENG
7041 NOCTURNE RD. N.
REYNOLDSBURG OH 43068
ZONING: G-C
- 060-02392
1235 BRIARCLIFF RD.
NEW SETON SQUARE EAST
1235 BRIARCLIFF RD.
REYNOLDSBURG, OH 43068
ZONING: R-5
- 060-001262
6950 E. MAIN ST.
FIRST MERCHANTS BANK NA
200 EAST JACKSON ST
MUNCIE IN 47305
ZONING: G-C
- 060-005864
6935 E. MAIN ST.
FIFTH THIRD BANK (TAX ADDRESS)
38 FOUNTAIN SQUARE PLAZA MD10ATA1
CINCINNATI OH 45263
ZONING: R-C
- 060-007100
6901 E. MAIN ST.
FERGUS J INC.
STE A
8377 GREEN MEADOWS DR. N
LEWIS CENTER OH 43035
ZONING: R-C

#	Date	Change Description

TRURO TWP. FIRE
STATION

6900 Main Street
Reynoldsburg OH 43068

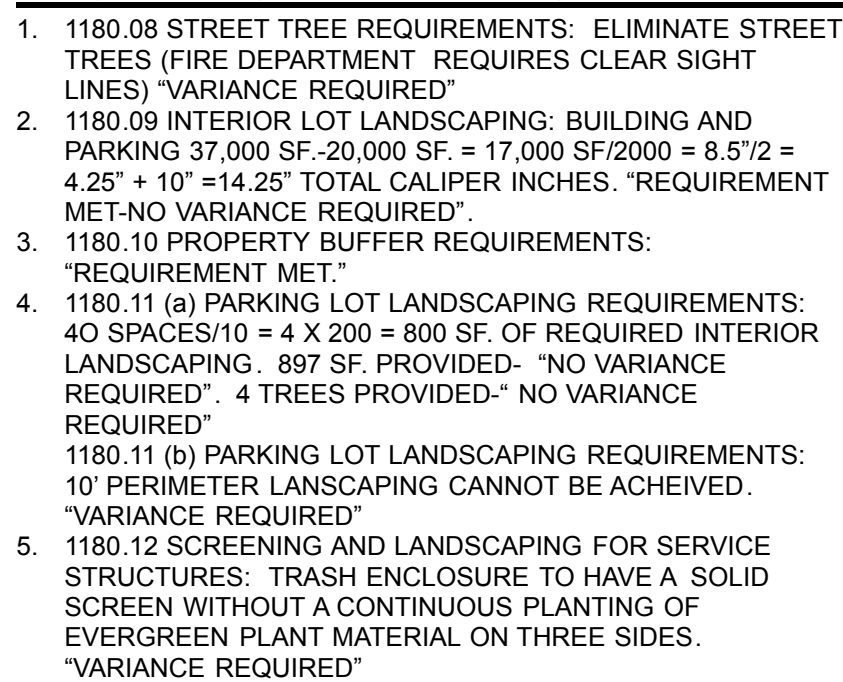


300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM



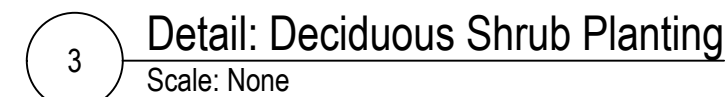
MARK LARRIMER
69331
PROFESSIONAL ENGINEER
STATE OF OHIO

Dwg. Coord.:	Tech. Coord.:	MIN #08174
SITE PLAN		C101
Major Site Plan		October 2, 2017

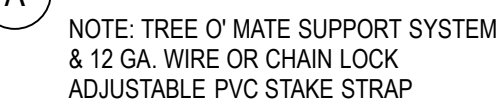


Notes: Plant material size refers to Height unless otherwise noted.

1. PROVIDE MULCHED CIRCULAR SAUCER FOR INDIVIDUAL PLANTS.
2. PROVIDE FIRM WELL PROPORTIONED ROOTBALLS. CRACKED OR MUSHROOMED ROOTBALLS ARE NOT ACCEPTABLE.
3. THE 1ST ORDER LATERAL ROOTS ARE TO BE PARTIALLY EXPOSED PRIOR TO DIGGING. DIG PLANTS SO THAT BUMP RESTS ON NO MORE THAN 1" OF SOIL ABOVE THE 1ST ORDER LATERAL ROOTS. AT PLANTING 1ST ORDER LATER ROOT/ ROOT FLARE IS TO BE VISIBLE.
4. BALL DIAMETER TO COMPLY WITH MIN. GUIDELINES AS SET FORTH BY THE AMERICAN STANDARDS FOR NURSERY STOCK LATEST EDITION



1. PRIOR TO PLANTING PERENNIALS, THE BED IS TO BE SMOOTH WITHOUT DIPS OR RIDGES. AFTER PLANTING THE PERENNIALS, RAKE THE BED SURFACE SMOOTH PRIOR TO MULCHING.
2. VERTICALLY CUT THE PERIMETER ROOTS AROUND THE CIRCUMFERENCE WITH A KNIFE FOR ALL CONTAINER ROOT BUNDLES PRIOR TO PLANTING.
3. PLANTINGS ARE TO BE 12" MIN. TO EDGE OF FINISH SURFACES AND SPACED EQUALLY.



1. PROVIDE MULCHED CIRCULAR SAUCER FOR INDIVIDUAL PLANTS.
2. PROVIDE FIRM WELL PROPORTIONED ROOTBALLS. CRACKED OR MUSHROOMED ROOTBALLS ARE NOT ACCEPTABLE.
3. THE 1ST ORDER LATERAL ROOTS ARE TO BE PARTIALLY EXPOSED PRIOR TO DIGGING. DIG PLANTS SO THAT BURLAP RESTS ON NO MORE THAN 1" OF SOIL ABOVE THE 1ST ORDER LATERAL ROOTS. AT PLANTING 1ST ORDER LATERAL ROOT FLARE IS TO BE VISIBLE.
4. THE WIRE & HOSE SET-UP LENGTH OF HOSE USED MUST BE LARGER THAN THE CIRCUMFERENCE OF THE TREE TRUNK. IF USING CHAINLOCK IT MUST BE PLACED OVER TO AVOID LETTING THE TREE TRUNK COME IN CONTACT WITH THE STAKE
5. BALL DIAMETER TO COMPLY WITH MIN. GUIDELINES AS SET FORTH BY THE AMERICAN STANDARDS FOR NURSERY STOCK LATEST EDITION
6. TREE PIT TO BE 2 TIMES AS WIDE AS ROOT BALL.

Packet Pg. 44

McGraw-Edison

DESCRIPTION

The Gallium™ LED Luminaire delivers exceptional performance in a highly aesthetic, low profile design. Patented, high efficiency AccuLED™ optics are available in a variety of beam spreads and beam patterns to suit walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL Listed for wet locations.

Catalog #	Type
Project	Project
Comments	Date
Approved by	

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from optics by means of gaskets. High performance, heavy-weld, die-cast aluminum and age resistant housing and die-cast aluminum heat sink. A custom, patent pending interlocking housing and gasket assembly provides a secure, weather-tight seal around the projector (rigidly). Gasketation tested and rated. Optional door seal available for use in areas of entry into enclosed luminaire. Housing is finished in powder coated aluminum to provide resistance to UV light. Housing is finished in powder coated aluminum to provide resistance to UV light.

