



AGENDA

**PLANNING COMMISSION
THURSDAY, NOVEMBER 1, 2018 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Planning Commission – Regular Meeting – October 4, 2018
 2. Planning Commission – Special Meeting – October 11, 2018
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. UNFINISHED BUSINESS

D. NEW BUSINESS

1. 6446 E Main St.; Application #2018-30; Applicant Sign Vision Co, Inc - Jami Gray;
Certificate of Appropriateness - Signage

E. OTHER BUSINESS

1. HB 478 - Small Cell Wireless Design Guidelines

F. ADJOURNMENT

MINUTES

**PLANNING COMMISSION
THURSDAY, OCTOBER 4, 2018 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: Cullinan, Zollars, Hicks, Furst
ABSENT: Bizjak

2. APPROVAL OF MINUTES

Minutes stand approved

3. APPROVAL OF AGENDA

Agenda stand approved

4. SWEARING IN OF SPEAKERS

Speakers for the evening sworn in by Mr. Zollars

B. PUBLIC COMMENT

None

C. NEW BUSINESS

1. 7410 E. Main St; Application #2018-24; Applicant Salon G Suites; Certificate of Appropriateness

Ms. Wheeler: First agenda item is for replacement of two awnings on the front facade of a building at 7410 East Main Street which is in the historic district. The color is changing as well as the design of the awnings which are also essentially functioning as the walls sign for the business. We do recommend approval to answer any questions you may have.

Mr. Zollars: Can we pull this property up to see the existing? OK.

Mr. Zollars: Thank you staff. Board, any questions or discussion? I'd like to entertain first and a second motion please.

Mr. Cullinan: I'd like to make a motion to approve as submitted.

Mr. Hicks: I'd like to second.

Mr. Zollars: Very good. We have a First and second would you call the roll please?

Minutes Acceptance: Minutes of Oct 4, 2018 6:00 PM (APPROVAL OF MINUTES)

RESULT:	APPROVED [UNANIMOUS]
AYES:	Cullinan, Zollars, Hicks, Furst
ABSENT:	Bizjak

2. 7509 E. Main St; Application 2018-26; Applicant Aaron Boesch; Certificate of Appropriateness

Ms. Wheeler: The next the next agenda item would be 7509 East Main Street. Similarly this is also within the historic district. The applicant is requesting approval for exterior building modifications proposing to change the siding to a beige vinyl siding on the building. Again we would recommend approval I believe they've included an example of what that would potentially look like. And pulling up the existing property as well on your screen.

Mr. Zollars: Questions from the board? Or is the applicant here? Board first any questions from the board?

Mr. Hicks: Mr. Chairman. I've got to I've got a few questions. Not sure if the applicant here would be able to..

Mr. Zollars: Is the applicant here? OK.

Mr. Hicks: I guess some of my concerns would be, you know this is an historic district. We've tried to implement you know historic materials in historic districts vinyl siding product which I understand the benefits of vinyl siding. We've kind of tried to either go one of two ways with an historic district either you know try to make it adhere to the historic design guidelines if you're going to redo a building. Or try to make it adhere to whatever the original architectural style of that building was. That building's got some kind of vertical kind of a board and baton type siding on it now. This would be kind of a residential product on a commercial building horizontal Vinyl clapboard. So I guess I would recommend that staff. I'm recommending that we would table this application and staff reach back out to the applicant and see if we can find anything any other alternative materials. I understand with the age of the building it probably needs some maintenance, but something that maybe would be more consistent with the... at Least the original architectural style the building. If it's fake Borden baton look now, there's Borden baton Vinyl that might be appropriate, but I think we would also want more details as far as what they are doing as far as window trim door trims. Want to make sure that we're not just approving you know removing architectural details from the building that you know were there originally.

Mr. Zollars: Very good. I happen to agree with you Mr. Hicks.

Mr. Cullinan: I agree completely.

Mr. Zollars: OK. Well then Mr. Bowsher.

Mr. Bowsher: No I agree. I think also just with the board as well I think they were adamant about trying to put another tenant potentially a restaurant or a bar and grill in that open space.

I feel like this is just the first of many applications that are probably coming from them so it might be good to go ahead and have them take more of a holistic approach to what they're planning on doing especially if they're pulling out a brand new deck and they're going to do new awnings and everything of that sort. I'm inclined to agree that we reach back out to them and try to get a little bit more information and maybe have them bring in some samples of different varieties to allow you guys to pick from and then kind of move on from there.

Mr. Zollars: I agree. QUESTION Do you remember... didn't they come to us about a year or so ago with some previous some other alterations or improvements?

Mr. Bowsher: They might have previous administration. I do know that this building was just bought and purchased and has a brand new owner of about a couple of months old.

Mr. Zollars: That might be it then.

Mr. Hicks: I remember them come into force a year or two ago about the wood beams that guarder in the front because they were having some trouble some rot with those and we had agreed to let them remove those, or do some other modification training. I just think it would be good if they get kind of the 30000 foot level what direction they want to go with the building. We've had like a couple of shopping centers in town start changing things and when you're in the middle of kind of switching between one decor or style to another one, there's kind of a... It can get a little rough. I just want to make sure we know from the top down we just feel comfortable that building.

Mr. Zollars: Well how about I'll entertain a motion to that effect, followed by a second.

Mr. Hicks: I move that we table the submission.

Mr. Furst: I second.

RESULT:	TABLED [UNANIMOUS]	Next: 11/1/2018 6:00 PM
AYES:	Cullinan, Zollars, Hicks, Furst	
ABSENT:	Bizjak	

3. 2826 Taylor Rd SW; Application # 2018-25; Applicant Kabil Associates Certificate of Appropriateness

Ms. Wheeler: Third agenda item would be for 2826 Taylor south west. This is for the Fairfield Inn. The applicant is proposing to update the existing entry way. I'll pull that up as well.

Mr. Bowsher: Is the applicant present tonight?

Mr. Zollars: Staff go ahead with your findings if you would.

Ms. Wheeler: We do recommend approval for this. The application... Mainly just kind of modernization. I believe the facility.

Mr. Zollars: Is the applicant here yet? Would you mind coming up for a couple questions? And then also prior to sitting down if you could sign it we know who you are and when you come up identify yourself and your address, if you would. Board any questions while the applicant does the paperwork? I have a question. It says oh here it's white. I think that's the only color I see referenced. Is it all white?

Mr. Schon: Inaudible.

Mr. Zollars: Then the other question I have. It's changing it's got like a sort of wavy look.

Mr. Schon: Yeah..... Inaudible

Mr. Zollars: Would you like to add a thing to the staff statements or questions I've already heard?

Mr. Bowsher: I did bring a rendering.

Mr. Furst: Is it our color rendering. By chance?

Mr. Schon: Inaudible

Mr. Zollars: Thank you. So the building is getting painted in this process as well here?

Mr. Schon: Inaudible ...That Is... Inaudible.....Different people out of state the existing elements but.

Mr. Hicks: So just to clarify is the submission just to redo the entry canopy or is it to change all the colors in the whole building?

Mr. Schon: Well the owner has already talked to the zoning and to change the colors. They did not need to do that outside here. He talked to them a couple months ago. So the before this is just the Canopy but they are painting the.. inaudible... To match those colors as close as we can.

Mr. Zollars: Any questions or comments?

Ms. Wheeler: Now just to add to that they've already submitted for a zoning certificate for the painting itself.

Mr. Hicks: Is that something that's approved at the staff level?

Ms. Wheeler: Yes.

Mr. Zollars: I'd entertain a first or second for either approval or not on this one.

Mr. Hicks: I move for approval as submitted.

Mr. Cullinan: I second.

Mr. Zollars: we have a first site would you call the roll please.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Cullinan, Zollars, Hicks, Furst
ABSENT:	Bizjak

4. 1833 Baltimore- Reynoldsburg Rd.; Application #2018-27; Applicant DaNite Sign; Certificate of Appropriateness

Ms. Wheeler: Fourth item on the agenda pertains to the New Sleep Number store going in on the corner of 256 and Stone trail way. The applicant has submitted a comprehensive signed plan for a total of 172. 65 square footage of sign area, that's for the 4 wall signs. One on each side of the building and noted below that the planning commission may approve the comprehensive signed plans that exceed the exceed the total limits allowed in the table by 25 percent. So they actually only have 114.92 lineal frontage from those two streets, but they are requesting a 173.65 of signage.

Mr. Zollars: The applicant.

Mr. Schoa: I am DaNite sign company, Rob Schoa.

Mr. Zollars: Anything you'd like to add to that?

Mr. Schoa: No that was pretty accurate. Thank you.

Mr. Zollars: What are these? What are these? Well I don't know what the word I'm looking for are they think?

Mr. Schoa: Let me pull up a site plan.

Mr. Zollars: I found it I got it. Thank you. OK there we go. Board any questions or comments for the applicant or Staff?

Mr. Hicks: I've got just had one question. The one monument sign is be determined sign. Is that part of a monument on top of a. It's not the it's not the existing sign. What are the other details on the monument signs is it sitting on top of a building?

Mr. Schoa: The monuments sign. So the monument sign hasn't been built yet. And that's why it's to be determined.

Mr. Hicks: I guess staff is that have we approved prior a monument signed for that parcel that this panel would fit in then?

Ms. Wheeler: Yes I believe that the monument sign was approved as part of a major site plan approval process.

Mr. Bowsher: Yeah I think one step going further past this whatever they do pick I think they're trying to match up the brick on the exterior of this building. So they're going to build the sleep number store which is one section of the redevelopment of that car wash that was there. And once they have another tenant for the other building they're going to match and then build the sign and the second one yeah.

Mr. Hicks: That's what has to be determined yeah. So we're just approving the you know look at the logo and all that, But it's that's fine. I just wanted to make sure it's like we're not approving an unlimited monument sign with whatever they determine their size could should be set.

Mr. Zollars: That monument sign would come back for approval.

Ms. Wheeler: Correct. And I've actually spoken with a company that's working on that right. There they are. They will be submitting a zoning certificate for that.

Mr. Zollars: Those are good questions. If there's no other questions that entertain motion and a second.

Mr. Furst: I make a motion that this be approved as submitted

Mr. Cullinan: I'll Second

RESULT:	APPROVED [UNANIMOUS]
AYES:	Cullinan, Zollars, Hicks, Furst
ABSENT:	Bizjak

5. 7905 E. Broad St.; Application # 2018-28; Applicant United Dairy Farmers; Certificate of Appropriateness

Ms. Wheeler: OK moving on to the next agenda item 7905 East Broad Street. This is the new UDF, Corner of Broad and East Broad and Waggoner. Similar-request here from the applicant for a comprehensive signed plan approval. In this case the applicant is proposing a total of 288 square foot of signage for the entire site. That includes three canopy signs one wall sign on the front of the building and then two monuments signs as well. Proximate Lineal frontage of the building itself is 260 feet.

Mr. Zollars: Is the applicant here. Anything you like to add to that?

Mr. Claims: Tim Claims with United dairy farmer's director of real estate. I guess I was looking at the of the two frontages in the property. We've been back. We've been here for a couple years working on this on this project. The property is six and half acres of which we contributed about four and a half four and a half acres of that for that conservation easement. So we've got almost a thousand Lineal feet on Broad Street and we are around 500 on

Waggoner. So you know we've used about 2- 2 and a half acres of that. So that's what we're going to propose in the two pylon signs. Due to the visibility issue for the gas pricing etc. for the business our curb cuts know we are limited right and right out on Broad Street want to make sure people see that sign in plenty of time to make their decision. Same thing on Waggoner. We're also challenged with that westbound traffic making sure they are able to see that sign ahead of time and make that left to go south on Waggoner. That's are only full access curb cut on Waggoner road. As far as a building sign. We put one on the front and a canopy sign we like to identify the point. We like to identify our gas brand there. They're pretty small signs on the canopy. If anybody has any questions any questions on the board side?

Mr. Hicks: Chairman. This development was before a design review board a long time ago and I just I want to point out something. There was a conservation easement but at the time I think there was an assumption that there was going to be significantly more trees on the site between the development and some of the houses to the south. There's a couple lots back there where we had specifically put a conditional approval plan that there needed to be an additional buffer put in. So I just wanted to make sure that another public forum here that it's brought up and discussed and make sure that you're aware that there was a requirement for an additional buffer along your southern property line with those homeowners. I don't know what the status of that is. I don't know if it's going in or not, but staff has changed and so I want to make sure that while you're here and you're aware that that's something that we want to see happen. I think there was you know what was shown on the plans in regards that Southern property line and what ended up being cleared just didn't quite jive up just because there were certain assumptions there was just more trees there than there and ended up being. My second point would be the pylons signs. I think we've been very consistent and Reynoldsburg that we have a certain identity and brand with pylons signs that there are monuments sign with a brick base and in fact there happens to be another UDF in town on Main Street that has to be more acceptable than what you guys are proposing. Maybe this. The only difference would be that you know your new sign on Broad Street could potentially be a little bit larger scale just because the road is bigger distance to see it and everything. But I would think that we would need to see this monument sign that would more visually resemble what your sign is on Main Street for this property as well.

Mr. Zollars: Those are both good points Mr. Hicks. Staff, did we do we have a how does the Lowe's area of this section of town signage monument signs are a monument signs. I don't know.

Mr. Bowsher: They are all monument signs including the shops at East Broad sign as it's coming in. It is a monument sign that's there. And that is something that staff concur with that we do want to see more monuments signs instead of the pole.

Mr. Zollars: Your thoughts on that. I can't remember your names. I'm sorry, Tim.

Mr. Claims: It was our understanding that the pylons were an acceptable my side company worked with your staff that they were an acceptable presentation on this site. It was just a matter of the square footage limitation that was in question. You know we're opposed to

monument signs I think the challenge is the distance and Speedway's Walgreens and all the folks which may not be in the city Reynoldsburg, but we've got to survive in the city around Reynoldsburg with those other people across the street. That's one of the challenges and just that sight line that distance. Back to that main street site. I just came through there again tonight. I mean that store is suffering for us to be honest with you. The placement of that sign the landscaping around that sign there was poor visibility. People cannot see the pricing and we know from the industry and we've got 175 stores out there that's a recipe for failure and it's proven itself out there. So while we we're not completely oppose monument signs they need to be a certain height. You know we present it pylon signs here because they were saying they were allowed on the site. It was just a matter of our standard pylon sign is a 10 by 10. So it does look like some large you know or some small little thing up on stilts.

Mr. Zollars: Would be maybe a happy medium, put a monument base with the pylon in it.

Mr. Hicks: You know the shops at East broad has nice signage they've got was technically a pylon sign but it's all brick you know looks really nice. So something along those lines I think we just want to be consistent and I understand you know concerns visibility you know adds up to a lot of dollars every year preform of X number of you know customers coming in because they see your sign or not see your sign. But I think this property was overall really tough nut to crack and so I think this is part of the cost of doing business. You need to have a really nice sign out there at the corner Reynoldsburg.

Mr. Zollars: I would agree with that. Staff can we?

Mr. Bowsher: Would you be willing to do. You know obviously we don't want you to change the sign as Mr. Hicks had said. You know obviously a larger sign than what you're Main street would say but I think what we're talking about is just lowering it down to maybe five feet instead of 10 feet and then having a five foot brick base underneath of it. I still think that's extremely visible as you're driving past because the sign is not changing itself. You're talking about the base.

Mr. Claims: It's a shorter so taken the. Yeah. When we look at the sign drawing itself right now we show the two foot ten foot you know pile on poles bringing that down to five and filled it with it. Exactly. Not a big base.

Mr. Bowsher: I think that's.

Mr. Claims: It would be acceptable.

Mr. Hicks: I think we'd want to see some elevations there some you know some elevations of Mr. Hicks. I mean my recommendation would be that we approve everything other than the pylon sign and bring the pylon sign back to us to be able to take a look at.

Mr. Zollars: and that's fine with me.

Mr. Claims: Can we. I mean that's the other thing. Thanks so we've got a six and a half

million dollar investment in here. I've been to about eight different meetings. I mean what I would propose is there a way for us to approve this under the condition that it is you know this particular sign. The ten by ten it's shown here only on a five foot. And I would say brick base we have stone at the bottom are building but I'd probably do brick on this one just because of my feet a stone might be a little excessive overwhelming. I mean can we get approved for that. We're getting ready to open this store in a couple months. We really would like to move forward with this project.

Mr. Zollars: I'd be happy with approval with staffs follow up and then circle back with us. Once you get that drawing that's fine. Okay. Well then I think we might have a motion.

Mr. Hicks: I move that we approve this submission under the condition that they submit updated pylon signs for two staff. That include a 5 foot brick base with the very similar sign frontage as shown on their submission.

Mr. Zollars: I have a first how about a second?

Mr. Furst: I second

RESULT:	APPROVED [UNANIMOUS]
AYES:	Cullinan, Zollars, Hicks, Furst
ABSENT:	Bizjak

6. 6597 E Main Street; Application #2018-29; Applicant Scott McAfee; Certificate of Appropriateness - Signage

Ms. Wheeler: All right that brings us to our final case for the evening 6597 Main Street for a new sign for new business Columbus car audio and accessories. The applicant is requesting Planning Commission approval to put up a 66.7 Square foot wall sign on the front facade of the building and just requiring Planning Commission approval. That is over the 32 square feet for new sign.

Mr. Zollars: Is the old Jegs property? Staff any questions. Sorry not staff, board commissioned any questions?

Mr. Hicks: I just have a question. Do we allow just as this is just a box sign with a panel in it or do we require Raceway or channel letters on new signs for buildings?

Ms. Wheeler: I believe we allow. I can pull up. I believe the surrounding tenants have similar signs. A previous sign there JEGS or one of them like that too.

Mr. Zollars: Mr. HICKS, I think JEGS was the same way as proposed here.

Mr. Cullinan: Can you go to the history and go backward?

Mr. McAfee: When he digs that one on the standing same roof then what I've been told years ago they used to have bullet point list of services that bother us. Yeah. Words were proposing

the sign we wanted to take it away from this roof just too kind of make it appear a lot cleaner than install which is what they do. Match to the ground sign proposed ground sign and such. It wasn't a desire of them to keep it on the roof. So we decided to bring it down at keep it within the architecture of the building in between the two side walls.

Mr. Hicks: I guess it's just you know it's kind of a struggle on some of these buildings with the hodgepodge of different signs. But I mean there's certainly an aesthetic appeal to having Raceway letters or individual channeled letters on for signage instead of just the box panels which we have a lot of on Main Street. But I guess it's appropriate for this location considering its history and it and the rest of the center. So I don't have any other comments.

