



AGENDA

**BOARD OF ZONING AND BUILDING APPEALS
THURSDAY, SEPTEMBER 15, 2022 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 EAST MAIN STREET, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Board of Zoning and Building Appeals – Regular Meeting – August 18, 2022
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. NEW BUSINESS

1. 2374 Taylor Square Dr; Application #2022-5351; Applicant Eric Leibowitz; Variance - Proposed Drive-Thru Addition
2. 772 Robbins Loop Ct; Application #2022-5311; Applicant Kimberly Adams; Variance
3. 6585 Fusilier Ave; Application #2022-5347; Applicant John and Lynne Montgomery; Variance
4. 1036 White Butterfly Ct; Application #2022-5342; Applicant Arguelles and Arroyo; Variance
5. 7322 Marlan Ave; Application 2022-5305; Applicant Michelle Buck; Appeal - Home Occupancy

D. OTHER BUSINESS

E. ADJOURNMENT

Reynoldsburg

OHIO • 1839

MINUTES

BOARD OF ZONING AND BUILDING APPEALS THURSDAY, AUGUST 18, 2022 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 EAST MAIN STREET, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: Linder, Furst, Davis
ABSENT: Bulls, Barnhart

2. APPROVAL OF MINUTES

1. Board of Zoning and Building Appeals – Regular Meeting – July 21, 2022

Minutes Stand Approved

3. APPROVAL OF AGENDA

RESULT:	WITHDRAWN
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Agenda Stands Approved

4. SWEARING IN OF SPEAKERS

Speakers for the evening sworn in by Mr. Furst.

B. PUBLIC COMMENT

None

C. UNFINISHED BUSINESS

1. Briarcliff and Main; Application 2022-5271 (Setbacks); Applicant Charles Schatz; Variance

Mr. Meyer read the staff report into the record.

Mr. Furst asked why the front setback couldn't be much closer, in fact, in line with the OhioHealth building.

Mr. Meyer explained this location has water piping underground, sprinkler heads, and the walls along Main Street go further back in this area. This was put together by the city engineer and consulted with legal and our service director and this is what they felt was appropriate. As far as why it is different from OhioHealth, I don't have an answer. This was staff's best effort and understanding of what could go here. Mr. Meyer pointed out the changes from the last meeting with the sidewalk and pedestrian access. They also increased the roof overhang to cover some of the drive aisle, which was not there previously.

Reese Moore from Crawford Hoying described the changes to the plan regarding the very strong pedestrian walkway that will enable pedestrians to get from the sidewalk to their patio and pickup window. He explained to the board that the reason the building is not closer to the easement is because they want to make sure the drive thru is in front of the building and every drive thru they want to have an escape lane. He pointed out there is six more inches on the overhang to get closer to the street.

Mr. Davis asked a question, but it was inaudible.

Mr. Moore explained the difference in the two plans and how they feel the current plan is safer because the patrons won't be walking through the drive thru from their vehicles to get to the patio. With this layout they feel this is the safer option. With the stacking and configuration they believe that the setback they are asking for will help this be the best site plan.

Mr. Furst appreciates the effort put into the attempt to connect mass transit, but feels that having the pedestrians cross over the drive thru lane from Main Street creates a safety issue.

There was discussion about the drawing that OHM drew up and how their plan would adhere strictly to the code, but that was before they were aware of the easement. The OHM report says there is definitely a case for a variance for setback.

Mr. Furst asked the applicant to explain the volume of traffic and what type of stacking might be expected.

Mr. Moore said they are expecting a decent amount of stacking. Most cities require an 8-10 stack and this site will allow for an additional 4-6 cars before the customers would even be off the parcel.

Mr. Furst ask them to describe their hardship in more detail.

Mr. Moore: They need to build away from that easement.

Mr. Furst: Why? That seems like a matter of preference.

Mr. Moore explained that with putting the drive thru in the front it created a better stacking arrangement for the community for people coming in and out and less of a chance for overflow onto the access road. They feel as if this is the safest way to come into the business.

Mr. Davis feels as if the current layout is safer and does provide a lot more overflow in terms of stacking.

Mr. Furst: Do you content that there is a deprivation of beneficial use of the site if we weren't to grant this variance?

Mr. Moore: I do, yes.

Mr. Furst: I realize the city wasn't aware of all these issues with the site until the easements and right of way was explored. If you about those restrictions, would you have considered another site? If we weren't to grant you this variance this evening, would this project be more or less dead?

Mr. Moore: Yes.

Pastor Linder asked the applicant to explain how a normal morning with the stacking would look like.