Optics
Patented, high efficiency AccuLED™ optics are available in a variety of beam spreads and beam patterns to suit walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL Listed for wet locations.

Electrical
LED drivers are mounted to enclosure thermally isolated from optics by means of gaskets. High performance, heavy-weld, die-cast aluminum and age resistant housing and die-cast aluminum heat sink. A custom, patent pending interlocking housing and gasket assembly provides a secure, weather-tight seal around the projector (rigidly). Gasketation tested and rated. Optional door seal available for use in areas of entry into enclosed luminaire. Housing is finished in powder coated aluminum to provide resistance to UV light. Housing is finished in powder coated aluminum to provide resistance to UV light.

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McGraw-Edison

OPTIC ORIENTATION

OPTICAL DISTRIBUTIONS

TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)
TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)

GLEON GALILEO LED

OPTIC ORIENTATION

OPTICAL DISTRIBUTIONS

TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)
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GLEON GALILEO LED

OPTIC ORIENTATION

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GLEON GALILEO LED

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GLEON GALILEO LED

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GLEON GALILEO LED

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GLEON GALILEO LED

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GLEON GALILEO LED

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GLEON GALILEO LED

OPTIC ORIENTATION

OPTICAL DISTRIBUTIONS

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TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)	TI (Type I)

McGraw-Edison

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to any design. Incorporating modular LightScape™ technology, the Impact Elite family of wall luminaires is available in a variety of beam spreads and beam patterns to suit walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL Listed for wet locations.

Catalog #	Type
Project	Project
Comments	Date
Approved by	

SPECIFICATION FEATURES

Construction
Heavy-weld, die-cast aluminum housing and mounting bracket. High performance, heavy-weld, die-cast aluminum and age resistant housing and die-cast aluminum heat sink. A custom, patent pending interlocking housing and gasket assembly provides a secure, weather-tight seal around the projector (rigidly). Gasketation tested and rated. Optional door seal available for use in areas of entry into enclosed luminaire. Housing is finished in powder coated aluminum to provide resistance to UV light. Housing is finished in powder coated aluminum to provide resistance to UV light.

Optics
Patented, high efficiency AccuLED™ optics are available in a variety of beam spreads and beam patterns to suit walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL Listed for wet locations.

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McGraw-Edison

DESCRIPTION

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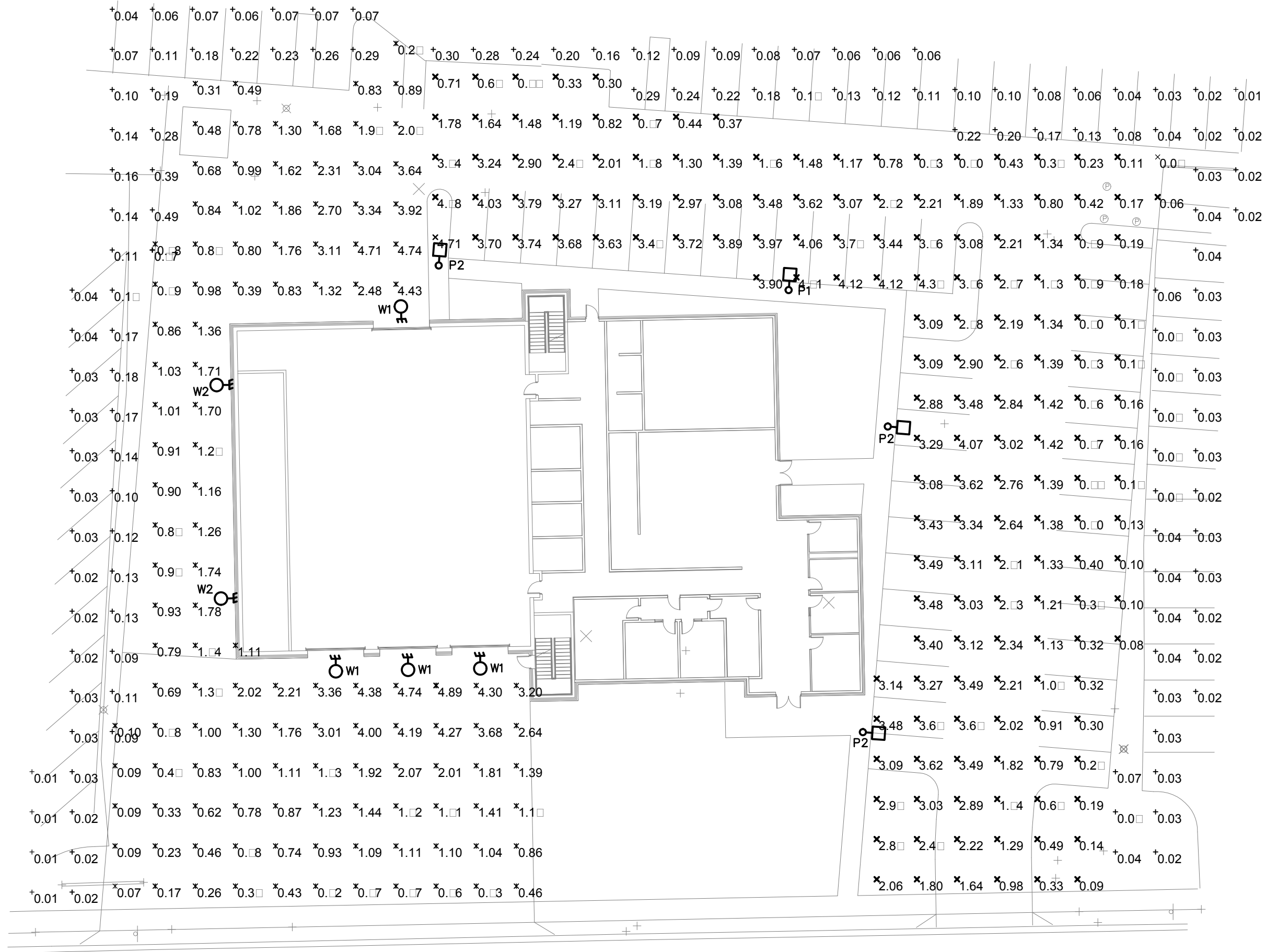
Catalog #	Type
Project	Project
Comments	Date
Approved by	

FIXTURE SCHEDULE

SYMBOL	FIXTURE NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
	P1	POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	MCGRAW-EDISON .	GLEON-AF-02-LED-E1-T2 .	129W LED 13111 LUMENS 4000K	20'-0" OVERALL MOUNTING HEIGHT .
	P2	POLE MOUNTED LED SITE FIXTURE TYPE 3 DISTRIBUTION	MCGRAW-EDISON .	GLEON-AF-02-LED-E1-T3 .	129W LED 13363 LUMENS 4000K	20'-0" OVERALL MOUNTING HEIGHT .
	W1	WALL MOUNTED LED SITE FIXTURE TYPE 4 FORWARD THROW DISTRIBUTION	MCGRAW-EDISON .	ISC-AF-800-LED-E1-T4TF .	43.9W LED 4839 LUMENS 4000K	15'-0" OVERALL MOUNTING HEIGHT .
	W2	WALL MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	MCGRAW-EDISON .	ISC-AF-350-LED-E1-T2 .	20.3W LED 2336 LUMENS 4000K	15'-0" OVERALL MOUNTING HEIGHT .