Mr. Zollars: OK. Anyone else? How about motion in a second one way or the other.

Mr. Cullinan: I make a motion we approve as submitted

Mr. Furst: I second

Mr. McAfee: May I ask a question on property? This is outside of this particular project that was just approved the ground signs I know that are existing along that part of Main Street there and probably circa 2000. Sometime about built there. Is that a requirement for them to maintain that same color of the cabinet? All the cabinets are kind of paint the ground signs that are there on the brick basis. They're all the same color and they're all faded. Is it a regulation to keep those the same color or is that a Reynoldsburg thing.

Mr. Bowsher: It's the only regulation that you would have is to ensure that the brick in the monument underneath would continue to match the brick landscaping in the street scape that's there on Main Street. The cabin itself we can hear again. I would stick with just normal natural colors that fit well within the scheme or have them match what your existing new signage would be.

Mr. McAfee: Which we are. We're proposing. Or trying to. Paint the candidate black to match everything instead of having it rose, or dark color which all of them up and down that street are faded.

Mr. Bowsher: I think just at that time when they put those in they tried matching the burgundy red with the Reynoldsburg. You know our logo and such. But there is no regulation that states that you have to have the burgundy red tape that's on their car and not knowing how big the sign is. You know not taking any measurements but if it's under 32 square feet that's something that staff can approve. If you're updating that sign that's in there if it's over that and we didn't review it tonight. Then I don't need to go back to planning commission.

Mr. McAfee: Okay so I've already put in an application for a replacement face change. OK. When I don't put in.

Ms. Wheeler: Yeah that's part of the same. I think you put it on the same application. And that piece we cannot prove administratively Okay.

Mr. McAfee: Okay. Okay great. Thanks.

Mr. Zollars: Okay thanks good question. Good observation also. Anything else? This meeting is adjourned.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Cullinan, Zollars, Hicks, Furst
ABSENT:	Bizjak

D. OTHER BUSINESS

None

E. ADJOURNMENT

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of Oct 4, 2018 6:00 PM (APPROVAL OF MINUTES)



MINUTES

PLANNING COMMISSION THURSDAY, OCTOBER 11, 2018 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: Cullinan, Hicks, Bizjak, Furst
ABSENT: Zollars

2. APPROVAL OF MINUTES

Tabled until regular meeting

3. APPROVAL OF AGENDA

Agenda is Approved

4. SWEARING IN OF SPEAKERS

No Speakers

B. PUBLIC COMMENT

None

C. UNFINISHED BUSINESS

D. NEW BUSINESS

1. Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1183.04 Use Regulations and Development Standards of Chapter 1183 Planned Neighborhood Development District.

Mr. Bowsher: So new business ordinance to amend the code of ordinance of the city of Reynoldsburg Ohio amending Section 1183.04 use regulations development standards of Chapter 1183 plan Neighborhood Development District. This comes before you tonight to sure up some of the things that we have in the PND. Staff and administration feel that the PND should be based on merit and the actual development as a whole and not have regulations set forth as normal zoning code. It should be a unique development seen by you, heard by you, specifically for that development with the only standards being that a planned neighborhood development is a neighborhood a housing project. It should be looked at within the health safety and welfare of the general public. A lot of the stipulations such as density, different landscaping, and parking conditions have been stricken to view the unique development as a whole, holistically, and then hopefully swayed in different directions to benefit the surrounding environments by this planning commission and further by city council, once approved or denied. So this is a way for us to make more unique developments make it better overall when new developers come and submit applications. Hopefully we go

Minutes Acceptance: Minutes of Oct 11, 2018 6:00 PM (APPROVAL OF MINUTES)

through a better job of doing concept plans with planning commission. So they're not coming undone and then hopefully we're meeting with developers prior to making sure that they know what our standards are here in Reynoldsburg we're not making the same mistakes of the past.

Mr. Cullinan: Chairman, I just got one quick question. This legislation is in line with other surrounding municipalities of similarity to the city of Reynoldsburg, I'm guessing right?

Mr. Bowsher: Absolutely. This is in line; PND for all intensive purpose is supposed to be a blank sheet of paper. So when a development comes it should be viewed for that specific and shouldn't be held to different standards other than the overall standards for the city and specifically for that site. So that is what it's made for.

Mr. Hicks: Just to expand. Chairman this is Mr. Hicks. Just to expand upon that. I spend a little bit of time today reading few other municipalities you know plan development code and it varies. What we would be doing tonight would be really taken it down to bare bones to where we just have a sliver of the idea of what a planned development can be. If you look at a code say like City of Delaware they've had they've got about a half dozen different planned development type codes that all come with different rules and different tables of densities and mixtures and different things to serve different purposes within different parts of the city and to provide guidance to planning commissions and councils of the future and everything else. I think I think at this point what staff is proposing is sort of a stopgap to get us from one point to another. Ultimately the entire zoning code within the city needs to be revised and changed needs to be updated to the realities of how development happens now compared to how development happened in the 1960s. We need this tool. We need plan development as a tool to get things done. Not everything fits within the land use specifications of our zoning code. The world is changing. Development is changing how it happens has changed and I guess I'm just make a long story short I'm supportive of this measure. But we have to understand that what we're doing tonight and what our current plan development code is cannot last for much longer. There needs to be a better structure for how we approve developments in the city, specifically redevelopments. There's not that much vacant open land within the city but there is many many opportunities in the city, and we will see within the next 10 years redevelopments of parcels combining different parcels together to create new developments and our code as it stands is completely unprepared for that type of development. So just in my comments supportive of what staff is trying to do here I don't think it's 100 percent necessary just based on the current cases that have come through. I think in the last couple of big developers that have come through I've had my case of why we did what we did or said what we said. I don't think that this changes that was the right or the wrong thing to do. But I'm supportive of it but I'm also just warning that this can't be what we used forever. It needs to have more structure to it and it needs to work better for how the world is changed.

Mr. Bizjak: Well if I may. If I may chime in on that. That's why we're having the master plan discussion right now. It's the complete revitalization of that. So yeah I thought those changes were going.

Mr. Hicks: But a comprehensive plan like that, paired with a new zoning code, is the future. The the conference plan is the first step. Right. But it doesn't ultimately doesn't have any teeth. You know that comprehensive plan is an idea. Changing the code is the law. And so that's where I just want make sure we don't lose track of that.

Mr. Bizjak: Gotcha.

Mr. Bowsher: Just too kind of summarize as well. We completely know that this is this is a stopgap I think that was the right term for this measure knowing that the comprehensive plan is wrapping up and we have a future land use map that is almost finalized and we know that we are bringing on Calfee zoning from Cincinnati. They have done rezoning works, they're going to take our future land use map the districts that we are setting right. Write the zoning code to give the comprehensive plan teeth that is starting at the end of the month it will continue on would be another process. The steering committee will hopefully stay on and we will transition into writing of the code which will probably take about a year or two a year and a half, but that is not beyond and falling on deaf ears. We definitely need to do that and it needs to be updated and it will be a complete overhaul a complete gut job starting from fresh on a brand new zoning code.

Mr. Cullinan: I guess. A little more history because I've been on the board longer probably 2012 2013 development all really start started coming back to the city and everything we were faced with the code that we had was all from the 60s and there is nothing that you can apply or not apply your uses a reason for anything right. I was telling them before the meeting that we had large packets with known trying to go through everything and we'd go through revise one section then a couple months later we figure out what we did to change from that to make it compare and all the different cities.

Mr. Bizjak: We do that. It's got to be comprehensive.

Mr. Cullinan: Exactly.

Mr. Hicks: You have to start from the 30000 foot level on something like this and work your way down because changing piece by piece. We've engaged in it some since I've been here. It's very challenging because every time you change one thing it's interconnected within the language of the text is something else. And once you just kind of copy and paste some other municipalities you know certain section into your code. It's not compatible and then they all reference each other so it's a challenge.

Mr. Cullinan: That where one part would make logical sense until you read the other part.

Mr. Hicks: Right.

Mr. Cullinan: And they didn't jive together so that they'll be great.

Mr. Hicks: To start at the top down. And I think it's a great opportunity for the city because how we handle land; you know what's the purpose of zoning? You know, what we are trying

to achieve. You really have to start with those questions. When you're when you start going through this code and then you understand how developments changed. You know I don't think we have any problem here in the city to be asking for higher design standards on new development. We want new development to be better quality. You know because we see the development that's happened in the past and how it's aged and it hasn't aged well in some places. So I don't have any problem asking for better quality development but that also comes with tradeoffs you can't get better quality development and then have codes that say one unit for every 10 acres, or something ridiculous. There's only so many people in this community that can afford a half million or 1 million dollar type of house. There's a certain social responsibility that we have to make sure there is plenty of housing options for people of all ages and income levels within the city. So all that the zoning code needs to incorporate all of those different ideas. And I think it's a huge task but it needs to happen, because we're a very nice suburb and a major city in the United States whose economy is changing dramatically and we will see change in development over the next 10 years. We either are gonna be prepared for it and are going to be able to funnel it in a way that's going to benefit the community or we're going to get passed by.

Mr. Bizjak: I agree with Mr. Hicks 100 percent. I mean was Columbus is the 14th fastest growing metro area in the country it only makes sense that in terms of this specific provision we passed this and you know in the short term have something like this on the books. I mean at the end of the day it shows Reynoldsburg is open for business, but still maintains input from this commission as well as property affected property owners. So that's. With that in mind I'll make a motion to approve this and send it on to council.

Mr. Hicks: I'll second.

RESULT:	REFERRED TO COUNCIL [UNANIMOUS]	Next: 10/22/2018 7:34 PM
MOVER:	Joseph Bizjak, Commissioner	
SECONDER:	Steven Hicks, Commissioner	
AYES:	Cullinan, Hicks, Bizjak, Furst	
ABSENT:	Zollars	

E. OTHER BUSINESS

None

F. ADJOURNMENT

Chairman

Planning and Zoning Administrator



Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Permit#: 2018-74
Date Submitted: 10/19/2018
Fee Amount: \$110

Section 1181.02

ZONING SIGN PERMIT APPLICATION

check No. 3937

☐ Paid: _____

I. PROPERTY INFORMATION

Property Address: Little E. Main St. Parcel ID#(s): 060-005166

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): U-Store-It LP
Contact Email: _____ Contact Phone Number: _____

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Cubesmart Contact Name: _____
Contact Phone Number: (855) 724-7047 Contact Email: _____
Description of Use: Storage Units

IV. APPLICANT INFORMATION

Applicant Name: Sign Vision Co., Inc. - Jami Gray Applicant Address: 987 Claycraft Rd. Columbus, OH 43230
Applicant Phone Number: (614) 475-5161 Applicant Email: jami@signvisionco.com
☐ Property Owner ☐ Business Owner/Tenant ☒ Contractor ☐ Architect/Engineer

SIGNAGE

FEES

OFFICE USE ONLY

	SIGN TYPE	DIMENSIONS Width(ft) X Height(ft)	Check if Applicable:		CoA Required	CoA Received	Building Permit Required
			Sign Reface (\$35)	New Sign (\$75)			
Sign #1	Wall	146" X 61"	☐	☒	☐	☐	☐
Sign #2	Monument	96.5" X 60"	☒	☐	☐	☐	☐
Sign #3		X	☐	☐	☐	☐	☐
Sign #4		X	☐	☐	☐	☐	☐
Sign #5		X	☐	☐	☐	☐	☐

Applicant Signature: Jami Gray

Date: 10/17/18

By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:

Zoning Information

Zoning District: CC

Total Number of Signs: 2

☐ Historic District☐ CC Overlay

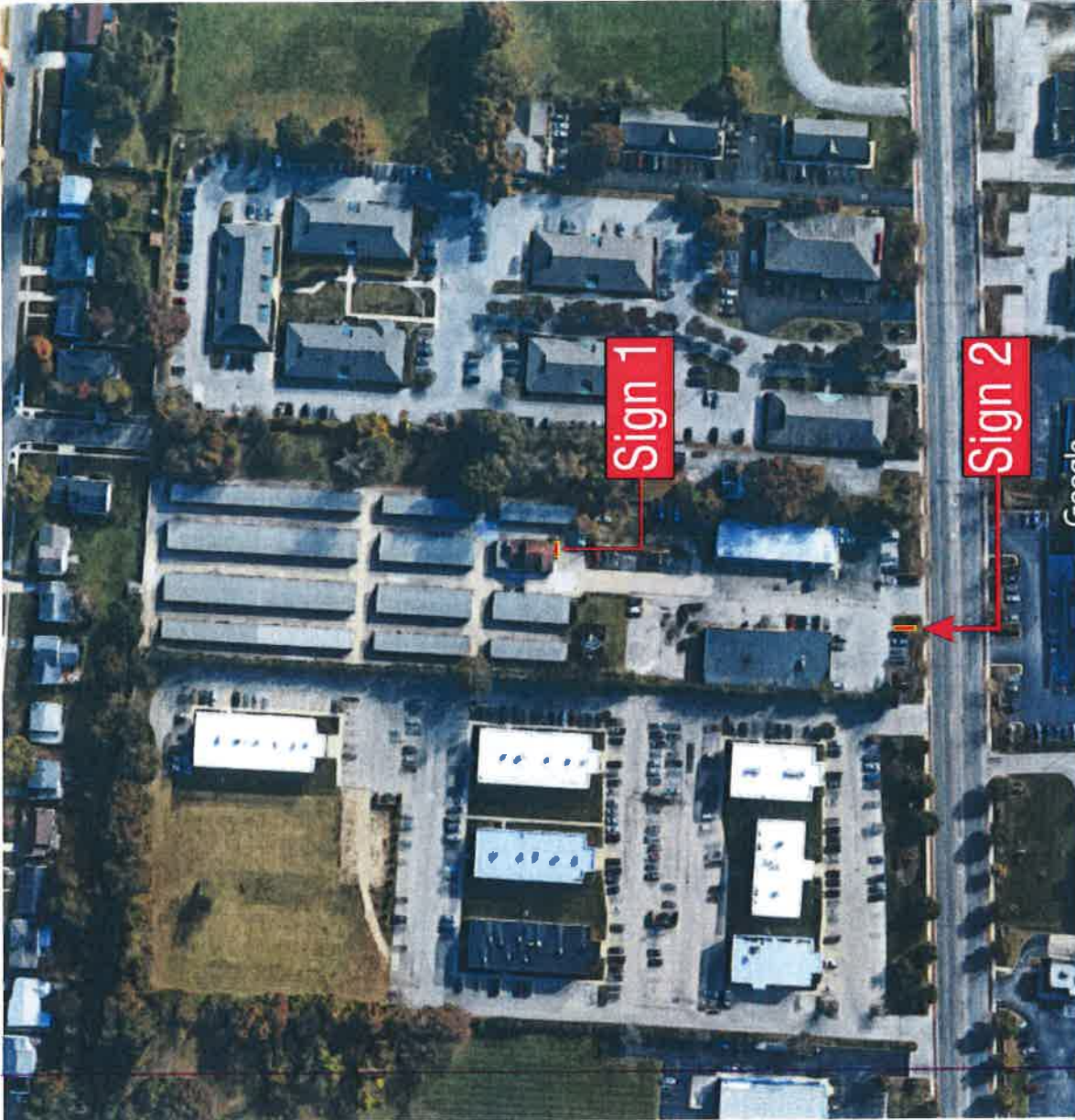
Add'l Approvals Req'd

☐ BZBA

PC

P&Z Admin.: _____ Date: _____

Floodplain Admin.: _____ Date: _____



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 GEORGIA
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 Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS

NO.	DESCRIPTION OF WORK DONE	DATE
A.	extend white bar show as option per K-L-PB	06/25/18
B.	revised signs 1 & 2 per K-L-PB	07/17/18
C.	showed options for sign 1 per K-L-PB	07/19/18
D.	updated Sign 1 options 2 & 3-KS	07/26/18
E.	added additional option to Sign 1-KS	08/15/18
F.	removed all options except #4 per L-P-PB	09/24/18

Client Cubesmart
Address 6446 East Main St, Reynoldsburg, OH 43068
Design No. #26140
Scale AS NOTED
Drawn By KS
Approved By _____

Store No. 778
Sheet 1 **of** 4
Date 06/21/2018
Date _____

Sign 1 - Wall Sign - East Elevation

New S/F Cabinet Sign

- Remove existing sign, patch and paint as needed.
- Install (1) NEW S/F Illuminated cabinet sign with white polycarbonate faces and CS Red Vinyl

Sq.Ft. = 61.8 (Code allowed: 2 sf per linear foot [31'x2sf= nte 62sf]. One (1) allowed per business)

SCALE: 1/4" = 1'

COLOR SPECIFICATIONS:



ALL MEASUREMENTS TO BE VERIFIED



±31'-0"



existing conditions

121"



proposed conditions

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REVISIONS

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Client Cubesmart

Address 6446 East Main St. Reynoldsburg, OH 43068

Design No. #26140

Scale AS NOTED

Drawn By KS

Approved By _____

Store No. 778

Sheet 2 of 4

Date 06/21/2018

Date _____

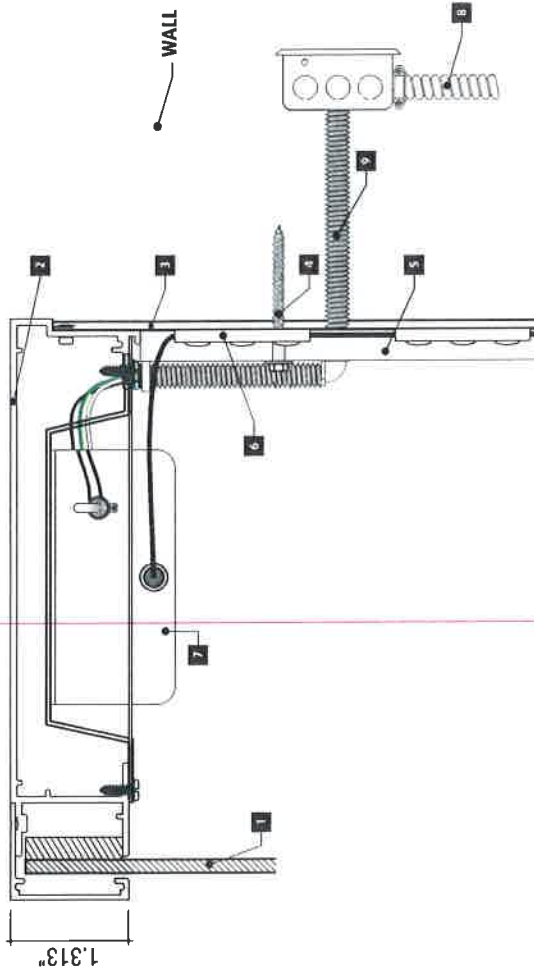
Sign 1 - Wall Sign - SECTION DETAILS

New S/F Cabinet Sign

- Install (1) NEW S/F Illuminated cabinet sign with white polycarbonate faces and CS Red Vinyl

ALL BUILDING PENETRATIONS TO BE SEALED WATERTIGHT.