Mr. Moore: Peak hours are 6:30 am to 8:30am. Average time in the drive thru is a minute and 15 seconds between ordering and pickup. Currently on the site plan there's nine stacked cars, if there ends up being 13 or 14cars there, we believe that's never going to overflow. If something is happening in the restaurant and there's a delay, this would allow stacking for mishaps.

Pastor Linder: How many customers will benefit from this opportunity?

Mr. Moore: I think a great amount of people will be able to benefit from this. With the layout of this site we'll get their drink in their hand way quicker and way more efficient.

Pastor Linder: I'm more comfortable with this layout, but it wouldn't hurt to have some type of marking on the back side as people cross through that lot. Additionally, I believe you weren't aware of the full concern before purchasing this site. It's been a long time since something was added in this general vicinity and a good number of people will benefit from this opportunity.

Mr. Furst: I believe you have an agreement on this, but you haven't purchased the property, correct?

Mr. Moore: That is correct.

Mr. Meyer: You have contractual right, but you haven't closed on it, right?

Mr. Moore: That is correct. When we tabled last session we put more money down on the contract to be able to come back before you today. We will be closing as soon as we get approval. We were also waiting on the lot split, which was approve last week.

Mr. Meyer: We did indeed get an application for a lot split and the city has approved.

Mr. Davis asked if they knew where the setback would be in relation to the Massey's Pizza.

Mr. Meyer didn't have the exact measurements, but showed it on the screen so they could eyeball it.

Mr. Davis stated that it looks to have a similar setback Massey's and be in line with them.

Mr. Furst asked if this was the minimum amount of variance that would accomplish their purpose and allow them to benefit from the use of the property.

Mr. Moore: I do.

MEMORANDUM

The City of Reynoldsburg Board of Zoning & Building Appeals (BZBA) met on August 18, 2022. Present were members Pastor Linder, Mr. Alex Furst, and Mr. Franklin Davis, and as such constituted a quorum sufficient to proceed with its regular meeting.

A general motion was made by Pastor Linder to approve application 2022-5271 requesting a Variance for Setbacks by Caribou Coffee. The motion was seconded by Mr. Davis. Roll was taken and the motion approved by Pastor Linder and Mr. Davis; however, Mr. Furst voted against the motion. The motion failed for reasons it was not unanimously approved by the three members present, and as such was insufficient to constitute majority approval by the Board. However, contrary to the section 1109.13 of the Reynoldsburg Zoning Code, the foregoing going motion failed to identify the specific factors upon which the variance application would conform to applicable standards set forth in Reynoldsburg Zoning Code. *See generally*, Reynoldsburg Zoning Code § 1109.13(D) i-ix.

Subsequently, Pastor Linder moved to amend his previous motion to approve application 2022-5271 requesting a Variance for Setbacks by Caribou Coffee. Pastor Linder's Amended Motion did include the specificity and findings of fact set forth in section 1109.13(D). The Amended Motion to approve application 2022-5271 cited the following factors for allowing the setback variance requested:

ii. The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a conditional use in the zone or district in which the subject property is situated.

iv. There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.

v. The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.

Reynoldsburg Zoning Code § 1109.13(D)ii, iv, & v. The Amended Motion was seconded by Mr. Furst. Roll was taken and the Amended Motion for Variance for Setbacks by Caribou Coffee was unanimously passed by a vote of 3-0 by all members present.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Linder, Furst, Davis
ABSENT:	Bulls, Barnhart

2. Briarcliff and Main; Application 2022-5271 (Signs); Applicant Charles Schatz; Variance
Mr. Meyer read the staff report into the record.

The applicant is requesting the additional wall sign due to the additional setback of five foot minimum required due to the landscape buffer on this specific site. Due to the site being so unique they feel as if this is the only remedy to show patrons where they are.

Mr. Furst asked why the monument sign wouldn't serve the patrons of the business.

Mr. Moore said the patrons heading East on Main during the busiest hours in the morning would be able to identify the signage up above.

Mr. Furst: Is that also an argument for the increased sign height on the monument sign as well?

Mr. Moore: Yes. We feel that the additional height would give us additional help in identifying our property.

The applicant and Mr. Furst discussed the neighboring properties and how they differ or not to this proposed site.

Mr. Furst asked that the monument base be constructed of brick and not the proposed stone and the applicant agreed to the changes.

Mr. Furst asked if the board was to NOT grant the variance, could they have just a six foot tall monument sign, would this be setting the business up for failure?

Mr. Moore said while signage is a big part of the Caribou brand, they don't think they will be going out of business on an item such as this. While it wouldn't be detrimental to the business it would be great to have the presence with the monument sign.