CALCULATION SUMMARY

DESCRIPTION	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVERAGE/MINIMUM	MAXIMUM/MINIMUM
PARKING (X)	FC	2.00	4.71	0.05	40.0:1	94.4:1
SERVICE DRIVE (*)	FC	1.51	4.89	0.07	10.0:1	57.0:1
PROPERTY BOUNDARY (+) (TO 10' - 0" BEYOND)	FC	0.10	0.57	0.01	21.6:1	69.9:1



SITE PHOTOMETRIC PLAN

SCALE: 1" = 25'-0"

E0-00-17143.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road
Dublin, Ohio 43016

FAX: (614) 766 4896
(614) 766 2354

DESIGNED BY N. ALBAUGH	DRAWN BY NA	CHECKED BY DLP	JOB NUM. 17143
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**TRURO TWP. FIRE
STATION**

6900 Main Street
Reynoldsburg OH 43068



**300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215**

P: 614 280 8999

MOODY-ENG.COM

SITE PHOTOMETRIC PLAN

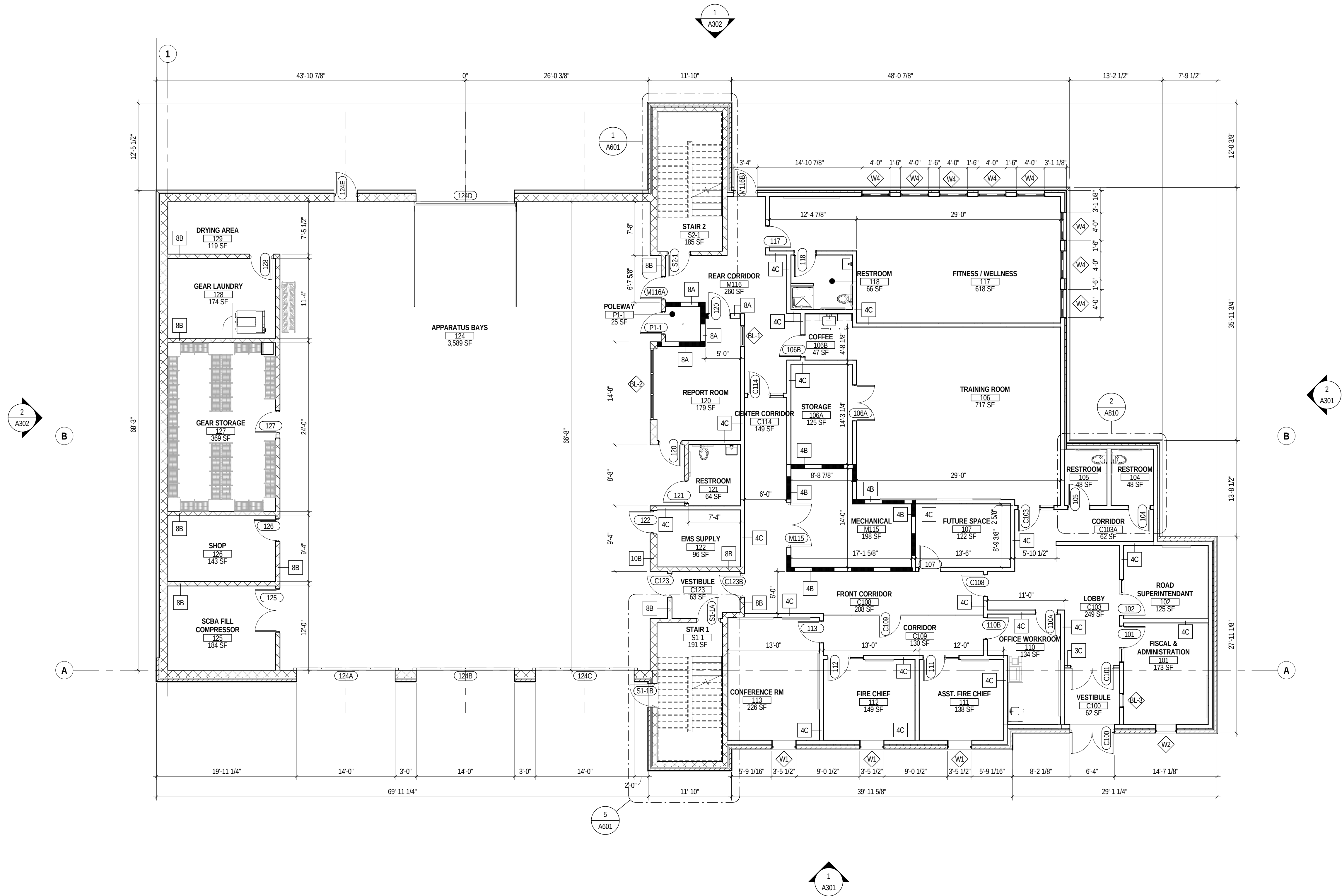
Major Site Plan

M/N #08174

E0.00

October 2, 2017

1 PLAN FIRST FLOOR PLAN
1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF WALL, (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING WALL & FLOOR CONSTRUCTION.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON XXXX MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W.W.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- 6" DIA STEEL PIPE BOLLARD, 24" FROM BUILDING FACE TO CENTERLINE
- OWNER SUPPLIED/ INSTALLED CLOTHES WASHER, COORDINATE WITH OWNER (SHOWN FOR REFERENCE)
- UTILITY SINK, SEE INTERIOR ELEVATIONS OF ADDITIONAL DETAILS
- MOP SINK AND MOP RACK, SEE FIXTURE MOUNTING SCHEDULE FOR ADDITIONAL DETAILS
- OWNER SUPPLIED WALL MOUNTED BATTERY CHARGERS (RADIO, ETC) COORDINATE MOUNTING LAYOUT WITH OWNER
- OWNER SUPPLIED/ INSTALLED TURNOUT GEAR LOCKERS, REFER TO SHEET XXXX FOR ADDITIONAL DETAILS. (SHOWN FOR REFERENCE)
- OWNER SUPPLIED MULTI-PURPOSE PRINTER/COPIER, COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER AND DATA
- MEMBER MAILBOXES (SALVAGE FROM EXISTING STATION) REFER TO INTERIOR ELEVATION FOR DETAILS
- NAT GAS CONN OUTSIDE FOR FRILL. ACCESS SHUTOFF INSIDE, KITCHEN.
- WALL MOUNTED CATV OUTLET AND POWER, COORDINATE WITH ELECTRICAL DRAWINGS
 - INSTALL AT 72" AFF
 - INSTALL AT 18" AFF
- WALL MOUNTED, HANDS-FREE EMERGENCY PHONE. INSTALL AT 34" AFF TO CENTER OF PUSH-TO-CALL BUTTON
- TROPHY/AWARDS DISPLAY CASE (SHOWN FOR REF)
- RECESS CONCRETE FLOOR SLAB FOR "WALK-OFF" CARPET.
- DOMESTIC WATER SERVICE ENTRANCE, SEE CIVIL & PLUMBING DRAWINGS.
- FIRE PROTECTION WATER SERVICE ENTRANCE. SEE CIVIL & FIRE PROTECTION DRAWINGS