6.5"



UL 48 Standard Table 4.10

Voltage range V	Uninsulated to insulated,		Insulated to insulated,		Insulated to dead metal,	
	mm	(in)	mm	(in)	mm	(in)
0 - 600	not applicable		not applicable		not applicable	
601 - 1,000	19.1	(0.75)	6.4	(0.252)	3.2	(0.126)
1,001 - 2,600	19.1	(0.75)	9.5	(0.375)	6.4	(0.252)
2,601 - 5,000	19.1	(0.75)	12.7	(0.50)	6.4	(0.252)
5,001 - 10,000	28.4	(1.12)	19.1	(0.75)	9.5	(0.375)
10,001 - 15,000	38.1	(1.50)	25.4	(1.00)	12.7	(0.50)

- 1 3/16" WHITE POLYCARBONATE FACE W/ 3M REGAL RED VINYL 3630-83.
- 2 ALUMINUM EXTRUDED CABINET PAINTED MATTHEWS ACRYLIC POLYURETHANE BLACK. LOCK-ABLE DISCONNECT SWITCH ATTACHED.
- 3 0.050" ALUMINUM BACK
- 4 NON-CORROSIVE ANCHOR SUITABLE FOR WALL CONDITIONS.
- 5 0.75" X 1.5 ALUMINUM TUBE (MIN.) FOR STRUCTURAL MOUNTING SUPPORT
- 6 LED MODULES, VHB TAPE AND SILICONE TO BACK.
- 7 LOW VOLT POWER SUPPLY
- 8 120V PRIMARY POWER TO BE WITHIN 5 FEET OF THE CENTER OF THE SIGN.
- 9 1/2" FLEXIBLE WATERTIGHT / METAL CONDUIT THRU WALL TO POWER SUPPLY AND DISCONNECT SWITCH.

This sign is intended to be installed in accordance with the requirements of article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Section Detail

UL listed & labeled sign-OUTDOOR WET LOCATION SIGN

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REVISIONS

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F	removed all options except #4 per LP-PB	09/24/18

Client Cubesmart

Address 6446 East Main St. Reynoldsburg, OH 43068

Design No. #26140

Scale AS NOTED

Drawn By KS

Approved By

Store No. 778

Sheet 3 of 4

Date 06/21/2018

Date

Sign 2

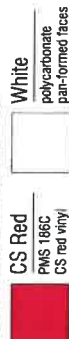
Reface existing illuminated D/F monument sign cabinet

(2) New polycarbonate pan faces with CS Red vinyl applied first surface. includes track for 2 rows of 8" letters per face. repaint cabinet black.

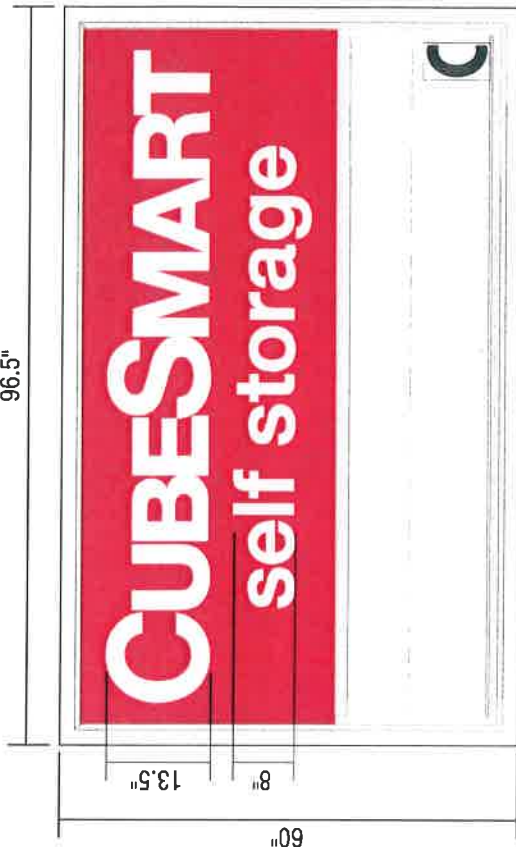
Scale: 1/2" = 1'

Sq Ft: 40.2

COLOR SPECIFICATIONS:



96.5"



existing conditions



proposed conditions

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	removed all options except #4 per LP-PB	09/24/18

Client	CubSMART	Address	6446 East Main St, Reynoldsburg, OH 43068
Design No.	#26140	Store No.	778
Scale	AS NOTED	Sheet	4 of 4
Drawn By	KS	Date	06/21/2018
Approved By		Date	



Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: 2018-30
Date Submitted: 10/25/2018
Fee Amount: \$7500

Section 1103.01
CERTIFICATE OF APPROPRIATENESS APPLICATION

☐ Paid: _____

I. PROPERTY INFORMATION	
Property Address: <u>6446 E. Main St.</u>	Parcel ID#(s): <u>060-005166</u>
II. PROPERTY OWNER OF RECORD	
Property Owner Name(s): <u>U-Store-It LP</u>	
Contact Email:	Contact Phone Number:
III. BUSINESS INFORMATION (IF APPLICABLE)	
Business Name: <u>Cubesmart</u>	Contact Name:
Contact Phone Number: <u>(805) 724-7047</u>	Contact Email:
IV. APPLICANT INFORMATION	
Applicant Name: <u>Jami Gray - Sign Vision Co., Inc.</u>	Applicant Address: <u>987 Claycraft Rd. Columbus, OH 43230</u>
Applicant Phone Number: <u>(614) 475-5161</u>	Applicant Email: <u>jami@signvisionco.com</u>
☐ Property Owner	☐ Business Owner/Tenant
☒ Contractor	☐ Architect/Engineer

PROJECT INFORMATION			
☐ New Main Building (\$400)	☐ Exterior Modifications/ New Accessory Building (\$200)	☐ Comprehensive Sign Plan (\$150)	☒ Signage (\$75)
		☐ Historic District (\$50)	
Description of Project: <u>- New wall sign (East elevation) - cabinet sign, internally illuminated with polycarbonate face</u> <u>- Re-face existing monument sign</u>			

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: Jami Gray Date: 10/25/18

By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

****OFFICE USE ONLY****

Additional Notes:	Zoning Information	Meeting Date: <u>11/1/2018</u>
	Zoning District: <u>CC</u>	Meeting Results
	☐ Historic District	
	☐ CC Overlay	☐ Approved as Submitted ☐ Tabled
	Add'l Approvals Req'd	☐ Approved w/ Conditions ☐ Denied
	☐ BZBA	P&Z Admin.: _____ Date: _____

Attachment: COA App#2018-30 (App# 2018-30, 6446 E Main St., Gray)



Design Guidelines for Small Cell Facilities and Wireless Support Structures within the Right-of-Way

As Approved by Dublin City Council

Monday, June 25, 2018

Ordinance 41-18 (Amended)

Last Amendment

Monday, June 25, 2018

Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)

Department of Public Works--Engineering
Department of Development--Planning



EVERYTHING GROWS HERE.

Effective July 25, 2018



DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

DEVELOPED BY:



City of Dublin Department of Public Works--Engineering Division

Paul A. Hammersmith, PE, Director of Engineering/City Engineer
Jean-Ellen Willis, PE, Engineering Manager
Barb Cox, PE, Engineering Manager
Tina Wawzkiewicz, PE, Civil Engineer II

City of Dublin Department of Development--Planning Division

Vince A. Papsidero, FAICP, Planning Director
Claudia D. Husak, AICP, Senior Planner



City of Dublin Legal Counsel

Jennifer D. Readler, Law Director
Thaddeus M. Boggs, Senior Associate



City of Dublin Broadband & Telecom Legal Consultant

Gregory J. Dunn, Partner
Lindsay M. Miller, Associate



City of Dublin Planning Consultant

Daniel Phillabaum, AICP, RLA



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DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND
WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

1. BACKGROUND AND PURPOSE



1. BACKGROUND AND PURPOSE

1.1 Background

Ohio House Bill 478 ("HB 478") modifies a previously adopted law regarding wireless service and the placement of small cell facilities in city rights-of-way. It was passed on April 11, 2018, signed by the governor on May 2, 2018 and is effective as of August 1, 2018. The law is intended to promote the rapid deployment of small cell facility infrastructure within the right-of-way by ensuring that municipalities grant or deny consent to install, operate, modify, or replace wireless facilities in a timely manner. The law recognizes the authority of a municipality to manage access to, and occupancy of, rights-of-ways to the extent necessary with regard to matters of local concern. This includes the protection of the integrity of historic areas and ensures that the use of the rights-of-way in such districts is technologically and aesthetically appropriate.

Chapter 99 of the City of Dublin Codified Ordinances has been modified to account for the provisions of HB 478 for the regulation of small cell facilities and wireless support structures within city rights-of-way.

1.2 Purpose

In addition to the requirements of Chapter 99, these Design Guidelines for Small Cell Facilities and Wireless Support Structures ("Design Guidelines") provide guidance to wireless communications carriers on the aesthetic requirements and specifications that all small cell facilities and wireless support structures must meet prior to installation in the City of Dublin right-of-way. Although small cell facilities installed outside the right-of-way are not bound by these guidelines, they Design Guidelines may inform such installations.

The objective of the Design Guidelines is to strike a balance between preserving the character of the City of Dublin through careful design, siting, landscaping and camouflaging techniques to blend these facilities into their environment, while enhancing the ability of wireless communications carriers to deploy small cell facilities and wireless support structures in the city quickly, effectively, and efficiently so that residents, businesses, and visitors benefit from ubiquitous and robust wireless service availability.

The Design Guidelines are intended to allow sufficient flexibility to respond to and integrate future advances in small cell facilities technology as well as innovations that improve the ability for these facilities to integrate into the surrounding environment. Due to the rapid advances in wireless technology, the Design Guidelines will be evaluated periodically to ensure that the provisions respond and adapt accordingly to these evolving technologies.

These guidelines apply to requests to locate small cell facilities and wireless support structures in the right-of-way and are administered by the City of Dublin Right-of-Way Permit Group within the Department of Public Works/Engineering with support from Planning within the Department of Development. The group can be contacted at 614-410-4740.

2. TYPES OF APPLICATION REQUESTS



2. TYPES OF APPLICATION REQUESTS

Requests to locate small cell facilities and wireless support structures within the right-of-way generally involve either the collocation of small cell facilities in association with existing wireless support structures, or the installation of a new wireless support structure and associated small cell facilities. In addition to these main categories, applications are required for the removal of small cell facilities and wireless support structures as well as eligible facilities requests for modification of an existing tower or base station within the right-of-way.

2.1 Collocation on Existing Wireless Support Structure and Associated Small Cell Facilities (Type 1 Request)

A request for collocation on an existing wireless support structure (Type 1 Request) involves installing or 'collocating' small cell facilities on an existing structure, such as a light pole, or utility pole. Type 1 Requests are administered through the Small Cell Right-of-Way Permit review process following approval of a General Right-of-Way Permit. The General Right-of-Way Permit must be renewed every 5 years.

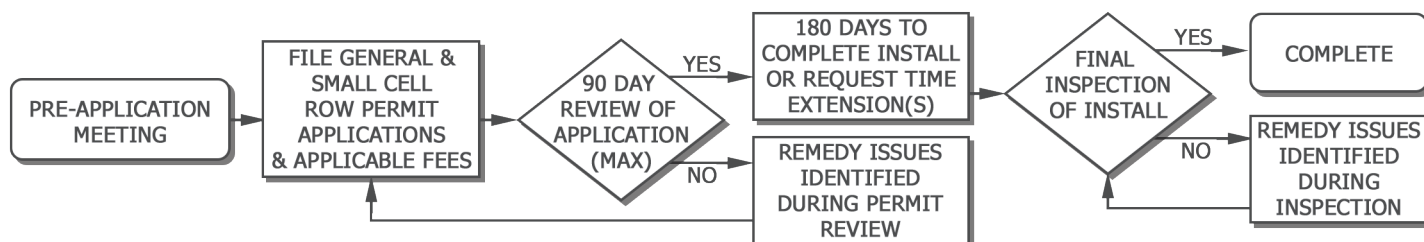


Figure 2A--Type 1 Application Request Process

2.2 New Wireless Support Structure and Associated Small Cell Facilities (Type 2 Request)

A request for a new wireless support structure and small cell facility (Type 2 Request) involves an operator installing a wireless support structure and associated small cell facility or facilities. Type 2 Requests are administered through the Small Cell Right-of-Way Permit review process following approval of a General Right-of-Way Permit. The General Right-of-Way Permit must be renewed every 5 years..

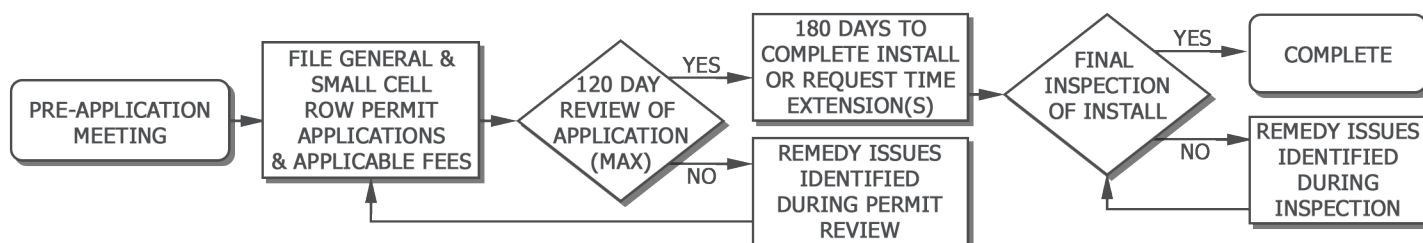


Figure 2B--Type 2 Application Request Process

2.3 Removal of Wireless Support Structure and/or Associated Small Cell Facilities (Type 3 Request)

Requests to permanently remove privately owned wireless support structures from the right-of-way are administered through the Small Cell Right of Way Permit review process.

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

2. TYPES OF APPLICATION REQUESTS

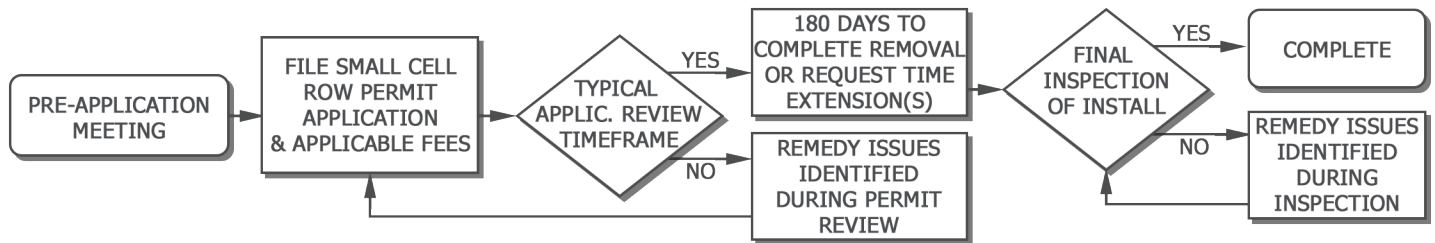


Figure 2C--Type 3 Application Request Process

2.4 Eligible Facilities Request (Type 4 Request)

An eligible facilities request (Type 4 Request) is a request to modify an existing tower or base station within the right-of-way constructed for the sole or primary purpose of supporting antennas and other associated facilities for wireless communications services, such that the modification does not substantially change the physical dimensions of such tower or base station when collocating new equipment, removing transmission equipment, or replacing transmission equipment.

Under federal law, a substantial modification to a tower or base station within the right-of-way is defined, in part, as follows:

- (1) It increases the height of the structure by more than 10% or more than ten feet, whichever is greater;
 - (a) Changes in height should be measured from the original support structure in cases where deployments are or will be separated horizontally, such as on buildings' rooftops; in other circumstances, changes in height should be measured from the dimensions of the wireless support structure, inclusive of originally approved appurtenances and any modifications that were approved prior to the passage of the Spectrum Act.
- (2) It involves adding an appurtenance to the body of the wireless support structure that would protrude from the edge of the structure by more than six feet;
- (3) It involves installation of more than the standard number of new equipment cabinets for the technology involved, but not to exceed four cabinets; or, for wireless support structures in the public rights-of-way, it involves installation of any new equipment cabinets on the ground if there are no pre-existing ground cabinets associated with the structure, or else involves installation of ground cabinets that are more than 10% larger in height or overall volume than any other ground cabinets associated with the structure; and/or
- (4) It entails any excavation or deployment outside the current site.

Type 4 Requests are administered through the Small Cell Right-of-Way Permit review process. If during the staff review, it is determined that substantial modifications are proposed, the applicant will be informed that a Type 1 Application Request will be required.

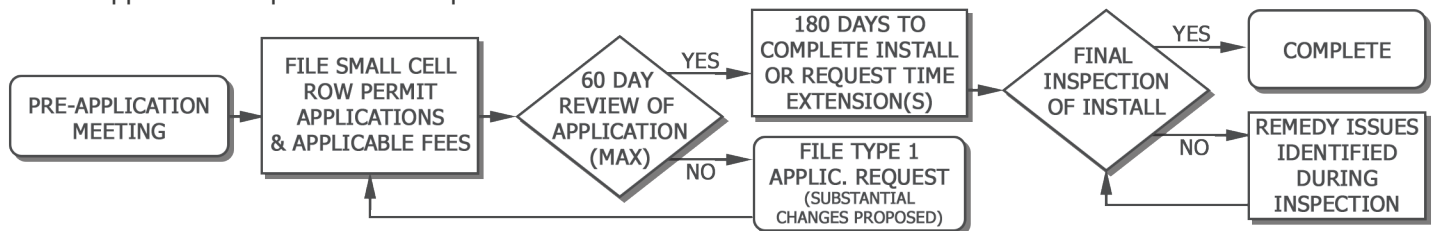


Figure 2D--Eligible Facilities Request Process



EVERYTHING GROWS HERE.