- STAINLESS STEEL CORNER GUARD, 6'-0" OVERALL HEIGHT, TYP MOUNT AT TOP OF WALL BACE. REFER TO SPECIFICATION FOR SIZE
- PROJECTION SCREEN ABOVE, REFER TO REFLECTED CEILING PLAN.
- OWNER SUPPLIED ROLLING TOOL CHEST (SHOWN FOR REF.)
- LINE OF TRAINING PLATFORM (ABOVE)
- TRAINING "SCUTTLE" THUR FROM FLOOR ABOVE
- OUTSIDE "TRAINING WINDOW" WITH H.M. DOOR HATCH & H.M. FRAME FROM BUILDING EXTERIOR INTO TOWER.
- PEGBBOARD (96" WX48"H) MOUNT TO WALL OVER 1X FURRING AT 48" AFF TO BOTTOM
- TRUCK FILL: ATTACH WATER LINE FOR FILLING FIRE APPARATUS WATER TANKS TO FACE OF STEEL COLUMN
- FLOOR DRAIN: SLOPE SURROUNDING FLOOR TO DRAIN AS INDICATED AND COORDINATE WITH PLUMBING DRAWINGS FOR TYPES & DETAILS
- METAL DOWNSPOUT WITH PAINTED CAST-IRON OFFSET FOOT, TYP
- SEMI-RECESSED CABINET MOUNTED FIRE EXTINGUISHER
- WALL-HUNG FIRE EXTINGUISHER
- WALL-HUNG TYPE K KITCHEN FIRE EXTINGUISHER
- LINE INDICATED OVERHEAD DOOR ABOVE ("OPEN")
- VEHICLE SUPPORT CONNECTION LOCATION, PROVIDE (1) ELECTRICAL "SHORE-LINE" AND (1) COMPRESSED AIR DROP AT EACH LOCATION. COORDINATE FINAL LOCATIONS WITH OWNER.
- DECON SHOWER (CORD W. PLUMBING DRAWINGS, ATTACH 96" "FRP" PANEL ON BOTH ADJ WALL SURFACE, FROM TOP OF SHOWER BASE, AND INSTALL SEALANT AT PERIMETER OF PANEL.
- FIRE DEPARTMENT INLET CONNECTION (FDC) FOR TRAINING, 4" STORTZ PROVIDE WALL-MOUNTED SIGNAGE ABOVE THIS CONNECTION TO READ, "FOR TRAINING USE ONLY"
- TAINING FDC RISER, PROVIDE (HANG) SIGNAGE ON ALL DISCHARGES TO READ, "FOR TRAINING USE ONLY"
-

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- | # | DATE | CHANGE DESCRIPTION |
|---|------|-------------------------------------|
| | | 1 HOUR FIRE RATED PARTITION TO DECK |
| | | 2 HOUR FIRE RATED PARTITION TO DECK |
| | | 3 HOUR FIRE RATED PARTITION TO DECK |



MOODY-NOLAN

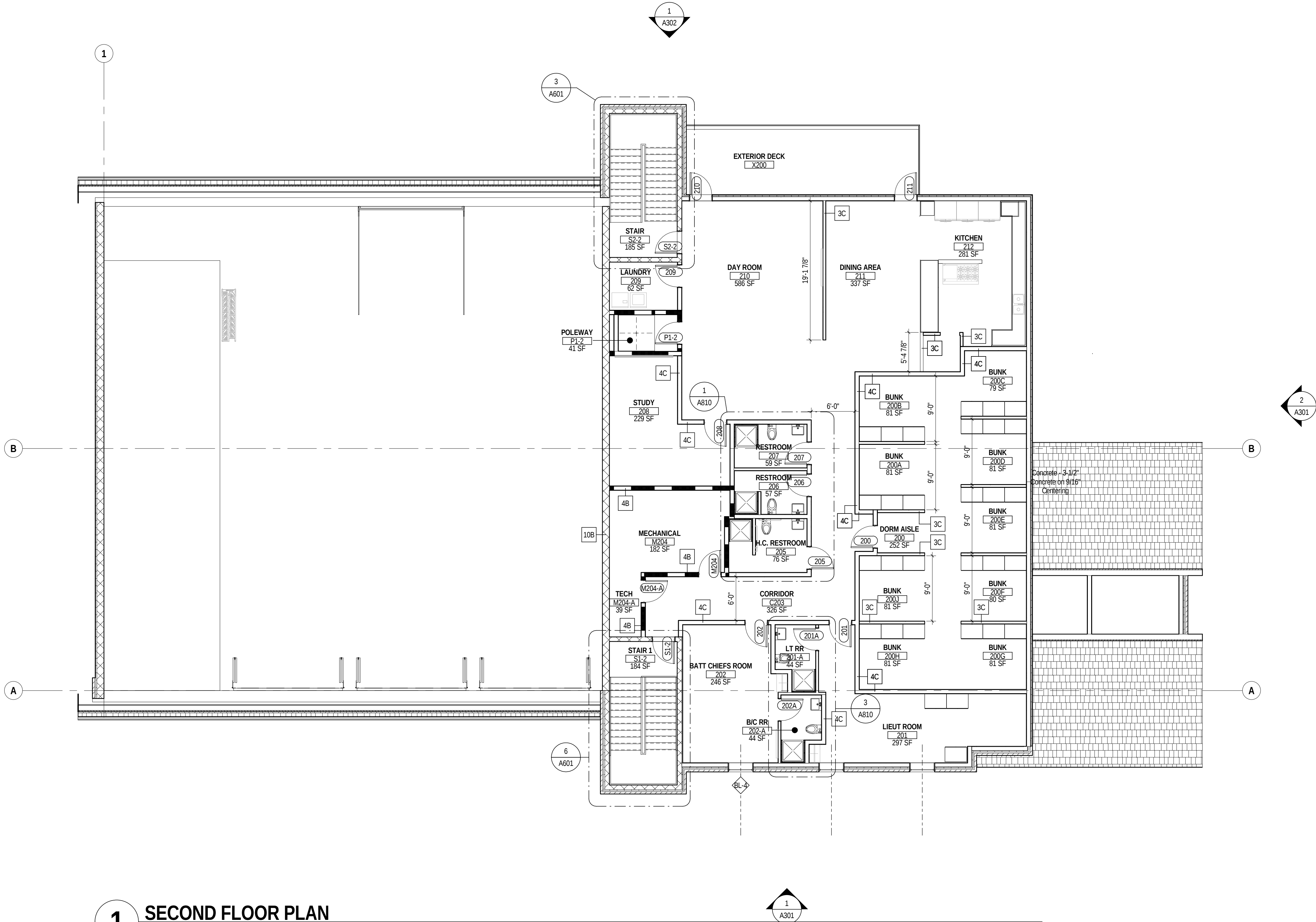
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:

FIRST FLOOR PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	09/28/2017	
	DRAWN BY: Author	CHECKED BY: Che
	16707	
	A101	
	DESIGN DEVELOPMENT	
	Packet Pg. 46	



1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

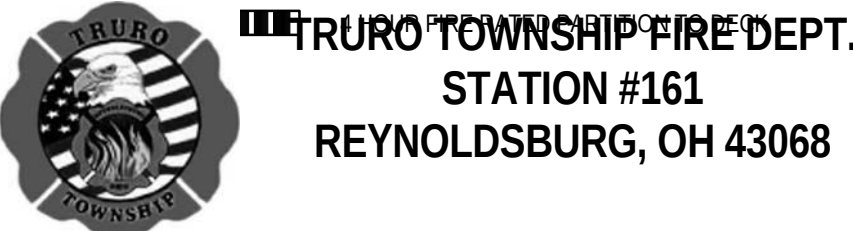
1. ALL DIMENSIONS ARE TO FACE OF WALL, (UNLESS NOTED OTHERWISE).
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4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON XXXX MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W.W.F., UNLESS NOTED OTHERWISE).

CODING NOTE LEGEND

1. 6" DIA STEEL PIPE BOLLARD, 24" FROM BUILDING FACE TO CENTERLINE
2. OWNER SUPPLIED/ INSTALLED CLOTHES WASHER, COORDINATE WITH OWNER (SHOWN FOR REFERENCE).
3. UTILITY SINK, SEE INTERIOR ELEVATIONS OF ADDITIONAL DETAILS
4. MOP SINK AND MOP RACK, SEE FIXTURE MOUNTING SCHEDULE FOR ADDITIONAL DETAILS.
5. OWNER SUPPLIED WALL MOUNTED BATTERY CHARGERS (RADIO, ETC) COORDINATE MOUNTING LAYOUT WITH OWNER
6. OWNER SUPPLIED/ INSTALLED TURNOUT GEAR LOCKERS, REFER TO SHEET XXXX FOR ADDITIONAL DETAILS. (SHOWN FOR REFERENCE)
7. OWNER SUPPLIED WALL-PURPOSE PRINTER/COPYER, COORDINATE WITH ELECTRICAL DRAWINGS FOR POWER AND DATA
8. MEMBER MAILBOXES (SALVATE FROM EXISTING STATION) REFER TO INTERIOR ELEVATION FOR DETAILS
9. NAT GAS CONN OUTSIDE FOR FRILL. ACCESS SHUT-OFF INSIDE, KITCHEN.
10. WALL MOUNTED CATV OUTLET AND POWER, COORDINATE WITH ELECTRICAL DRAWINGS
 - A. INSTALL AT 72" AFF
 - B. INSTALL AT 18" AFF
11. WALL MOUNTED, HANDS-FREE EMERGENCY PHONE. INSTALL AT 34" AFF TO CENTER OF PUSH-TO-CALL BUTTON
12. TROPHY/AWARDS DISPLAY CASE (SHOWN FOR REF)
13. RECESS CONCRETE FLOOR SLAB FOR "WALK-OFF" CARPET.
14. DOMESTIC WATER SERVICE ENTRANCE, SEE CIVIL & PLUMBING DRAWINGS.
15. FIRE PROTECTION WATER SERVICE ENTRANCE. SEE CIVIL & FIRE PROTECTION DRAWINGS
16. STAINLESS STEEL CORNER GUARD, 6'-0" OVERALL HEIGHT, TYP MOUNT AT TOP OF WALL FACE. REFER TO SPECIFICATION FOR SIZE
17. PROJECTION SCREEN ABOVE, REFER TO REFLECTED CEILING PLAN.
18. OWNER SUPPLIED ROLLING TOOL CHEST (SHOWN FOR REF.)
19. LINE OF TRAINING PLATFORM (ABOVE)
20. TRAINING "SCUTTLE" THUR FROM FLOOR ABOVE
21. OUTSIDE "TRAINING WINDOW" WITH H.M. DOOR/ HATCH & H.M. FRAME FROM BUILDING EXTERIOR INTO TOWER.
22. PEGBOARD (96" WX48"H) MOUNT TO WALL OVER 1X FURRING AT 48" AFF TO BOTTOM
23. "TRUCK FILL": ATTACH WATER LINE FOR FILLING FIRE APPARATUS WATER TANKS TO FACE OF STEEL COLUMN
24. FLOOR DRAIN: SLOPE SURROUNDING FLOOR TO DRAIN AS INDICATED AND COORDINATE WITH PLUMBING DRAWINGS FOR TYPES & DETAILS
25. METAL DOWNSPOUT WITH PAINTED CAST-IRON OFFSET FOOT, TYP
26. SEMI-RECESSED CABINET MOUNTED FIRE EXTINGUISHER
27. WALL-HUNG FIRE EXTINGUISHER
28. WALL-HUNG TYPE K KITCHEN FIRE EXTINGUISHER
29. LINE INDICATED OVERHEAD DOOR ABOVE ("OPEN")
30. VEHICLE SUPPORT CONNECTION LOCATION. PROVIDE (1) ELECTRICAL "SHORE-LINE" AND (1) COMPRESSED AIR DROP AT EACH LOCATION. COORDINATE FINAL LOCATIONS WITH OWNER.
31. "DECON SHOWER (CORD W. PLUMBING DRAWINGS, ATTACH 96" "FRP" PANEL ON BOTH ADJ WALL SURFACE, FROM TOP OF SHOWER BASE, AND INSTALL SEALANT AT PERIMETER OF PANEL
32. KEY IN BUNK PARTMENT INLET CONNECTION FOR TRAINING, 4" STORTZ PROVIDE WALL-MOUNTED SIGNAGE ABOVE THIS CONNECTION TO READ, "FOR TRAINING USE ONLY"
33. TRAINING FOC RISER, PROVIDE (HANG) SIGNAGE ON ALL DISCHARGES TO READ, "FOR TRAINING USE ONLY"
- 34.

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
 - 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
 - 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
 - 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
 - 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- | # | DATE | CHANGE DESCRIPTION |
|---|------|-------------------------------------|
| 1 | | 1 HOUR FIRE RATED PARTITION TO DECK |
| 2 | | 2 HOUR FIRE RATED PARTITION TO DECK |
| 3 | | 3 HOUR FIRE RATED PARTITION TO DECK |