3. REQUIRED APPLICATION MATERIALS

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

3. REQUIRED APPLICATION MATERIALS

Unless otherwise required by state or federal law, or unless mutually agreed upon as part of the Pre-Application Meeting, all applicants shall submit to the city the following materials and information associated with each application type in order for the application to be considered complete:

3.1 Required Application Materials for Installation of Small Cell Facilities and/or Wireless Support Structures.

3.1.1 Completed Permit Application Form(s) and Fee(s) as applicable

The permit application forms are available through the Department of Public Works, with all associated application fees noted on the application forms.

3.1.2 Site Plan

At a scale not smaller than one inch equals twenty feet with dimensions, clearly indicating the following:

- Proposed location within the right-of-way including nearest cross street intersection(s);
- For parcels within 150 feet of the proposed small cell facility location, parcel identification number and property ownership as currently listed by Franklin, Delaware and Union County auditors, as applicable;
- All existing conditions within 150 feet of the proposed location, including but not limited to, buildings, utilities within the right-of-way and associated above grade structures, location of electric service and fiber optic cable, all other underground and overhead utilities, wireless support structures (both with and without small cell facilities attached), ground-mounted small cell facilities, sidewalks/shared-use paths, back of adjacent curb/edge of pavement, driveways, street trees, and protected trees as defined in §153.141 of the City of Dublin Code of Ordinances;
- Dimensions shall be provided from the proposed wireless support structure and/or small cell facility to existing wireless support structures and equipment, utility structures, back of curb/edges of pavement including driveways, sidewalks and shared-use paths;
- Dimensions shall be provided between proposed wireless support structures and any associated ground-mounted equipment.

3.1.3 Inventory of Existing Small Cell Facilities and Wireless Support Structures

Provide an inventory of any existing and approved wireless support structures with collocated small cell facilities that are either within the jurisdiction or within one-half mile of the border of the city, with latitudinal and longitudinal location coordinates.

The city may share this information with other applicants seeking to locate small cell facilities and/or wireless support structures within the City of Dublin. However, the city is not, by sharing this information, in any way representing or warranting that the sites are available or suitable. The inventory of each small cell facility and wireless support structure shall include:

- A map showing each location, by address and/or parcel identification number, including straight-line distances between each facility;
- Facility height and design; and
- Facility owner(s)/operator(s)

3.1.4 Wireless Support Structure Details

Plans, elevations, profiles and sections at a scale not smaller than one inch equals five feet, depicting existing





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3. REQUIRED APPLICATION MATERIALS

wireless support structures for collocation requests and proposed new wireless support structures, as applicable and clearly indicating the following:

- Height from established grade at the base of the wireless support structure to the highest point of the wireless support structure and the height to the highest point of proposed antenna or antenna enclosures, as applicable (overall height).
- Height from established grade at the base of the wireless support structure to the lowest point of all proposed small cell equipment to be installed on the wireless support structure.
- Outside diameter of upper poles, and for tapered poles the outside diameter as measured at the widest and narrowest points of the pole.

3.1.5 Small Cell Facilities Details

Plans, elevations, profiles and sections at a scale not smaller than one inch equals five feet, depicting existing small cell facilities and/or proposed small cell facilities clearly indicating the following, as applicable:

- Height, width, depth and volume in cubic feet of all proposed antenna and exposed elements and/or proposed antenna shrouds.
- Height, width, depth and volume of all other wireless equipment associated with the facility, with all electric meters, concealment elements, telecommunications demarcation boxes, grounding equipment, power transfer switches, cut-off switches, and vertical cable runs for the connection of power and other services clearly labeled.
- The distance from the outer edge of small cell facility cabinet parallel to the outer edge of the wireless support structure for small cell facilities to be installed on a wireless support structure.
- Method of installation/connection to pole or ground, as applicable.
- Color specifications for all small cell facilities and wireless support structures and associated exposed equipment, cabinets and concealment elements.
- Electrical plans and wiring diagrams
- Footing and foundation drawings and structural analysis sealed and signed by a professional engineer in the state of Ohio.

3.1.6 Manufacturer's Specification Sheets.

- Provide the most recent specification sheets from manufacturers for all small cell facility equipment and wireless support structures proposed, including but not limited to poles, equipment cabinets, shrouds, or concealment devices, antennas, meters, radios, switches, telecommunications demarcation boxes, and grounding equipment.

3.1.7 Landscape Plans.

- Where ground-mounted small cell equipment cabinets are proposed, provide landscape plans at a scale not smaller than one inch equals ten feet, including planting details and a plant schedule indicating proposed plant species, quantities, spacing, and height/size at installation.

3.2 Required Application Materials for Wireless Support Structure and/or Small Cell Facilities Removal.

For applications involving the removal of small cell facilities and/or wireless support structures, the following materials and information shall be provided:

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

3. REQUIRED APPLICATION MATERIALS

3.2.1 Small Cell Right-of-Way Permit application and fee as specified

The permit application forms are available through the Department of Public Works, with all associated application fees noted on the application forms.

3.2.2 Site Plan

At a scale not smaller than one inch equals twenty feet with dimensions, clearly indicating the following:

- Existing small cell facilities and/or wireless support structure locations within the right-of-way including nearest cross street intersection(s);
- For adjacent parcel(s) perpendicular to the proposed small cell facility/wireless support structure location, property ownership, including current ownership;
- All existing conditions within 50 feet of the existing small cell facilities locations to be removed, including but not limited to, buildings, utilities within the right-of-way and associated above grade structures, location of electric service and fiber optic cable, all other underground and overhead utilities, small cell structures and facilities, sidewalks/shared-use paths, back of adjacent curb/edge of pavement, driveways, street trees and plant material.

3.2.3 Remediation Plans

Site and/or structure remediation details at a scale not smaller than one inch equals five feet in accordance with the requirements of Section 4.4, and clearly indicating the following:

- Proposed remediation plan for modifications made to city-owned wireless support structures and other areas of the right-of-way associated with collocation of small cell wireless facilities and ground-mounted equipment after the removal of these facilities.
- Proposed restoration of electric and fiber optic connections after removal of small cell facilities, as applicable.



4. GENERAL DESIGN GUIDELINES

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4.1 Collocations on Existing Wireless Support Structures (Type 1 Requests)

4.1.1 Collocations Encouraged

- Except as otherwise provided in the Context Specific Guidelines herein, the collocation of wireless facilities on existing support structures (that are engineered to accommodate such facilities) is strongly encouraged.

4.1.2 Maximum Permitted Height

- Antennas, small cell facilities and any associated concealment materials shall not increase the overall height of the existing wireless support structure by more than five (5) feet.

4.1.3 Use of Existing Privately Owned Utility Poles

There are a number of existing private utility poles located within the right-of-way throughout the city. These support structures are not owned by the City of Dublin, but may be eligible for collocations of small cell facilities pending permission of the legal owner of the structures.

- Documentation Required
 - Documentation of owner's permission to collocate small cell facilities must be included with the Type 1 Request in the form of a letter or other correspondence/documentation.
- Antenna Mounting Requirements
 - Where possible, antenna shall be installed consistent with the requirements of 4.3.1. Where existing conditions preclude this mounting location, antennas shall be fully enclosed within a shroud attached as near as possible to the top of the wooden pole and on the side of the pole opposite the direction of vehicular traffic along the same side of the right-of-way.
- Wiring, Cables and Conduit Requirements
 - All wiring and cables shall be firmly secured to the support structure and enclosed within a separate rigid external conduit attached directly to the pole or offset not more than four (4) inches by mounting brackets. Conduit color shall be gray to match the required small cell facilities and enclosure color.
 - Spools and/or coils of excess fiber optic or cables or any other wires shall not be stored on the pole except completely within the approved enclosures or cabinets.
- Color
 - All small cell facilities, cabinets, shrouds, conduit, and mounting hardware proposed in conjunction with installation on an existing wooden pole shall be gray Federal Standard #26492 powder coated finish or as otherwise approved by the City Engineer.

4.1.4 Structural Capacity of Existing Support Structures

- The city will not authorize any attachments to city-owned infrastructure that negatively impacts the structural integrity of the associated infrastructure.
- The city may condition approval of the collocation on replacement or modification of the wireless support structure at the operator's cost if the city determines that replacement or modification is necessary for com-



pliance with city standards.

- A replacement or modification of the wireless support structure shall conform to all applicable design guidelines and city specifications for the type of structure being replaced.
- The city may retain ownership of a replacement wireless support structure.

4.1.5 Right to Reserve Space

- The city may reserve space for future public safety or transportation uses in the right-of-way or on a wireless support structure in a documented and approved plan in place at the time an application is filed.
 - A reservation of space shall not preclude placement of a pole or collocation of a small cell facility.
 - If replacement of the wireless support structure is necessary to accommodate the collocation of the small cell facility and the future use, the operator shall pay for and install the replacement of the wireless support structure, which must accommodate the future use.

4.2 New Wireless Support Structures and Small Cell Facilities (Type 2 Requests)

4.2.1 Maximum Permitted Height

- The maximum permitted height for private wireless support structures, antennas and associated small cell facilities shall not exceed forty (40) feet in height above established grade as measured at the base of the wireless support structure, except as provided below.
- The maximum permitted height for private wireless support structures, antennas and associated small cell facilities shall not exceed thirty-five (35) feet in height in areas meeting the following criteria:
 - The area is within 300 feet of the proposed site for a new wireless support structure in the same or connecting rights-of way, and there are no existing wireless support structures or utility poles greater than 30 feet in height above ground level;
 - The maximum permitted height for building construction in the underlying zoning district is thirty-five (35) feet in height above ground level or less.

4.2.2 Minimum Spacing Requirements

- Minimum spacing between proposed and existing privately owned wireless support structures
 - The minimum horizontal distance between a new wireless support structure and associated small cell facilities and any other existing, or permitted but unconstructed, wireless support structures and small cell facilities on the same side of the right-of-way at the time a complete application is filed with the city, irrespective of the owners/operators, shall be not less than 300 linear feet, as measured parallel to the right-of-way, unless an alternate spacing requirement is provided in the Context Specific Design Guidelines.
- Spacing between proposed wireless support structures and existing publicly owned wireless support structures
 - New wireless support structures shall be located midway between the immediately adjacent existing publicly-owned wireless support structures on either side of the proposed wireless support structure to the maximum extent possible.
- Multiple requests in violation of spacing requirements
 - If multiple requests are received to install two or more wireless support structures that would violate the

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applicable spacing requirements, or to collocate two or more small cell facilities on the same wireless support structure, notwithstanding division (I) of section 4939.0313 of the Revised Code, the city may resolve conflicting requests through whatever reasonable and nondiscriminatory manner it deems appropriate.

- City proposed alternative location for wireless support structures.
The city may propose an alternate location to any proposed location of a new wireless support structure, subject to the following:
 - The alternate location is within one hundred (100) feet of the proposed location; or
 - The alternate location is within a distance that is equivalent to the width of the right-of-way in which the new wireless support structure is proposed, whichever is greater; and
 - The operator shall use the alternate location if it has the right to do so on reasonable terms and conditions and the alternate location does not impose technical limits or additional costs.
- Waiver to city directed alternate wireless support structure location or undergrounding requirements
Small cell operators may seek a waiver of the undergrounding or alternative location requirements for the placement of a new wireless support structure if the operator is unable to achieve its service objective using a small cell facility under the following circumstances:
 - From a location in the right-of-way where the prohibition does not apply;
 - In a utility easement within the right-of-way the operator has the right to access; or
 - In or on other suitable locations or structures made available by the city at reasonable rates, fees, and terms.

4.2.3 Required Setbacks

- Preferred Alignment
 - The centerline of new support structures shall be installed in alignment with existing poles where present, or with street trees along the same side of the right-of-way, unless otherwise required in the Context Specific Design Guidelines.
- Minimum Distance from Travelway
 - Equipment shall be placed so as not to impede or impair public safety or the legal use of the right-of-way by the traveling public, and in no case shall any portion of new support structure be located less than two feet from the travel way, edge line, face of curb, sidewalk, bike lane, or shared-use path.
- Minimum Distance from Existing Objects in the Right-of-Way
 - New wireless support structures shall be located a minimum of twelve (12) feet from any permanent object or existing lawful encroachment in the right-of-way to allow for access.
- Minimum Distance from Intersections and Driveway Aprons
 - Wireless support structures shall be located a minimum of twelve (12) feet from driveway aprons.
 - Wireless support structures shall be located outside of intersection sight distance triangles, whenever possible. Please refer to Intersection Sight Distance Policy:

<http://dublinohiousa.gov/engineering/engineering-permits-drawings-and-policies>

- Minimum Distance from Street Trees and Protected Trees in the Vicinity.
 - Wireless support structures shall be sited outside of the critical root zone of existing street trees and any ex-





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isting protected trees having a six (6) inch or greater diameter at breast height (DBH) located in the immediate vicinity, including protected trees on private property as defined in the City of Dublin Tree Preservation Code:

<http://forestry.ohiodnr.gov/portals/forestry/pdfs/urban/dublinpreserv.pdf>

- Encroachments Prohibited
 - No portion of a wireless support structure or small cell facility cabinet or enclosure may encroach at grade or within the airspace beyond the right-of-way or over the travelway.

4.2.4 Wireless Support Structure Design Specifications

- Pole Specifications
 - All new wireless support structures shall be constructed of solid hot-dipped galvanized steel, be round in shape with a smooth pole shaft.
 - Wireless support structures incorporating pole mounted small cell facilities shall be tapered in diameter from the base to the top, with a maximum diameter of 12 inches at the base and a maximum diameter of 8 inches at the top.
 - Wireless support structures incorporating small cell facilities in an equipment cabinet within a transformer base may utilize poles tapered in diameter or poles having a consistent outside diameter.
 - All poles shall be scaled to 0.5 to 0.75 times the maximum width of the cabinet, with a ten (10) inch minimum outer pole diameter at the widest portion of tapered poles.
- Transformer Base
 - All new wireless support structures shall include a one-piece cast aluminum alloy transformer base in a breakaway design, consistent with specifications of City of Dublin Standard Drawing SL-02 or as designed by a professional engineer licensed and registered in the State of Ohio, and subject to the City Engineer's review and approval.
- Foundation
 - All new wireless support structures must be supported with a reinforced concrete foundation designed, stamped, sealed and signed by a professional engineer licensed and registered in the State of Ohio, and subject to the City Engineer's review and approval.
 - Anchor bolts must be constructed from high strength steel per City of Dublin Standard Drawing SL-04 and in a length and diameter determined, stamped, sealed and signed by a professional engineer licensed and registered in the State of Ohio, and subject to the City Engineer's review and approval.
 - All anchor bolts must be concealed from public view, with an appropriate pole boot or cover powder coated to match the pole color.
- Color
 - To ensure consistency among right-of-way infrastructure, color for all wireless support structures and bases shall be as prescribed in the Context Specific Design Guidelines, or as otherwise approved by the City Engineer.

4.3 Small Cell Facilities (All Request Types)

4.3.1 Antennas

- Maximum Size

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- Each antenna shall be located entirely within a shroud enclosure of not more than six (6) cubic feet in volume.
- The diameter of the antenna or antenna enclosure should not exceed the diameter of the top of the wireless support structure pole, and to the maximum extent practical, should appear as a seamless vertical extension of the pole.
- In no case shall the maximum diameter of the shroud be wider than one and one half times the diameter of the top of the pole.
- Where maximum shroud diameter exceeds diameter of the top of the pole, the shroud shall be tapered to meet the top of the pole.
- Mounting Location
 - Unless otherwise required by the Context Specific Design Guidelines, all antenna shall be mounted to the top of the wireless support structure pole, aligned with the centerline of the structure.
- Design Specifications
 - Shape. Antennas shall be generally cylindrical in shape.
 - Enclosure. Antenna shall be completely housed within a cylindrical shroud that is capable of accepting paint to match the wireless support structure.
 - Color. To ensure consistency among right-of-way infrastructure, color for all antennas and shrouds shall match the color of the wireless support structure as prescribed in the Context Specific Design Guidelines, or as otherwise approved by the City Engineer.

4.3.2 Associated Small Cell Facilities and Equipment

- Maximum Size
 - Exclusive of the antenna, all wireless equipment associated with the small cell facility shall not cumulatively exceed twenty-eight (28) cubic feet in volume. The calculation of equipment volume shall not include electric meters, concealment elements, telecommunications demarcation boxes, grounding equipment, power transfer switches, cut-off switches, and vertical cable runs for the connection of power and other services.
- Encroachments Prohibited
 - No portion of a wireless support structure or small cell facility cabinet or enclosure may encroach at grade or within the airspace beyond the right-of-way or over the travelway.
- Screening and Installation Location. All small cell facilities, associated equipment and cabling shall be completely concealed from view within an enclosure, and may be installed in the following locations:
 - Within an equipment enclosure mounted to the wireless support structure;
 - Within an equipment cabinet integrated within the transformer base of a new wireless support structure; or
 - Within a ground-mounted cabinet physically independent from the wireless support structure.
- Color
 - To ensure consistency among right-of-way infrastructure, color for all small cell facilities and enclosures/ cabinets attached to wireless support structures, integrated within the transformer base, or ground-mounted cabinets shall match the color of the associated wireless support structure as prescribed in the Context Specific Design Guidelines, or as otherwise approved by the City Engineer.