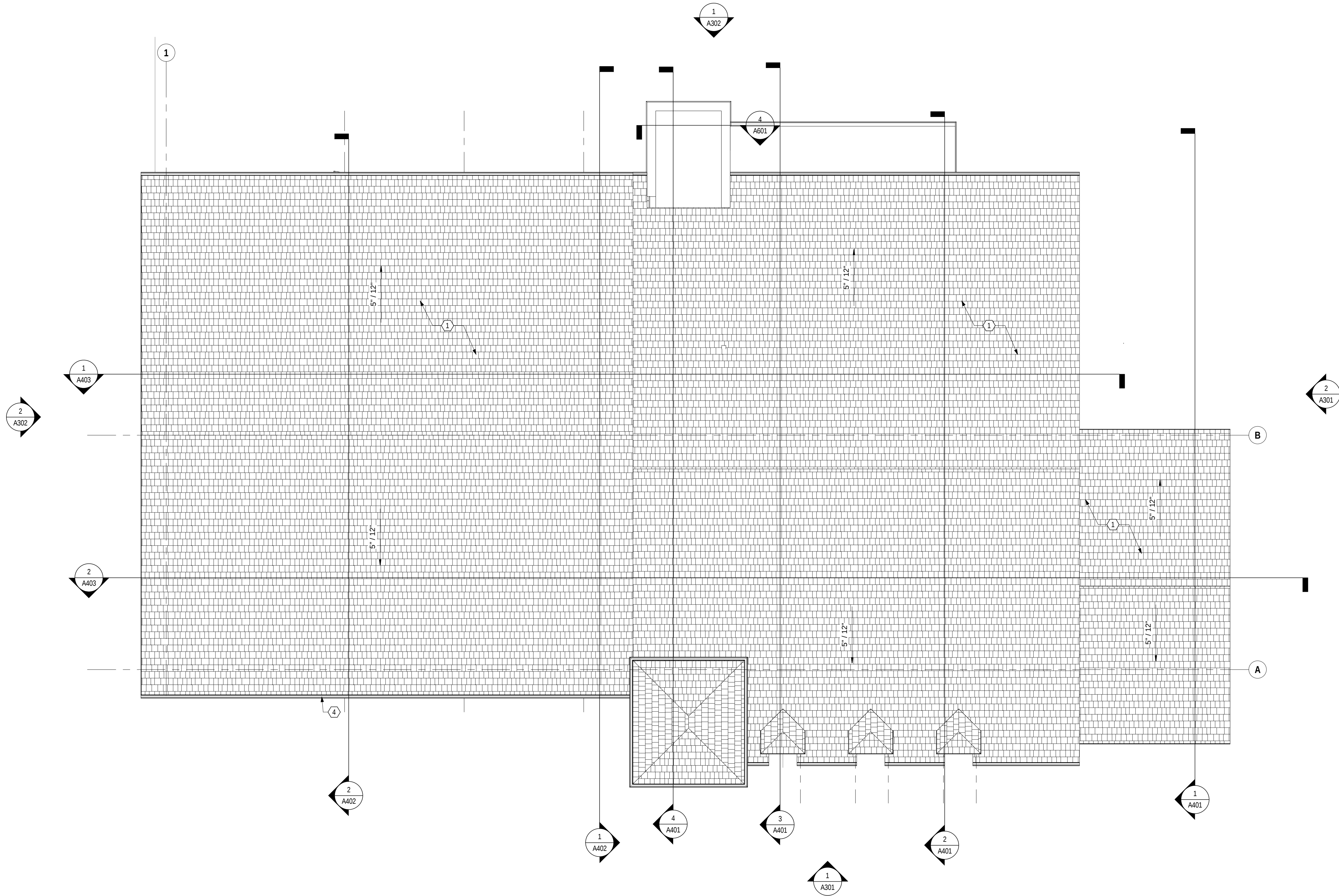


MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:

SECOND FLOOR PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	09/28/2017	
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	16707	
	A102	
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1 **PLAN** 04 OVERALL ROOF PLAN
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE)

ROOF PLAN CODED NOTES

1. ASPHALT SHINGLES
2. FULLY ADHERED, SINGLE PLY, REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) ROOD MEMBRANE & SYSTEM. TYP. AT ROOF ABOVE MEZZANINE AND TOWER
3. VENTILATED METAL FACIA, REFER TO xxx
4. METAL GUTTER
5. SLOPE- TO SLOPE METAL REIDGEVNET AND FLASHING- COORDINAGE WITH ROOFING MFR AND VENTILATED SOFFT
6. ROOF VALLEY AND FLASHING, REREF TO XXX
7. WALL- TO-ROOF FLASHING SYSTEM
8. "FIRE-RESCUE SKILLS TRAINING" PLATFORM
9. FIXED GUARDRAILS
10. A/C UNIT , EXHUST FAN AND ROOF CURBS. COORDINATE DETAILS WITH MEP DRAWINGS
11. LINE OF BUILDING BELOW
12. WALL MOUNTED ROOF ACCESS LADDER
13. ROOF EQUIMENT ACCESS WALKWAY
14. METAL DOWNSPOUT (BELOW)

#	DATE	CHANGE DESCRIPTION



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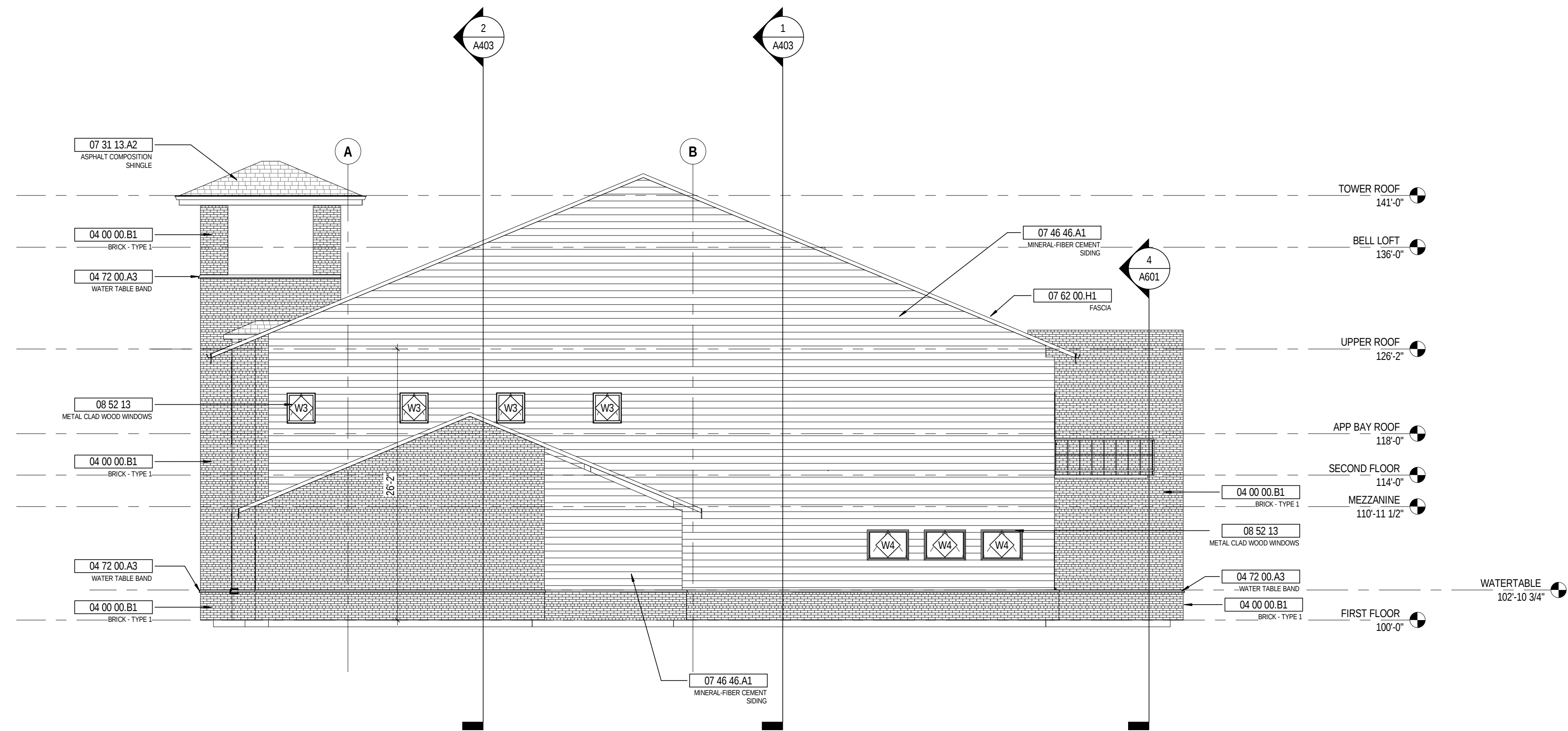
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
FAX: (614) 280-8881