4.3.3 Small Cell Facilities Mounted to Wireless Support Structures





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- Minimum Mounting Height
 - All small cell facilities mounted to wireless support structures shall provide a minimum clearance of 10 feet above established grade.
- Maximum Permitted Protrusion of Enclosure from Wireless Support Structure Pole
 - Small cell equipment enclosures shall not protrude more than eighteen (18) inches beyond the face of the pole to the outermost portion of the enclosure.
 - Small cell equipment enclosures should be installed as flush to the wireless support structure pole as practical. In no case shall an enclosure be installed more than four inches from the wireless support structure/pole.
- Required Enclosure Mounting Location
 - All small cell facilities and equipment enclosures shall be mounted on the side of the pole opposite the direction of vehicular traffic of the adjacent roadway. Enclosures shall extend perpendicular from the pole and parallel to the right-of-way.
- Required Arrangement of Multiple Small Cell Facility Cabinets
 - All pole-mounted equipment must be installed as flush to the pole as possible. Where multiple enclosures are proposed on a wireless support structure pole, the enclosures shall be grouped as closely together as possible on the same side of the pole.
- Design Specifications
 - Size. Small cell equipment enclosures should be the smallest size practicable to house the necessary small cell facilities and equipment.
 - Small cell equipment enclosures shall be cylindrical or rectangular in shape, and should generally be no wider than the maximum outside diameter of the pole to which it is attached, to the maximum extent possible.
 - Attachment. The shroud enclosure shall be securely strapped to the wireless support structure pole using stainless steel banding straps. Through-bolting or use of lag bolts on publicly owned wireless support structures is prohibited. New wireless support structures may utilize mounting brackets in accordance with the maximum horizontal offset requirements. Care should be taken to integrate the mounting hardware into the enclosure design.
 - Concealment of Gap. Metal flaps or "wings" shall extend from the enclosure to the pole to conceal any gap between the enclosures and the pole. The design of the flaps shall be integrated with the design of the enclosure.
 - Owner Identification. A four (4) inch by six (6) inch (maximum) plate with the carrier's name, location, identifying information, and emergency telephone number shall be permanently fixed to the enclosure on the side of the cabinet opposite the direction of vehicular traffic of the adjacent roadway.

4.3.4 Small Cell Facilities Cabinets Integrated within a Wireless Support Structure Transformer Base

- Transformer Base/Cabinet Size
 - Equipment cabinets integrated into the support structure transformer base shall have a maximum width or diameter of twenty-four (24) inches, and a maximum height of five (5) feet.
 - The top of the cabinet shall have no flat horizontal area greater than two (2) inches as measured outward from the pole to the edge of the cabinet to prevent objects from being placed on top the equipment cabinet.
- Siting Requirements
 - Small cell facilities cabinets within transformer bases and associated wireless support structures are prohibit-

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ed to be located within sight visibility triangles. Please refer to Intersection Sight Distance Policy:

<http://dublinohiousa.gov/engineering/engineering-permits-drawings-and-policies>

- Design Specifications
 - Shape. Transformer Base/Cabinet shape shall either be tapered with a trapezoidal or truncated cone section or cylindrical in shape.
 - Transition to Pole. A decorative transition or base cover shall be installed over the equipment cabinet upper bolts to match the equipment cabinet size and color.
 - Owner Identification. A four (4) inch by six (6) inch (maximum) plate with the carrier's name, location, identifying information, and emergency telephone number shall be permanently fixed to the cabinet on the side of the cabinet opposite the direction of vehicular traffic of the adjacent roadway.
 - Attachment to Foundation. Transformer base/cabinet shall feature a breakaway design in the event of collisions.

4.3.5 Ground-Mounted Small Cell Facilities

- Siting Requirements
 - So as not to impede or impair public safety or the legal use of the right-of-way by the traveling public, in no case shall a ground-mounted small cell facility cabinet be located closer than two feet from the travel way, edge line, face of curb, sidewalk, bike lane, or shared-use path as measured to the nearest part of the wireless support structure.
 - Ground-mounted small cell facility cabinets shall be located a minimum of twelve (12) feet from any permanent object or existing lawful encroachment in the right-of-way to allow for access.
 - Ground-mounted small cell facility cabinets shall not be sited in conflict with required intersection sight distance triangles. Please refer to Intersection Sight Distance Policy:

<http://dublinohiousa.gov/engineering/engineering-permits-drawings-and-policies>

- Ground-mounted small cell facility cabinet locations shall be located a minimum of twelve (12) feet from driveway aprons as measured parallel to the right-of-way.
- Design Specifications
 - Attachment to Foundation/Slab: Cabinets must be secured to a concrete foundation or slab with a break-away design in the event of collisions.
 - Owner Identification. A four (4) inch by six (6) inch (maximum) plate with the Carrier's name, location, identifying information, and emergency telephone number shall be permanently fixed to the cabinet.
- Additional Landscape Screening
 - Screening of small cell facility cabinets with evergreen plant material is required, consistent with the landscape character of the surrounding area.
 - All landscaping proposed within the right-of-way shall be reviewed for appropriateness of the proposed planting plan and plant specifications by the City of Dublin Landscape Architect, Department of Parks and Recreation.

4.3.6 Power Supply and Fiber Optic Connections (All Request Types)

- Independent Power and Communication Sources Required
 - Small cell facilities located on city-owned wireless support structures may not use the same power or communication source providing power and/or communication for the existing facility original to the purposes of the support structure. The independent power source must be contained within a separate conduit inside





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the support structure. The applicant shall coordinate, establish, maintain and pay for all power and communication connections with private utilities.

- Utility Undergrounding Required
 - Where an Underground Utility District is present, all service lines from the power source to the small cell facilities and wireless support structure shall be located underground.
- Wiring, Cables and Conduit Requirements
 - All wiring and cables must be housed within the steel support structure or pole and extended vertically within a flexible conduit.
 - Spools and/or coils of excess fiber optic or coaxial cables or any other wires shall not be stored on the pole except completely within the approved enclosures or cabinets.
 - Exposed wires, cables, connections and external conduit are prohibited, except as specified in the Context Specific Design Guidelines based on the characteristics of the wireless support structure.
 - Underground conduit shall meet the specifications of City of Dublin Standard Drawing SL-05.

4.3.7 Other Small Cell Facilities Prohibitions

- Lighting
 - Lighting associated with small cell facilities is prohibited. Any internal lights associated with electronic equipment shall be shielded from public view.
- Signage
 - Signage is prohibited on all small cell facilities and wireless support structures, including stickers, logos, text, and other non-essential graphics and information other than the owner identification unless required by FCC.
- Prohibited Wireless Facilities
 - Microwave, macro towers, and other wireless backhaul facilities are not permitted within the right-of-way.

4.4 Removal of Small Cell Facilities and Wireless Support Structures (Type 3 Requests)

4.4.1 Remediation of City-Owned Support Structures

- All City-owned support structures must be returned to an equal or better state, upon removal of small cell facilities. All mounting hardware and equipment must be removed from the site. All holes left in the pole must be neatly sealed from any moisture intrusion and painted to match the pole.

4.4.2 Remediation of Sites

- Applicant shall restore all areas of the right-of-way impacted by the small cell facilities and/or wireless support structure installation and/or removal to equal or better condition.

5. CONTEXT SPECIFIC DESIGN GUIDELINES



5. CONTEXT SPECIFIC DESIGN GUIDELINES

The design and character of the right-of-way in the City of Dublin is defined by a variety of interconnected factors—the most prevalent are the functional classification of the roadway within the right-of-way and the predominant land uses along the right-of-way. These variables influence the amount of space available in the right-of-way outside of the travel lanes for elements such as sidewalks and shared-use paths, street trees, street lights and utility infrastructure, as well as the aesthetic qualities of these elements.

The unique environmental aesthetics of each area, as well as the characteristics of the right-of-way itself must be taken into consideration in the deployment of small cell facilities and wireless support structures. These facilities must blend seamlessly into the surrounding context to the maximum extent possible.

For the purposes of outlining context specific small cell facilities and wireless support structures design guidelines, five districts have been defined based on the unique existing and desired character of the rights-of-way within these areas. These districts are:

- Historic Dublin
- The Bridge Street District
- Residential Districts
- The West Innovation District
- Other Business Neighborhoods and Commercial Districts

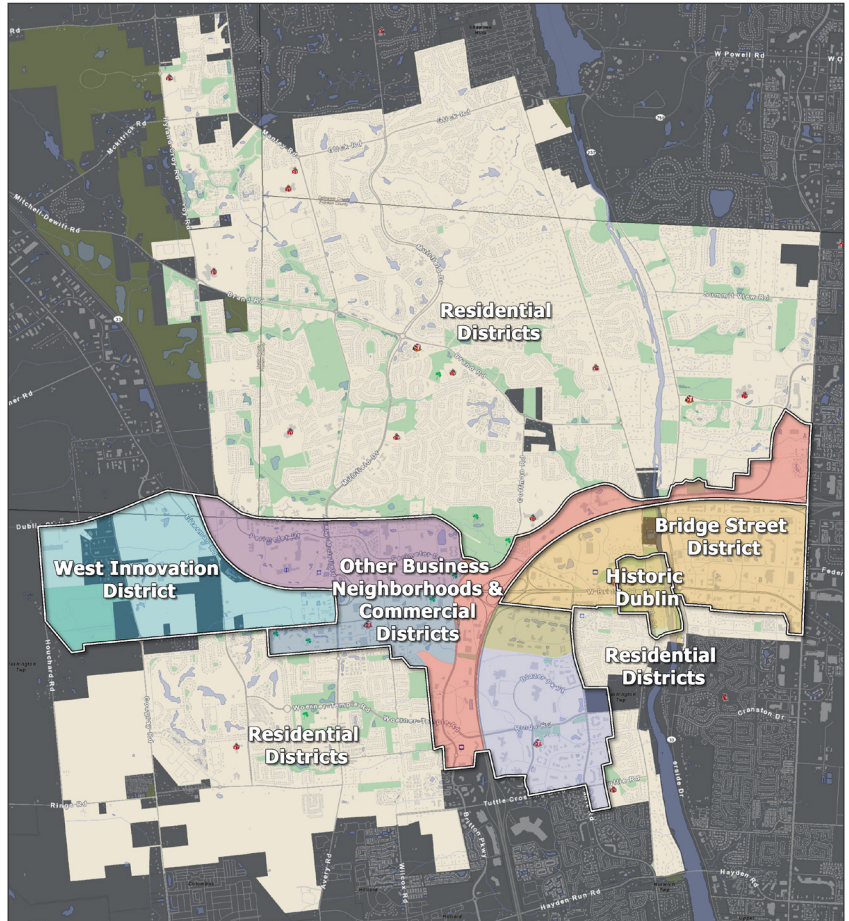
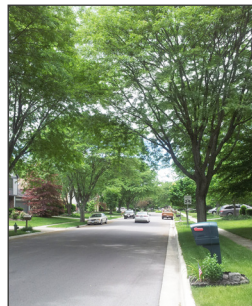


Figure 5A--Context Specific Design Guidelines Districts



The boundaries of each district are depicted in Figure 5A—Context Specific Design Guidelines Districts. In addition to the General Design Guidelines described in Chapter 4, the following Context Specific Guidelines must be met. Where conflicts exist, the Context Specific Guideline shall prevail over the General Design Guideline.

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

5.1 Historic Dublin

5.1.1 Thoroughfare Preferences for Installation of Small Cell Facilities and Wireless Support Structures

- Side Streets, Lanes and Alleys - Preferred
 - Historic Dublin is characterized by a pattern of small blocks accessed by a number of narrow streets and lanes that function as service streets or alleys at the rear of the lots and where a variety of existing above grade infrastructure is present.
 - Preferred rights-of-way for siting of small cell facilities and wireless support structures include Blacksmith Lane, Mill Lane, Darby Street, Wing Hill, Spring Hill, Eberly Hill, Pinneyhill Lane, and John Wright Lane, except for segments of these streets which extend to the east of South and North Blacksmith Lane. The preferred streets are highlighted in yellow in Figure 5.1A.
- Bridge Street, High Street, Riverview Street and Franklin Street Corridors – Discouraged
 - These corridors are highlighted in orange in Figure 5.1A, and are character defining elements of Historic Dublin. These streets are the 'front doors' to businesses and residences and possess a strong pedestrian environment that should be free of visual clutter along the streetscapes to the maximum extent possible.
 - Existing pedestrian-scale decorative street lights and poles fixtures cannot accommodate new installations and are not suitable for replacement.
- Bridge Street and High Street Intersection - Strongly Discouraged
 - The intersection of Bridge Street and High Street is the historic core of the City of Dublin. As such, the aesthetic character of these streets through Historic Dublin has been carefully designed and regulated to maintain the high quality image of Historic Dublin.
 - The area available within the right-of-way for infrastructure is very limited, and where street lights and other vertical infrastructure is present, it is designed at an appropriate scale and aesthetic quality fitting to this unique area.

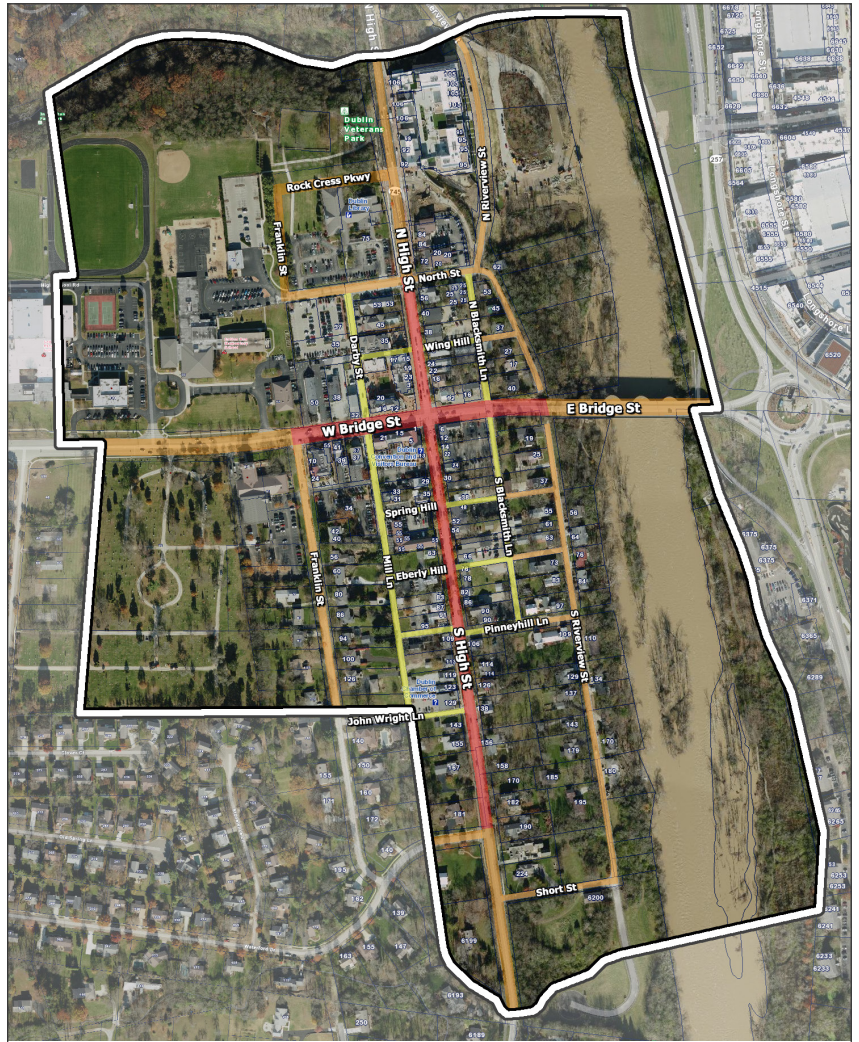


Figure 5.1A--Historic Dublin Boundary and Small Cell Facilities Siting Preferences Map

Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)



EVERYTHING GROWS HERE.

- The Bridge and High Street intersection boundary is defined as the right-of-way of these streets bound by Franklin Street to the west, North and South Riverview to the east, North Street to the North and Waterford Drive to the south, as highlighted in red in Figure 5.1A.

5.1.2 Installation Type Preferences

- Type 1 Requests Preferred
 - The most preferred installation type in Historic Dublin is a collocation of an antenna and associated small cell facilities on an existing privately owned utility pole within the service street rights-of-way listed in Section 5.1.1. An example of this type of wireless support structure and an illustration of a Type 1 collocation to this existing support structure is depicted in Figure 5.1B.
 - The second most preferred installation type in Historic Dublin is a collocation of an antenna on an existing privately owned utility pole with small cell facilities enclosed in a ground-mounted cabinet within the service street rights-of-way listed in Section 5.1.1.
 - Existing decorative light poles in Historic Dublin as depicted in Figure 5.1C are ineligible for Type 1 collocations of small cell facilities due to the design aesthetics, height and structural capacity of these fixtures. Any modifications to the existing decorative street lights and poles will be inconsistent with the design of the existing fixtures.
- Type 2 Requests Strongly Discouraged
 - The least preferred installation type in the Historic District is a new wireless support structure with small cell facilities within the highly visible 'front door' rights-of-way of Historic Dublin, including but not limited to High Street, Bridge Street, North and South Riverview Street, and Franklin Street.
 - Type 2 Requests for replacement of existing pedestrian-scaled decorative light poles, bases, or luminaires to accommodate small cell facilities will not be permitted as any replacement will be inconsistent with the design of the existing fixtures.



Figure 5.1B--Illustrative Type 1 Collocation Request on Existing Private Wooden Utility Pole (at right)



Figure 5.1C--Decorative Pedestrian-Scale Street Lights in Historic Dublin

5.1.3 Type 1 Installation Details and Specifications

- Use of Existing Decorative Pedestrian-Scale Street Lights
 - Not permitted.
- Use of Privately Owned Utility Poles

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

- Refer to General Design Guidelines Section 4.1.3

5.1.4 Type 2 Installations Details and Specifications

- Siting of New Wireless Support Structures
 - New wireless support structures should be sited in alignment with other existing poles on the same side of the right-of-way, and aligned as close as practicable with adjacent side property lines, or with shared wall locations in adjacent multi-tenant structures.
 - In no case shall a wireless support structure be sited directly in front of an adjacent building entrance or storefront.
 - Special care should be taken to avoid siting wireless support structures in conflict with business signs.
- Wireless Support Structure Height
 - New wireless support structures and antennas should be no taller than functionally necessary, and coordinate with the height of existing poles in the same right-of-way to the maximum extent practicable. In no case shall the overall height exceed the height requirements of Section 4.2.1.
- Color
 - Color for new wireless support structures, antenna shrouds, pole mounted equipment, and equipment cabinets within a transformer base shall match the color of the decorative light poles in the Historic District—black powder coated finish (Federal Standard #27038), or as otherwise approved by the City Engineer.

5.1.5 Ground-mounted Small Cell Equipment Details and Specifications

- Maximum Permitted Height of Ground-mounted Equipment Cabinets
 - The maximum permitted height for ground-mounted equipment cabinets shall not exceed three (3) feet as measured from established grade at the foundation/pad.
- Siting of Ground-mounted Small Cell Equipment Cabinets
 - Ground-mounted equipment cabinets are not permitted within the tree lawn/pedestrian furnishing zone of any right-of-way in Historic Dublin.
- Color
 - Color for all ground-mounted equipment cabinets shall be gray Federal Standard #26492 powder coated finish or as otherwise approved by the City Engineer.
- Additional Landscape Screening
 - Landscape screening of ground mounted equipment cabinets shall be as required under Section 4.3.5.



5.2 Bridge Street District (excluding Historic Dublin, please refer to Section 5.1)

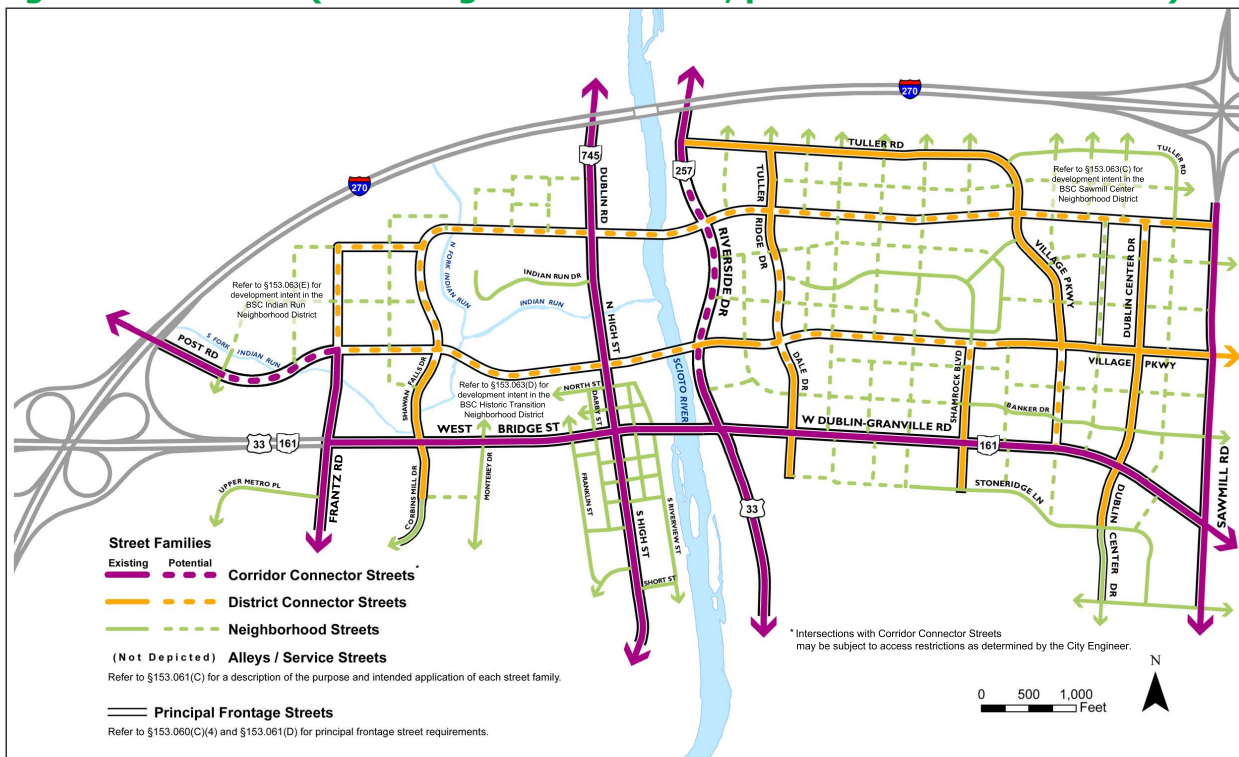


Figure 5.2A--Bridge Street District Street Network Map

5.2.1 Thoroughfare Preferences for Installation of Small Cell Facilities and Wireless Support Structures

- Corridor Connector and District Connector Streets - Preferred
 - In the mixed-use context of the Bridge Street District, Corridor Connector and District Connector rights-of-way are typically of a greater width than Neighborhood Streets, and have greater potential to accommodate small cell facilities and wireless support structures. Corridor Connector and District Connector Streets are designated in purple and orange respectively in Figure 5.2A
 - The rights-of-way of these street types generally include existing street lights and other infrastructure.

5.2.2 Installation Type Preferences - New BSD Streetscapes

- Type 2 Requests Preferred
 - The most preferred installation type in newly constructed streetscapes within the Bridge Street District are new, free-standing wireless support structures with small cell facilities enclosed in an equipment cabinet integrated within the transformer base or within a pole mounted enclosure. An illustration of a new wireless support structure with equipment integrated within the base is depicted in Figure 5.2B.
- Type 1 Requests Discouraged
 - In newly constructed BSD streetscapes where space is available at the edge of the right-of-way adjacent to open space, the incorporation of new wireless support structures and small cell facilities and/or collocations to existing wireless support structures may be possible, but shall not be permitted within parks, greenways or other designated open space types approved under §153.064 of the Bridge Street District Code. Figure

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

5.2C illustrates this type of installation.

- The least preferred installation type in the Bridge Street District are collocations on existing post top street lights, due to the design aesthetics and structural capacity of these fixtures. Any modifications to the existing decorative street lights and poles will be inconsistent with the design of the existing fixtures.
- Ground-mounted Small Cell Facilities Cabinets
 - Ground-mounted small cell facilities cabinets are strongly discouraged from placement in newly created streetscapes within the Bridge Street District. These streetscapes are highly pedestrian oriented with predominantly hardscaped rights-of-way, and no ground mounted utility enclosures within the pedestrian zone or planting/site furnishing zone of the streetscape. The addition of small cell facilities cabinets within these landscape beds will be detrimental to the desired streetscape aesthetic of the Bridge Street District and are strongly discouraged.



Figure 5.2B--Illustration of Type 2 New Wireless Support Structure Request with Small Cell Equipment within Transformer Base (at right)

5.2.3 Installation Type Preferences - Existing BSD Streetscapes

- Type 1 Requests Preferred
 - The most preferred installation type in existing/unimproved streets and streetscapes that are not associated with a new Bridge Street street type are antenna collocations on existing street light poles or privately owned utility poles and small cell facilities within cabinets attached to the pole or in ground-mounted cabinets within the right-of-way.
- Type 2 Requests Discouraged
 - Based on the fairly wide availability of collocation options to city light poles and private utility poles in the existing streetscapes of the Bridge Street District, the least preferred installation type are new wireless support structures with small cell facilities.



Figure 5.2C--Illustration of Type 1 Collocation with Ground-mounted Small Cell Equipment along Open Space within the Right-of-Way.



EVERYTHING GROWS HERE.

5.2.4 Type 1 Installation Details and Specifications

- Post Top Street Lights - New Streetscapes
 - Existing city-owned street lights with luminaires centered on the top of the pole are not engineered to support wireless facilities. Request for collocations to these street lights will not be permitted. An example of this street light is depicted in Figure 5.2D.
- Bracket Arm and Standard Street Lights - New and Existing Streetscapes
 - Refer to General Design Guidelines.
 - Color of all small cell facilities shrouds, enclosures and cabinets shall match color of existing bracket arm street light poles--powder coated black to meet Federal Standard #595-B and conform to Color #27038 or as otherwise approved by the City Engineer.
- Use of Privately Owned Utility Poles
 - Refer to General Design Guidelines Section 4.1.3.



Figure 5.2D--Decorative Post Top Street Light in the Bridge Street District

5.2.5 Type 2 Installations Details and Specifications - New and Existing Streetscapes

- Siting of New Wireless Support Structures
 - Wireless support structures should only be sited within the planting/site furnishing zone of the right-of-way, and in no case shall these elements be sited in conflict with minimum clear pedestrian realm width requirements.
 - New wireless support structures should be sited as close as practicable in alignment with adjacent side or rear property lines perpendicular to the right-of-way, or with shared wall locations in adjacent multi-tenant structures.
 - In no case shall a wireless support structure be sited directly in front of an adjacent building entrance or storefront.
 - Special care should be taken to avoid siting wireless support structures in conflict with building signs.
- Color
 - Color for new wireless support structures, antenna shrouds, pole and ground mounted equipment, and equipment cabinets within a transformer base shall be powder coated black to meet Federal Standard #595-B and conform to Color #27038 or as otherwise approved by the City Engineer.

5.2.6 Ground-mounted Small Cell Equipment Details and Specifications - New and Existing Streetscapes

- Maximum Permitted Height of Ground-mounted Equipment Cabinets
 - The maximum permitted height for ground-mounted equipment cabinets shall not exceed four (4) feet as measured from established grade at the foundation/pad.
- Siting of Ground-mounted Small Cell Equipment Cabinets
 - Ground mounted equipment cabinets may only be sited within areas of the right-of-way where required setbacks from the travelway and sidewalks and multi-use paths can be met as outlined in Section 4.3.5.
 - Ground-mounted equipment cabinets will not be supported within the planting zone/street furnishing zones of new Bridge Street District streetscapes, as described in Section 5.2.1.
 - Ground-mounted equipment cabinets may be supported within new Bridge Street District streetscapes which

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND
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5. CONTEXT SPECIFIC DESIGN GUIDELINES

provide sufficient open space within the right-of-way as described in Section 5.2.2 and illustrated in Figure 5.2C.

- Color
 - Color for all ground-mounted equipment cabinets shall gray Federal Standard #26492 powder coated finish or as otherwise approved by the City Engineer.
- Additional Landscape Screening
 - Landscape screening of ground-mounted equipment cabinets shall be as required under Section 4.3.5.



5.3 Residential Districts (as outlined in Figure 5A)

5.3.1 Thoroughfare Preferences for Installation of Small Cell Facilities and Wireless Support Structures

- Arterial and Collector Streets - Preferred
 - Arterial and Collector Streets are the preferred location for small cell facilities and wireless support structures, except in locations adjacent to residences which front onto Arterial or Collector streets. To the maximum extent possible, proposed small cell facilities and wireless support structures should only be sited in areas of these rights-of-way where residences do not face the right-of-way or are accessed from Arterial or Collector Street rights-of-way.
- Local Streets - Strongly Discouraged
 - Street lights and other potential support structures are typically not present within the rights-of-way of local residential streets. The addition of small cell facilities and wireless support structures in front of residences would be detrimental to the aesthetic character of the neighborhood, particularly in areas where no other similar infrastructure exists within the rights-of-way.

<http://dublinohiousa.gov/developer-tools/thoroughfare-plan>

5.3.2 Installation Type Preferences

- Type 1 Requests Preferred
 - The most preferred installation type in residential districts are collocations of an antenna and associated small cell facilities on existing street light poles or privately owned utility poles within the right-of-way.
 - The second most preferred installation type in residential districts is a collocation of an antenna on existing street light poles or existing privately owned utility pole with small cell facilities enclosed in a ground mounted cabinet within the right-of-way.
- Type 2 Requests Strongly Discouraged
 - The least preferred installation type in residential districts are new wireless support structures with small cell facilities.

5.3.3 Type 1 Installation Details and Specifications

- Use of Privately Owned Utility Poles
 - Refer to General Design Guidelines Section 4.1.3

5.3.4 Type 2 Installations Details and Specifications

- Siting of New Wireless Support Structures
 - New wireless support structures should be sited as close as practicable in alignment with adjacent side or rear property lines perpendicular to the right-of-way, or with shared wall locations in adjacent multi-tenant structures such as

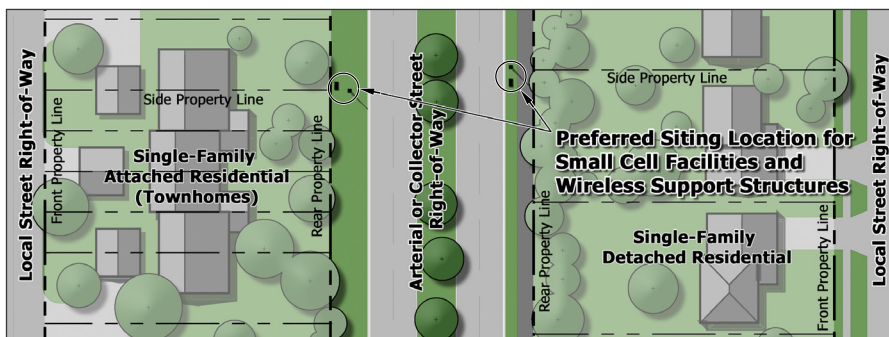


Figure 5.3A--Preferred Siting Location Diagram for Small Cell Facilities in Residential Areas

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

townhomes or condominiums.

- In no case shall a new wireless support structure be sited in conflict with neighborhood identification signs and entry features.

- Color

- Color for new wireless support structures, antenna shrouds, pole mounted equipment, and equipment cabinets within a transformer base shall match the color of the existing street light poles in the area—Federal Standard #595-C, Color 20040 powder coated finish to a gloss of 35%, or as otherwise approved by the City Engineer.

5.3.5 Ground-mounted Small Cell Equipment Details and Specifications

- Maximum Permitted Height of Ground-mounted Equipment Cabinets

- The maximum permitted height for ground-mounted equipment cabinets shall not exceed four (4) feet as measured from established grade at the foundation/pad to the top of the cabinet.

- Siting of Ground-mounted Small Cell Equipment Cabinets

- Ground-mounted equipment cabinets may only be sited within tree lawns where required setbacks from the travelway and sidewalks and multi-use paths can be met.

- Color

- Color for all ground-mounted equipment cabinets shall match the existing or proposed wireless support structures powder coated Federal Standard #595-C, Color 20040, or as otherwise approved by the City Engineer.

- Additional Landscape Screening

- Landscape screening of ground-mounted equipment cabinets shall be as required under Section 4.3.5.



5.4 West Innovation District

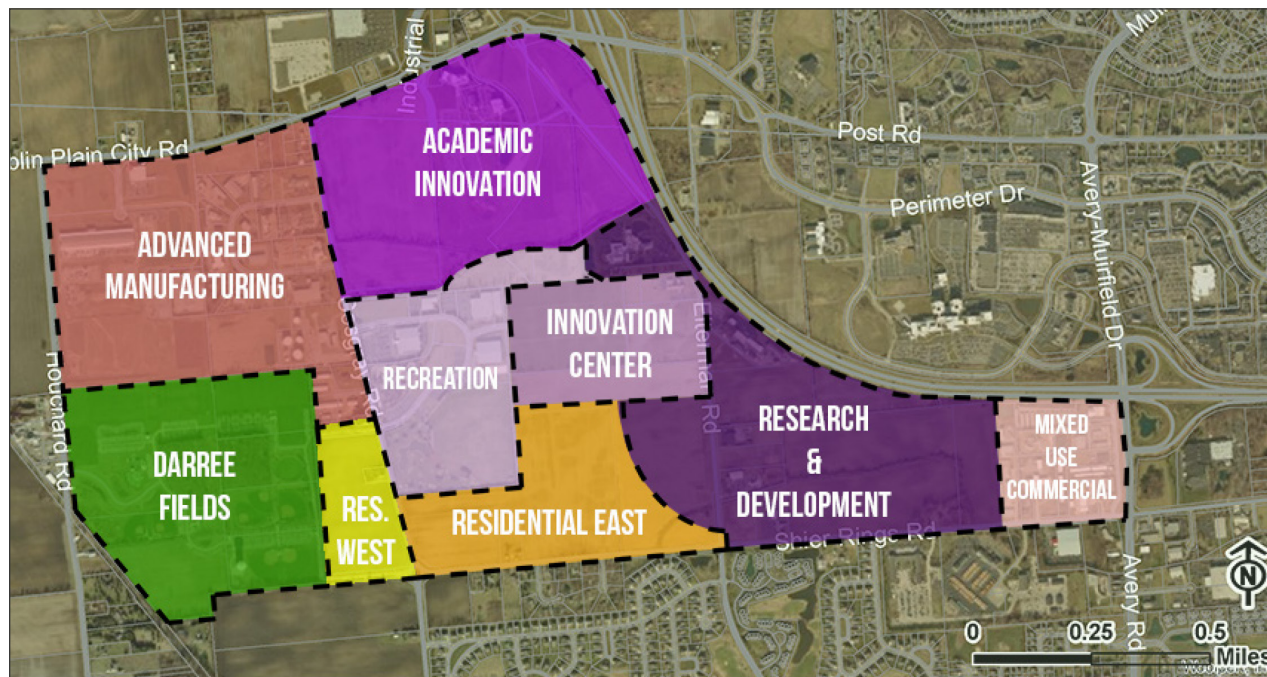


Figure 5.4A--West Innovation District Sub-District Plan

5.4.1 Thoroughfare Preferences for Installation of Small Cell Facilities and Wireless Support Structures

- Arterial and Collector Streets - Preferred
 - The West Innovation District is predominantly served directly by existing and planned Arterial and Collector Streets. These rights-of-way are the preferred location for small cell facilities and wireless support structures. While there are a limited number of Local Streets in these areas that are also supported for locations for small cell facilities and wireless support structures, Arterial and Collector Street rights-of-way widths generally afford more space in which to site these elements.

<http://dublinohiousa.gov/developer-tools/thoroughfare-plan>

5.4.2 Installation Type Preferences

- Type 2 Requests Preferred
 - The most preferred installation type in the West Innovation District are new, free-standing wireless support structures with small cell facilities enclosed either in an equipment cabinet integrated within the transformer base or within ground-mounted equipment cabinets. As the West Innovation District builds out over time and new thoroughfares are constructed, new wireless support structure locations should be planned and are preferred over retrofitted collocations on existing wireless support structures.
- Location Preference for Ground-mounted Small Cell Facility Cabinets
 - The most preferred siting locations for ground-mounted small cell facilities cabinets in the West Innovation District are the rights-of-way in the following Sub Districts based on the proposed land uses, development patterns, and naturalized streetscape planting design: Advanced Manufacturing, Recreation, Residential West

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

and East.

- The least preferred siting locations are the rights-of-way within the Academic Innovation, Innovation Center, Research & Development, and Mixed-Use Commercial Sub Districts, as these areas propose more urbanized development patterns with pedestrian-oriented 'main street' streetscapes with less available space for ground-mounted cabinets. Small cell facilities should be enclosed within cabinets integrated with the transformer base to the maximum extent possible in these locations.

5.4.3 Type 1 Installation Details and Specifications

- Use of Standard Street Light Poles
 - Refer to General Design Guidelines.
 - Color of all small cell facilities shrouds, enclosures and cabinets shall match the color of existing standard street light poles--Federal Standard #595-C, Color 20040 powder coated finish to a gloss of 35% as approved by the City Engineer.
- Use of Privately Owned Utility Poles
 - Refer to General Design Guidelines Section 4.1.3.