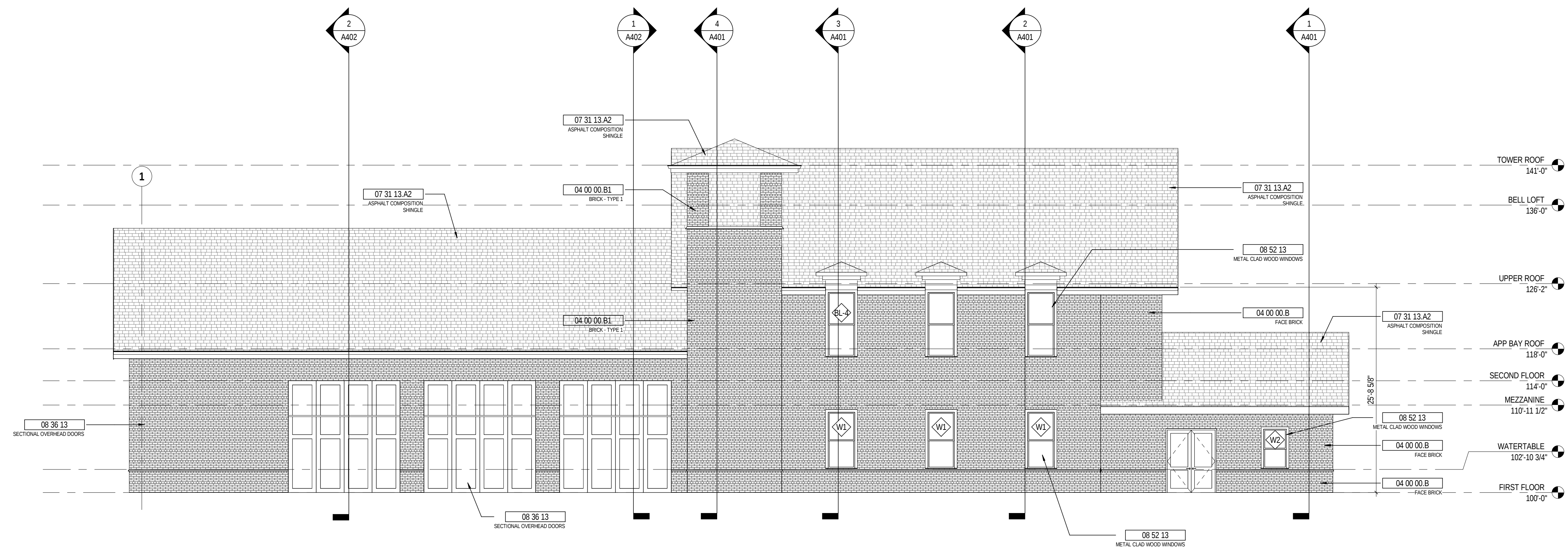
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ROOF

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	16707	
	A103	
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2 EAST
1/8" = 1'-0"



1 SOUTH
1/8" = 1'-0"

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
04 00 00.B	FACE BRICK
04 00 00.B1	BRICK - TYPE 1
04 72 00.A3	WATER TABLE BAND
07 31 13.A2	ASPHALT COMPOSITION SHINGLE
07 46 46.A1	MINERAL-FIBER CEMENT SIDING
07 62 00.H1	FASCIA
08 36 13	SECTIONAL OVERHEAD DOORS
08 52 13	METAL CLAD WOOD WINDOWS