5.4.4 Type 2 Installations Details and Specifications

- Siting of New Wireless Support Structures
 - New wireless support structures should be sited midway between existing wireless support structures on either side, and as close as practicable in alignment with adjacent side or rear property lines perpendicular to the right-of-way.
- Color
 - Color for new wireless support structures, antenna shrouds, pole mounted equipment, and equipment cabinets within a transformer base shall match the color of the existing street light poles in the area—Federal Standard #595-C, Color 20040 powder coated finish to a gloss of 35%, or as otherwise approved by the City Engineer.

5.4.5 Ground-mounted Small Cell Equipment Details and Specifications

- Maximum Permitted Height of Ground-mounted Equipment Cabinets
 - The maximum permitted height for ground-mounted equipment cabinets shall not exceed four (4) feet as measured from established grade at the foundation/pad to the top of the cabinet.
- Siting of Ground-mounted Small Cell Equipment Cabinets
 - Ground mounted equipment cabinets may only be sited within areas of the right-of-way where required setbacks from the travelway and sidewalks and multi-use paths can be met.
- Color
 - Color for all ground-mounted equipment cabinets shall be gray Federal Standard #26492 powder coated finish or as otherwise approved by the City Engineer.
- Additional Landscape Screening
 - Landscape screening of ground-mounted equipment cabinets shall be as required under Section 4.3.5.



5.5 Other Business Neighborhoods/Commercially Zoned Districts

5.5.1 Thoroughfare Preferences for Installation of Small Cell Facilities and Wireless Support Structures

- Arterial and Collector Streets - Preferred
 - Business Neighborhoods and commercially zoned districts are predominantly served directly by Arterial and Collector Streets. These rights-of-way are the preferred location for small cell facilities and wireless support structures. While there are a limited number of Local Streets in these areas that are also supported for locations for small cell facilities and wireless support structures, Arterial and Collector Street rights-of-way widths generally afford more space in which to site these elements.

<http://dublinohiousa.gov/developer-tools/thoroughfare-plan>

5.5.2 Installation Type Preferences

- Type 1 Requests Preferred
 - The most preferred installation type in commercially zoned districts are collocations of an antenna and associated small cell facilities on existing street light poles or privately owned utility poles within the right-of-way.
 - The second most preferred installation type in commercially zoned districts is a collocation of an antenna on existing street light poles or existing privately owned utility pole with small cell facilities enclosed in a ground-mounted cabinet within the right-of-way. Figure 5.5A illustrates an example of this type of installation.
- Type 2 Requests Discouraged
 - Based on the fairly wide availability of collocation options to city light poles throughout these areas, the least preferred installation type in commercially zoned districts are new wireless support structures with small cell facilities.



Figure 5.5A--Illustration of Collocation on Existing Standard Light Pole with Ground-mounted Facilities Cabinet Integrated into Existing Landscaping

5.5.3 Type 1 Installation Details and Specifications

- Use of Standard Street Light Poles
 - Refer to General Design Guidelines
- Color

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

5. CONTEXT SPECIFIC DESIGN GUIDELINES

- Color for antenna shrouds and pole mounted equipment enclosures shall match the color of the existing street light poles in the area—Federal Standard #595-C, Color 20040 powder coated finish to a gloss of 35%, or as otherwise approved by the City Engineer.
- Use of Privately Owned Utility Poles
 - Refer to General Design Guidelines Section 4.1.3

5.5.4 Type 2 Installations Details and Specifications

- Siting of New Wireless Support Structures
 - New wireless support structures should be sited as close as practicable in alignment with adjacent side or rear property lines perpendicular to the right-of-way.
- Color
 - Color for new wireless support structures, antenna shrouds, pole mounted equipment, and equipment cabinets within a transformer base shall match the color of the existing street light poles in the area—Federal Standard #595-C, Color 20040 powder coated finish to a gloss of 35%, or as otherwise approved by the City Engineer.

5.5.5 Ground-mounted Small Cell Equipment Details and Specifications

- Maximum Permitted Height of Ground-mounted Equipment Cabinets
 - The maximum permitted height for ground-mounted equipment cabinets shall not exceed four (4) feet as measured from established grade at the foundation/pad.
- Siting of Ground-mounted Small Cell Equipment Cabinets
 - Ground-mounted equipment cabinets may only be sited within areas of the right-of-way where required setbacks from the travelway and sidewalks and multi-use paths can be met.
- Color
 - Color for all ground mounted equipment cabinets shall be gray Federal Standard #26492 powder coated finish or as otherwise approved by the City Engineer.
- Additional Landscape Screening
 - Landscape screening of ground-mounted equipment cabinets shall be as required under Section 4.3.5.



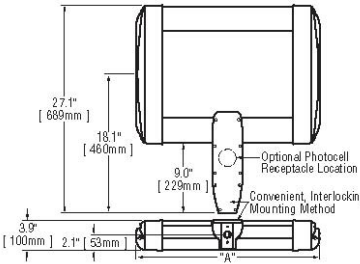
6. STANDARD DRAWINGS AND SPECIFICATIONS

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

6. STANDARD DRAWINGS AND SPECIFICATIONS

6.1 Cree LED Luminaire--SL-01





# of LEDs	Dim. "A"
20	12.08"
40	12.08"
60	14.08"
80	16.08"
100	18.08"
120	20.08"
140	22.08"
160	24.08"
180	26.08"
200	28.08"
220	30.08"
240	32.08"

LIGHTING DESIGN CRITERIA
 MIN = 0.4 fc
 AVG/MIN RATIO = 3:1
 MAX/MIN RATIO = 6:1
 CROSSWALK AREA = 1.1-1.3 fc

GENERAL DESCRIPTION - LIGHT EMITTING DIODE (LED), TYPE II, III, IV OR V CUTOFF (AS SPECIFIED ON THE CONSTRUCTION DRAWINGS), ONE-PIECE EXTRUDED ARM. OPERATING VOLTAGE SHALL BE ** VOLTS, SINGLE PHASE.

** VOLTAGE REQUIREMENTS ARE TO BE SPECIFIED ON PLANS.

DISTRIBUTION - IES NEMA TYPE II, III, IV OR V CUTOFF.

APPROVED MANUFACTURER

- Cree LED: ARE-EDG-2M-DA-##-D-**-BZ-525-40K
- Cree LED: ARE-EDG-3M-DA-##-D-**-BZ-525-40K
- Cree LED: ARE-EDG-4M-DA-##-D-**-BZ-525-40K
- Cree LED: ARE-EDG-5M-DA-##-D-**-BZ-525-40K

NUMBER OF LED'S TO BE SPECIFIED ON PLANS.
 ** VOLTAGE REQUIREMENTS ARE TO BE SPECIFIED ON PLANS.

CABLE - PROVIDE #10 XHHW, STRANDED COPPER 600V, 90 DEGREES CELSIUS CONDUCTORS. WIRE TO LUMINAIRE. SECURE TO LUMINAIRE ARM WITH CABLE GRIP PROVIDED WITH LUMINAIRE. PROVIDE ADEQUATE LENGTH TO EXTEND MIN. 2 FEET OUT OF HAND HOLE.

EXECUTION - ALL LUMINAIRES SHALL BE PLUMB AND LEVEL. ALL LAMPS SHALL BE OPERATIONAL PRIOR TO INSPECTION. ALL SURFACES SHALL BE CLEANED OF DIRT, DEBRIS, ETC. FREE OF SCRATCHES, DENTS, ETC.

METHOD OF MEASUREMENT - SEE ODOT SPECIFICATIONS SECTION 625.

BASIS OF PAYMENT - SEE ODOT SPECIFICATIONS SECTION 625.

Date: 5/1/2014



STANDARD DRAWING

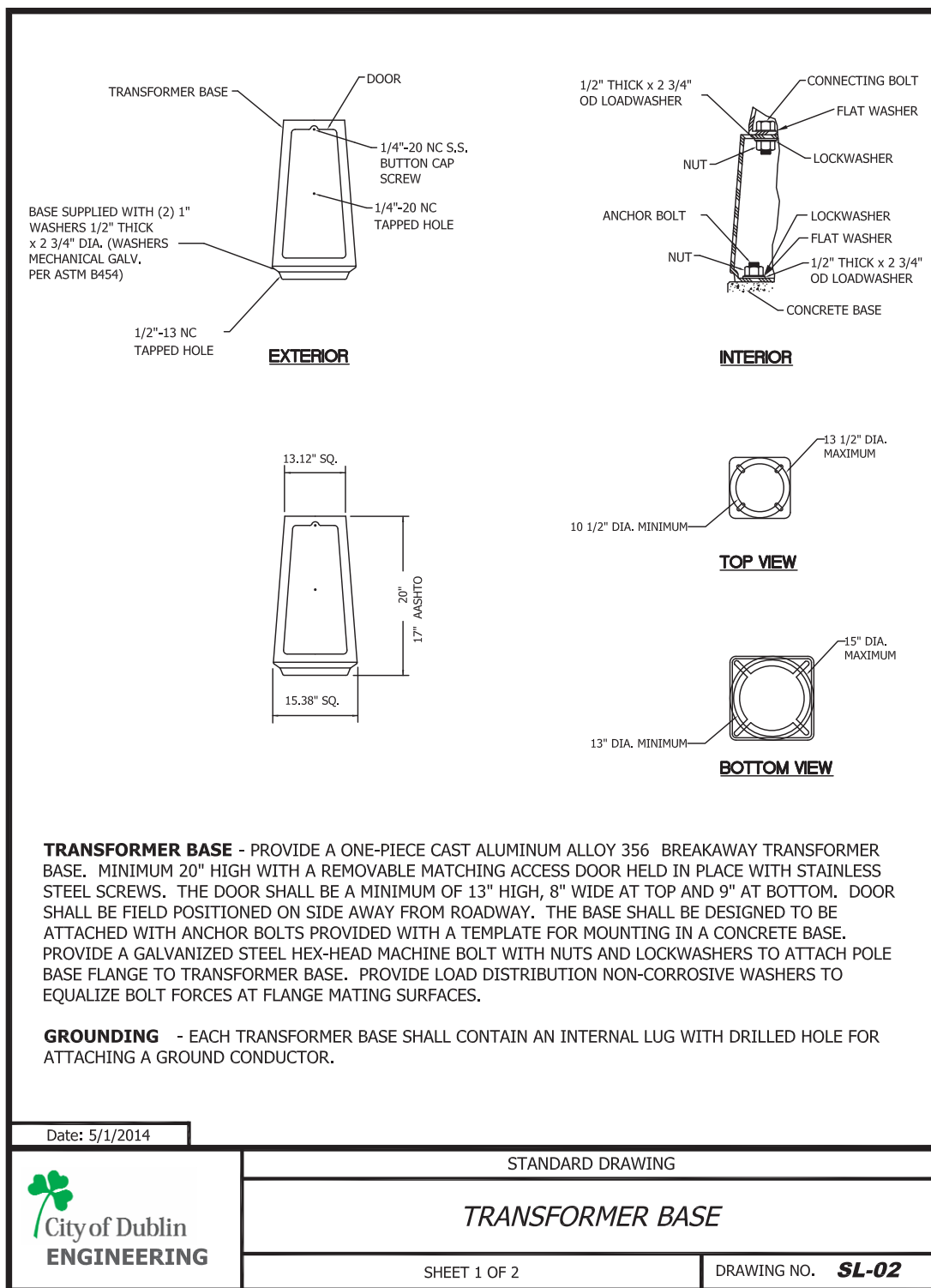
LUMINAIRE

DRAWING NO. **SL-01**

SHEET 1 OF 1



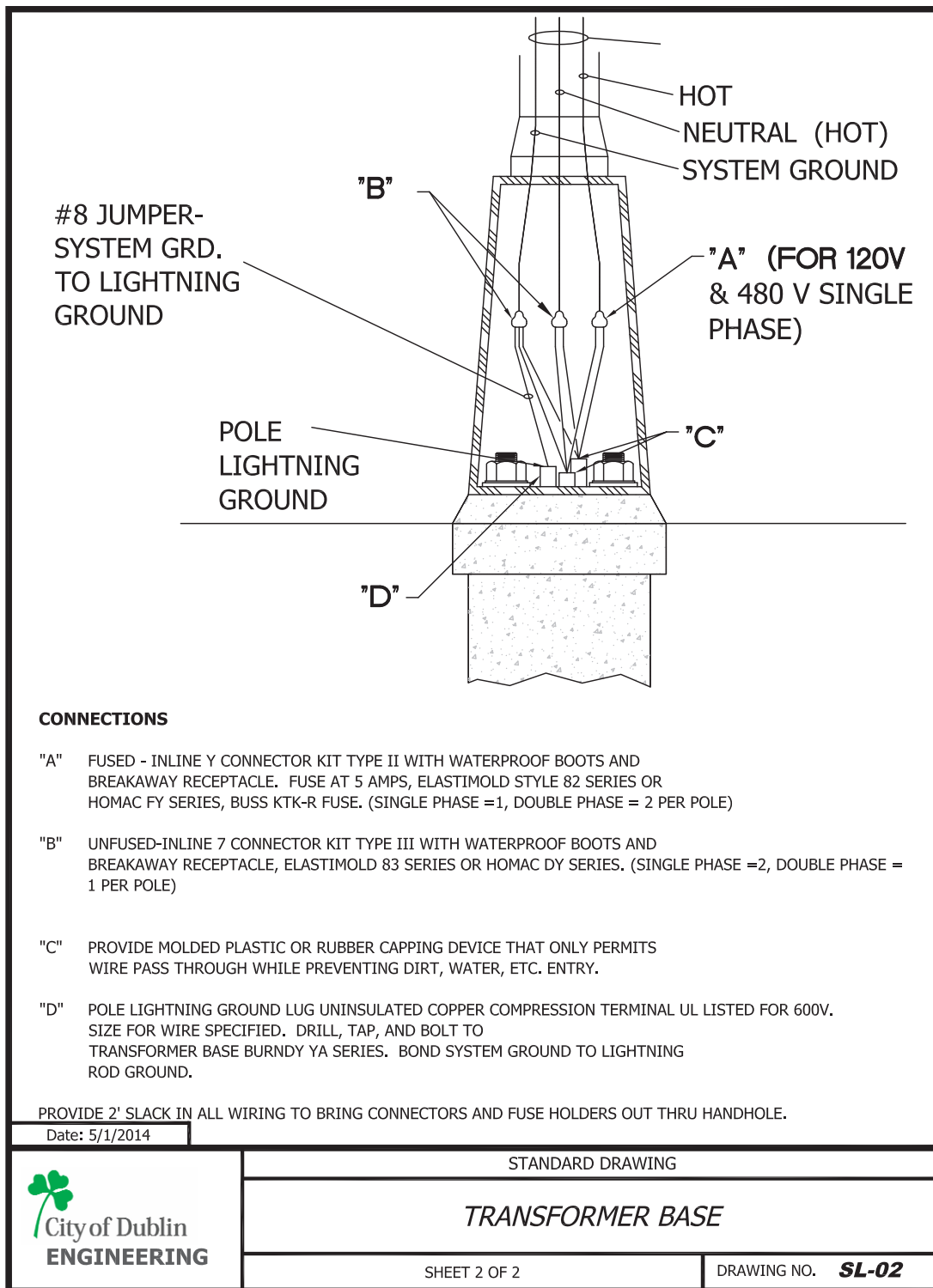
6.2 Transformer Base--SL-02 (1 of 2)



DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

6. STANDARD DRAWINGS AND SPECIFICATIONS

6.3 Transformer Base--SL-02 (2 of 2)



Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)



City of Dublin
ENGINEERING

STANDARD DRAWING

TRANSFORMER BASE

SHEET 2 OF 2

DRAWING NO. **SL-02**



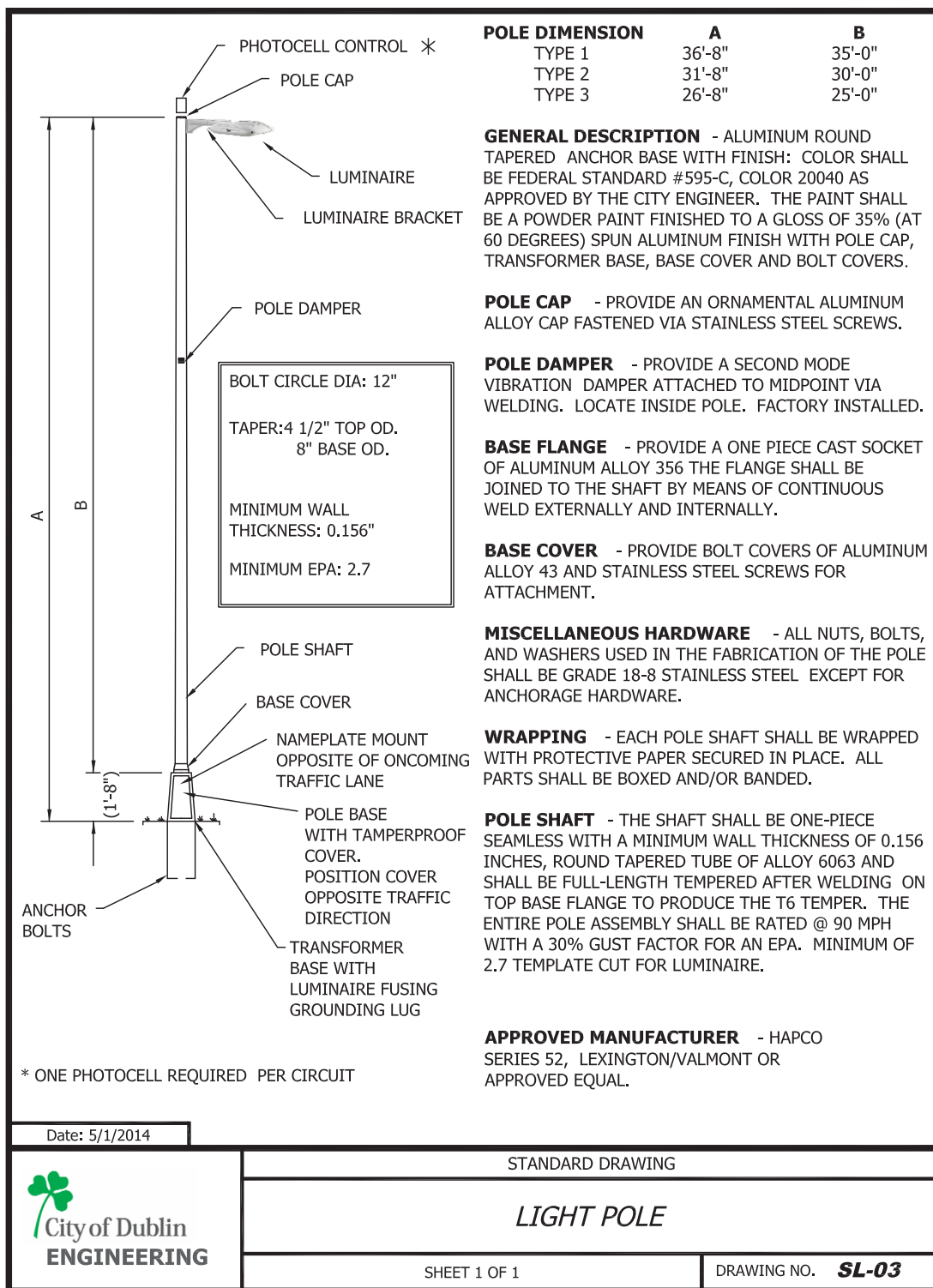
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6.4 Light Pole--SL-03



6.6 Pole Foundation--SL-04 (2 of 2)

LUMINAIRE FUSING - REFER TO TRANSFORMER BASE DETAIL SL-02

GROUNDING LEG - REFER TO TRANSFORMER BASE DETAIL SL-02

ANCHORAGE - PROVIDE A SET OF FOUR-50,000 PSI-MIN YIELD STEEL STRENGTH ANCHOR BOLTS, THREADED, HOT-DIPPED GALVANIZED AT THE THREADED END FOR AT LEAST 10". THE BOLTS SHALL INCLUDE A 4" MINIMUM RIGHT ANGLE HOOK AT THE UNTHREADED END. PROVIDE GALVANIZED NUT, LOCKWASHERS AND FLATWASHERS FOR EACH BOLT.