#	DATE	CHANGE DESCRIPTION



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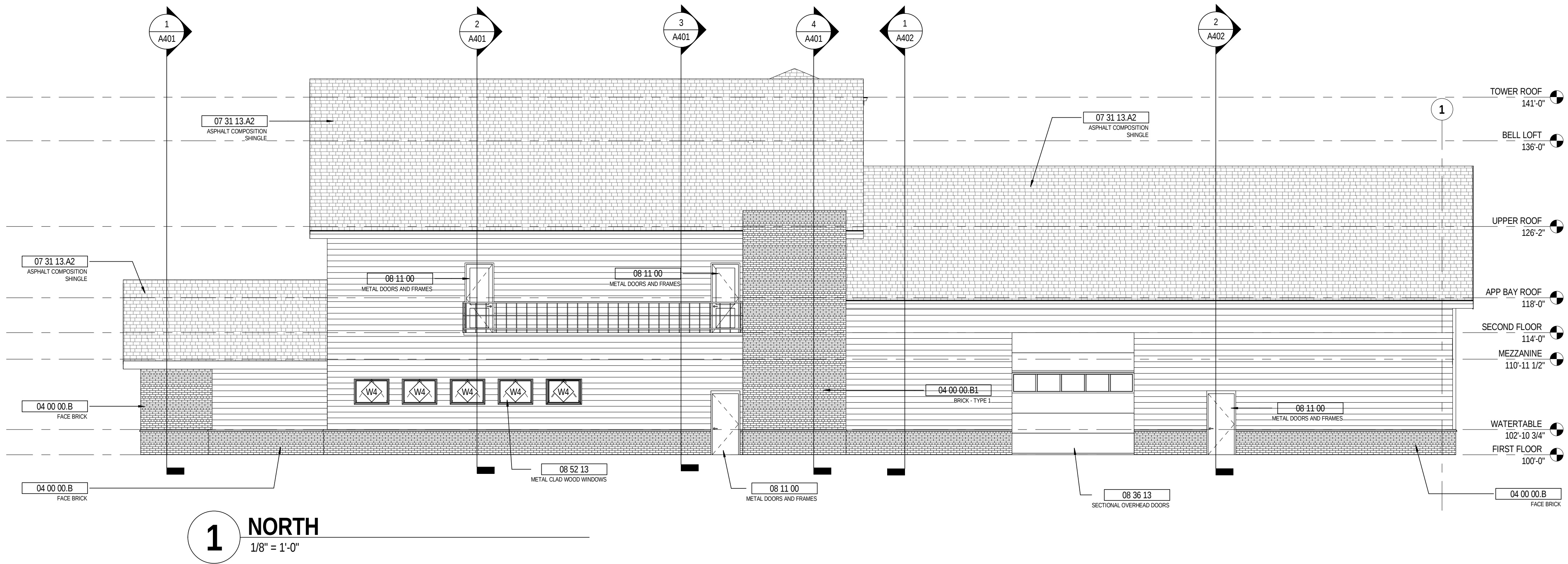
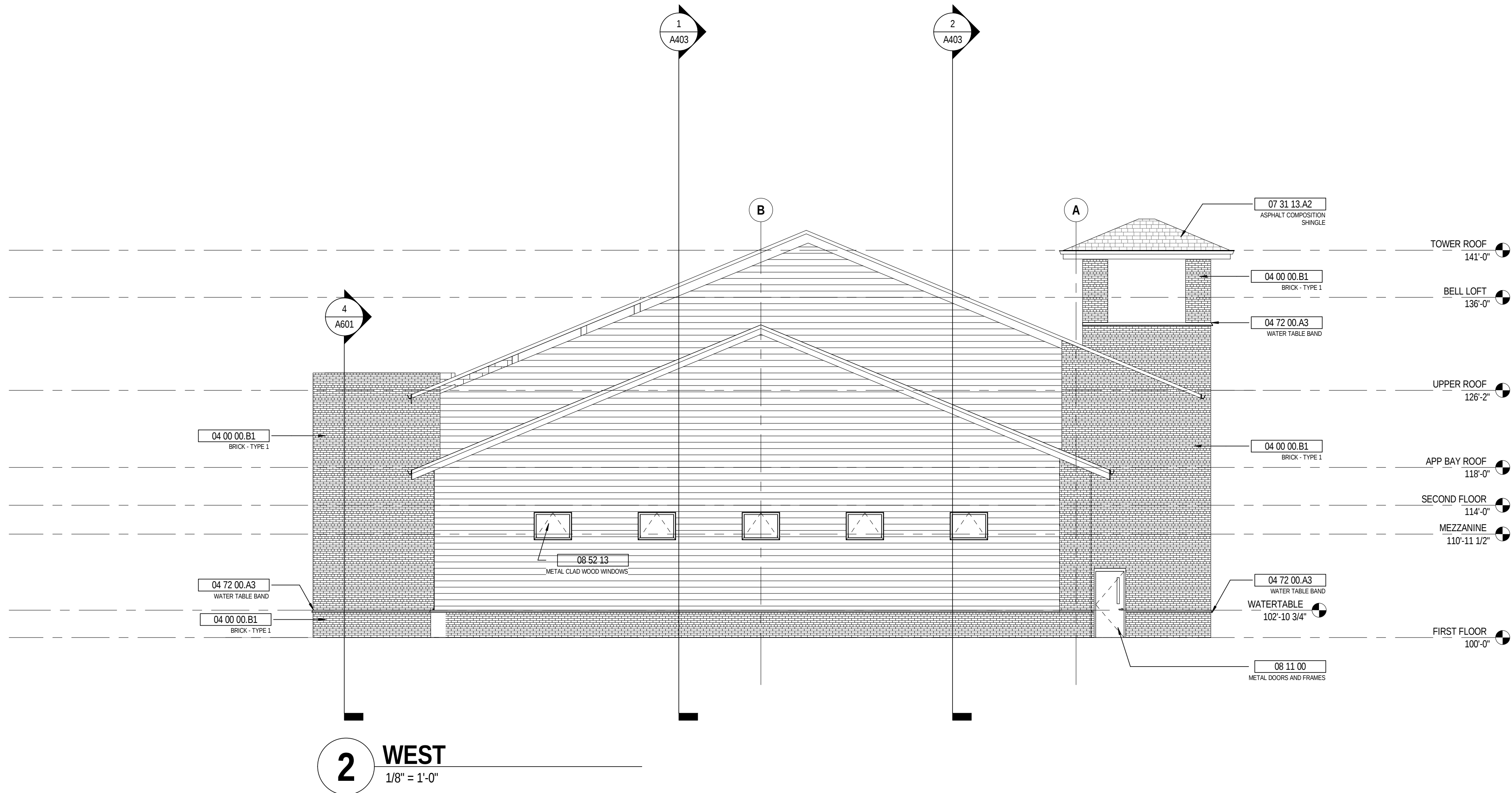
PHONE: (614) 461-4664
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DRAWING TITLE:

EXTERIOR ELEVATIONS

PROGRESS
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CONSTRUCTION

09/28/2017
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A301
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KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
04 00 00.B	FACE BRICK
04 00 00.B1	BRICK - TYPE 1
04 72 00.A3	WATER TABLE BAND
07 31 13.A2	ASPHALT COMPOSITION SHINGLE
08 11 00	METAL DOORS AND FRAMES
08 36 13	SECTIONAL OVERHEAD DOORS
08 52 13	METAL CLAD WOOD WINDOWS

#	DATE	CHANGE DESCRIPTION



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DRAWING TITLE:

EXTERIOR ELEVATIONS

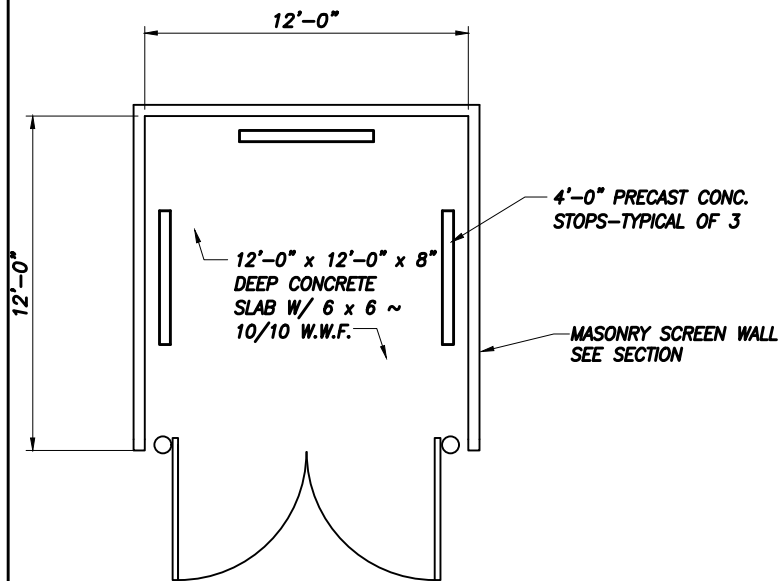
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DRAWING
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CONSTRUCTION

09/28/2017
DRAWN BY: Author
CHECKED BY: Che

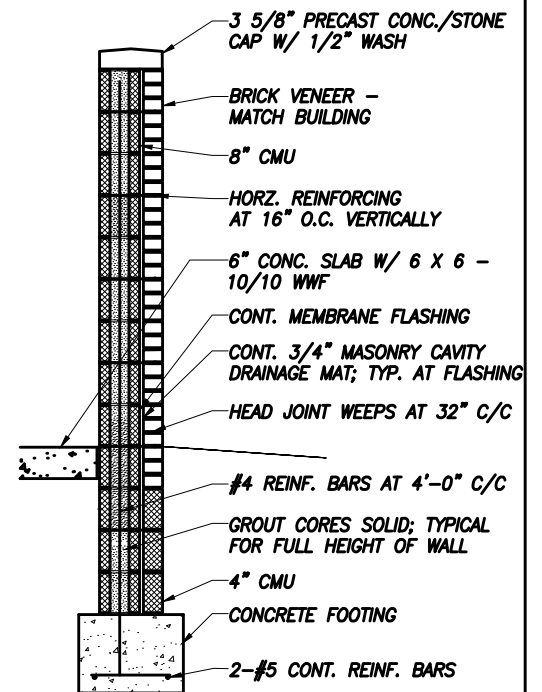
16707

A302

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10 DUMPSTER ENCLOSURE NO SCALE



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MOODY-ENG.COM



Dwg. Coord.:MSL

Tech. Coord.:MSL

M/N #08174

**DUMPSTER
ENCLOSURE DETAIL**

C1.1

Major Site Plan

October 4, 2017