GROUT - 10,000 PSI, HIGH STRENGTH, NON-SHRINK, NON-METALLIC, COMPLY WITH CRD-C-621, PROVIDE SAND COAT FINISH (PROVIDE SONNOGROUT OR APPROVED EQUAL).

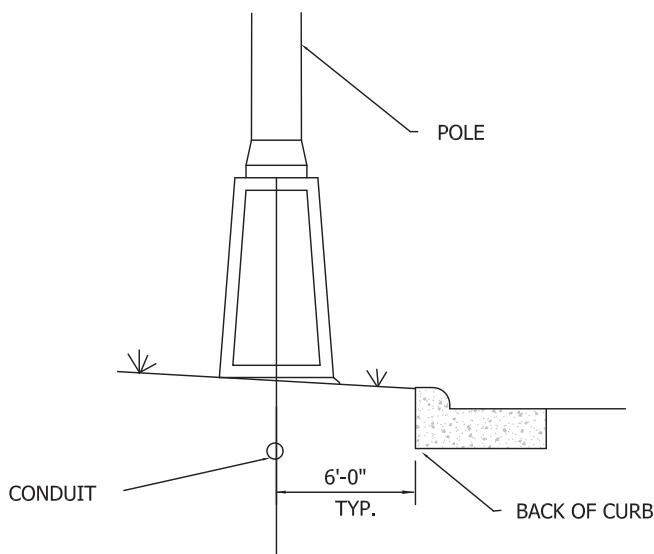
WEATHERPROOFING - PROVIDE PENETRATING SURFACE APPLIED, 1 COAT CONCRETE WATERPROOFING AGENT. MATERIAL SHALL BE CLEAR PENETRATING, WATER BASED, ALKYALKOXYLSILANE AND CONTAIN A MINIMUM OF 40% BY WEIGHT SOLIDS AND BE APPLIED PER MANUFACTURER'S DIRECTIONS. COVERAGE SHALL BE 150 SQ. FEET PER GALLON (PROVIDE HYDROZO ENVIROSEAL 40 OR APPROVED EQUAL). APPLY 1 COAT TO ALL CONCRETE EXPOSED SURFACES ABOVE GRADE.

FIELD CONDITIONS - CONSULT ENGINEER FOR ABNORMAL SOIL CONDITIONS SILTS AND CLAY WITH WATER LIMITS GREATER THAN 50%, HIGH ORGANIC SOILS, SHALLOW BEDROCK, ETC.

CONDUIT - SHALL BE HEAVY WALL 2" OR 3/4" PER GRAPHIC. RIGID NON-METALLIC SCHEDULE 40 PVC FOR USE ABOVE & BELOW GROUND OR CONCRETE ENCASED. RATED FOR 90 DEGREES CELSIUS CONDUCTORS AND USE IN DIRECT SUNLIGHT. MATERIAL SHALL BE UL LISTED AND COMPLY WITH NEMA TC2-1978 AND F.S. #WC-1094A. PROVIDE IN 10 FOOT SECTIONS. SEAL ALL JOINTS WATERTIGHT. GLUE JOINTS WITH PVC CEMENT. BUSH ALL ENDS. ALL BENDS SHALL USE LONG RADIUS PREFORMED ELBOWS. EXTEND CONDUIT TO MINIMUM 2'-0" BELOW GRADE. LOCATION TO BE COORDINATED WITH LANDSCAPING AND UTILITIES.

IF UNIT TYPE DUCT CABLE IS UTILIZED IN TRENCHES IN LIEU OF PVC CONDUIT, AT POLE FOUNDATIONS RETAIN THE PVC CONDUIT SPECIFIED ABOVE IT SHALL FUNCTION AS A SLEEVE FOR THE DUCT CABLE. OVERSIZE PVC CONDUIT EITHER 2 1/2" OR 3" AS REQUIRED BASED ON DUCT CABLE OUTSIDE DIAMETER.

CONDUIT CAPS - TERMINAL POINTS OF ALL CONDUIT AND DUCT CABLE SHALL BE SEALED PROMPTLY AFTER INSTALLATION BY MEANS OF A MOLDED PLASTIC OR RUBBER CAPPING DEVICE THAT ONLY PERMITS WIRE PASS THROUGH.



TYPICAL FOUNDATION LOCATION

Date: 5/1/2014



City of Dublin
ENGINEERING

STANDARD DRAWING

POLE FOUNDATION

SHEET 2 OF 2

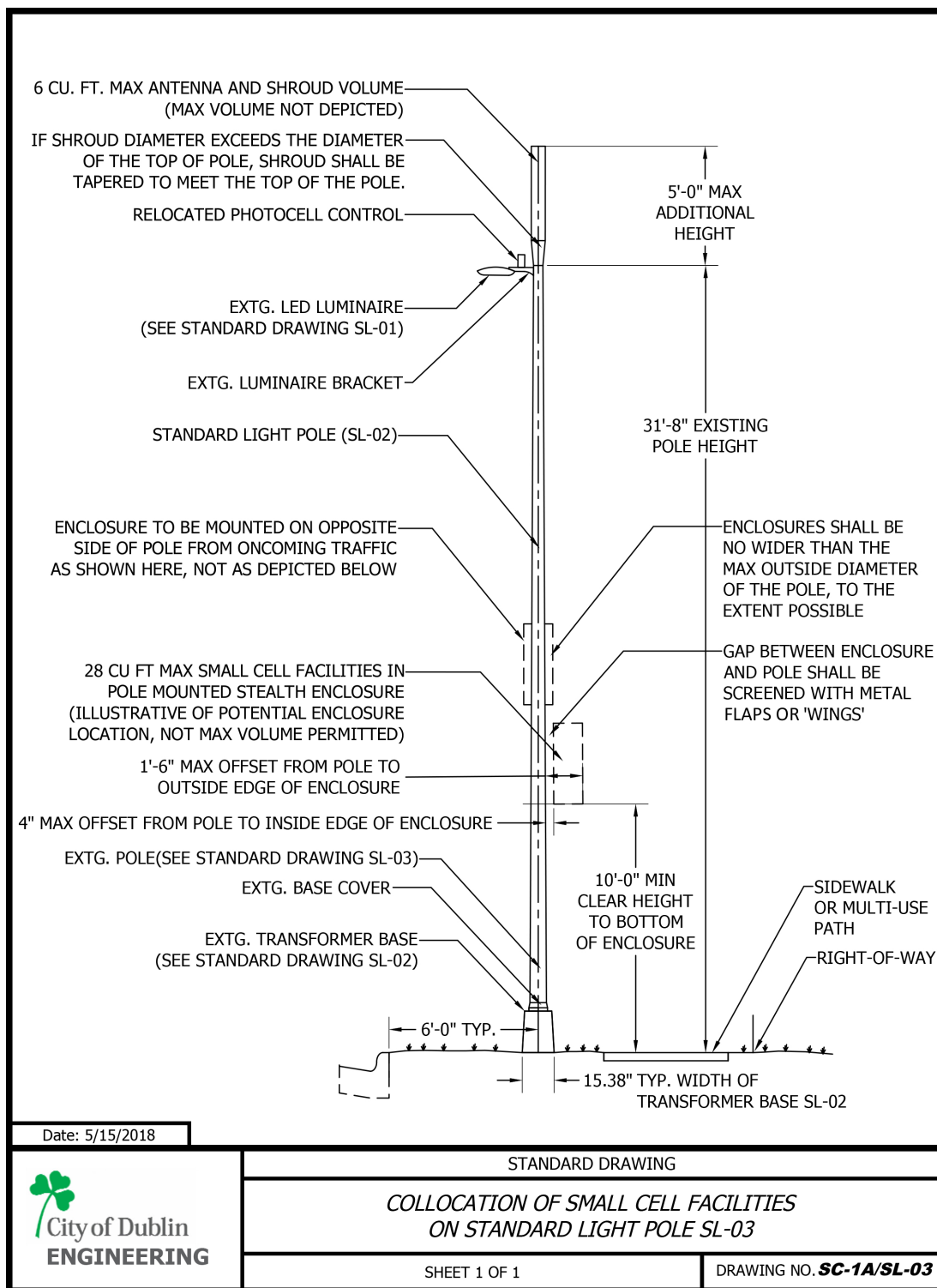
DRAWING NO. **SL-04**

Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

6. STANDARD DRAWINGS AND SPECIFICATIONS

6.7 Collocation with Pole Mounted Small Cell Facilities Enclosure--SC-1A/SL-0



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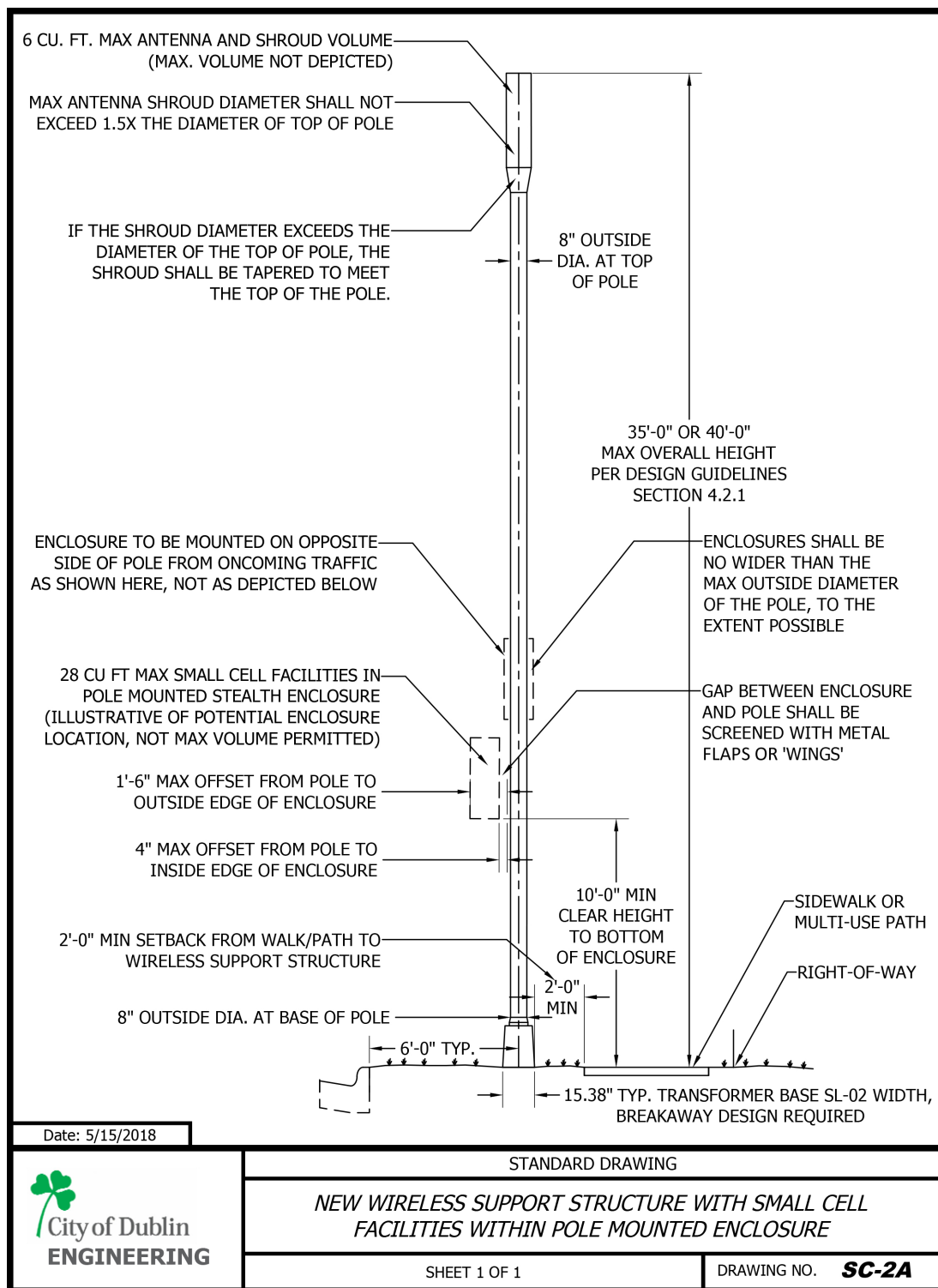
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Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)

6.8 New Wireless Support Structure w/ Pole Mounted Facility Enclosure--SC-2A

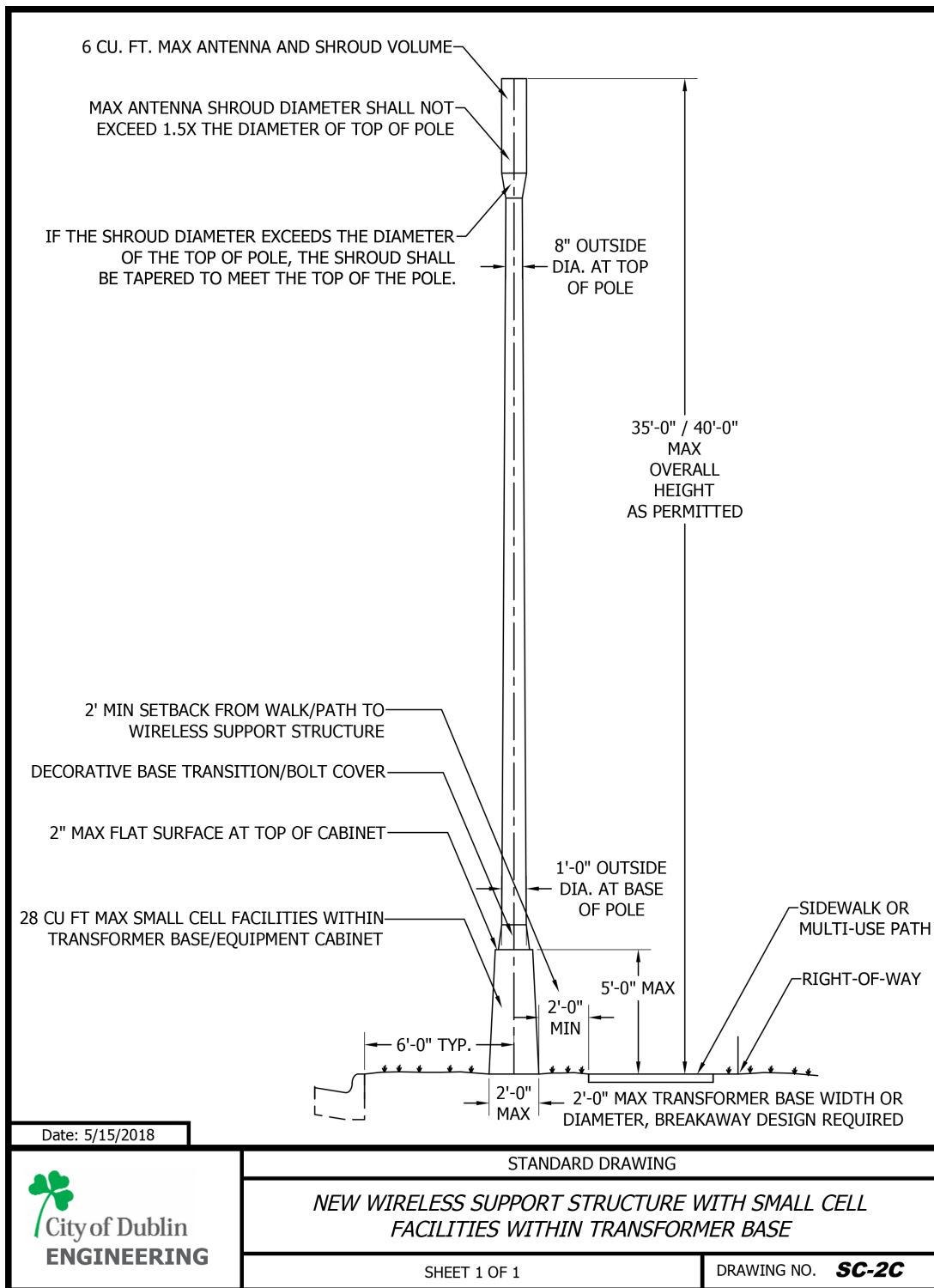


Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)

DESIGN GUIDELINES FOR SMALL CELL FACILITIES AND WIRELESS SUPPORT STRUCTURES IN THE RIGHT-OF-WAY

6. STANDARD DRAWINGS AND SPECIFICATIONS

6.9 New Wireless Support Structure w/ Facilities in Transformer Base--SC-2C



Communication: HB 478 - Small Cell Wireless Design Guidelines (OTHER BUSINESS)



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