Mr. Furst asked about any existing monument signs and the question of whether the Caribou monument sign could be seen with the existing tenant signage for the center.

The board has discussions regarding the Massey's non-conforming wall sign.

Pastor Linder asked if they were getting signage on the existing center sign and the applicant

said they have not spoken to the owner about that, but the center could be up for sell soon so that signage is not guaranteed.

Mr. Leist: Is this monument sign outside your lot split?

Mr. Moore: Yes.

Mr. Leist: So it is not subject to your ownership at all?

Mr. Moore: No. It's Schottensteins's property.

Mr. Furst asked if the applicant had investigated any other remedies available in the code to properly identify and access the building.

Mr. Moore explained that he personally didn't do the investigation, but the consultant certainly did the research on where the signs could be placed.

Mr. Furst isn't able to see the hardship or practical difficulty for this variance, outside of preference or convenience.

Mr. Moore explained that the center has a five foot setback requirement and feels as if that's a hardship for the eastern sign and a bit taller of a monument sign. Being farther back from the street would create a longer distance for people to see. Mr. Moore feels that if the logo has more presence and height that is would allow for more of a jump for people driving in their cars.

Mr. Davis: I don't see this as a hardship, but more of a benefit to allow patrons to see the business and allow more time to make the decision to stop.

Pastor Linder: It's hard for me to have conviction about the hardship or finding another way to state why this variance would be required.

Mr. Davis asked Mr. Leist to help clarify 1109.13 paragraph 8 in the zoning code. Mr. Leist left it up for the board to make the decision.

Mr. Furst: Having considered the factors in 1109.13D, I do not find hardship of practical difficulty as identified in subsection four of the code, and therefore more that we deny this variance application as submitted.

Pastor Linder: Second.

Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	DEFEATED [UNANIMOUS]
AYES:	Linder, Furst, Davis
ABSENT:	Bulls, Barnhart

D. NEW BUSINESS

1. Brice Rd; Application # 2022-5263; Applicant Christopher Jolley; Conditional Use Permit

Email from the applicant is below.
Good morning,

After careful consideration, Daniel has determined that he will no longer be pursuing a Conditional Use for the site on Brice Road. He is hopeful that he will be able to find a more suitable site in the near future.

Thank you,

Christopher Jolley, NCARB

Mr. Furst: I move to accept the withdrawal of application 2022-5263.

Mr. Davis: Second.

Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	WITHDRAWN
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E. OTHER BUSINESS

F. ADJOURNMENT

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of Aug 18, 2022 6:00 PM (APPROVAL OF MINUTES)

Development Department**Eric Meyer****7232 E. Main Street****Reynoldsburg OHIO 43068****Phone****MOTION REQUEST**

DATE: September 15, 2022

TO: Board of Zoning and Building Appeals

RE: 2374 Taylor Square Dr; Application #2022-5351; Applicant Eric Leibowitz;
Variance - Proposed drive-thru addition

Approval:

Joe Begeny	Pending Chris Shook	Stephen Cicak
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See attached documentation



Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: _____

Date Submitted: _____

Fee Amount: _____

Paid: _____

BOARD OF ZONING & BUILDING APPEALS

I. PROPERTY INFORMATION

Property Address: 2374 Taylor Square Dr	Parcel ID#(s): 0440379311
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II. PROPERTY OWNER OF RECORD

Property Owner Name(s): CASTO, Eric Leibowitz , <i>authorized representative for Olentangy Square LP</i>	
Contact Email: Eleibowitz@castoinfo.com	Contact Phone Number: 614-744-2027

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Covelli Enterprises	Contact Name: Bob Fiorino
Contact Email: bob.fiorino@covelli.com	Contact Phone Number: 330-856-5979
Description of Use: Drive Thru Addition to Existing Panera Bread	

IV. APPLICANT INFORMATION

Applicant Name: Eric Leibowitz , <i>agent for Olentangy Square LP</i>	Applicant Address: 250 Civic Center Drive, Suite 500, Columbus, Ohio 43215
Applicant Phone Number: 614-744-2027	Applicant Email: Eleibowitz@castoinfo.com
<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Variance (Non-Residential (\$450) / Residential (\$200): A Variance for Section 1105.13.L for Panera Bread which is Zoned under Section 1103.21. This variance is to allow this proposed drive-thru addition to not have an escape/bypass lane for a portion of the Drive Thru. The escape/bypass lane will only affect the 1st 7 vehicles in the drive thru. See attached site plan exhibit.

Conditional Use Permit (\$350): _____

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: *Eric Leibowitz* Date: 8/17/22

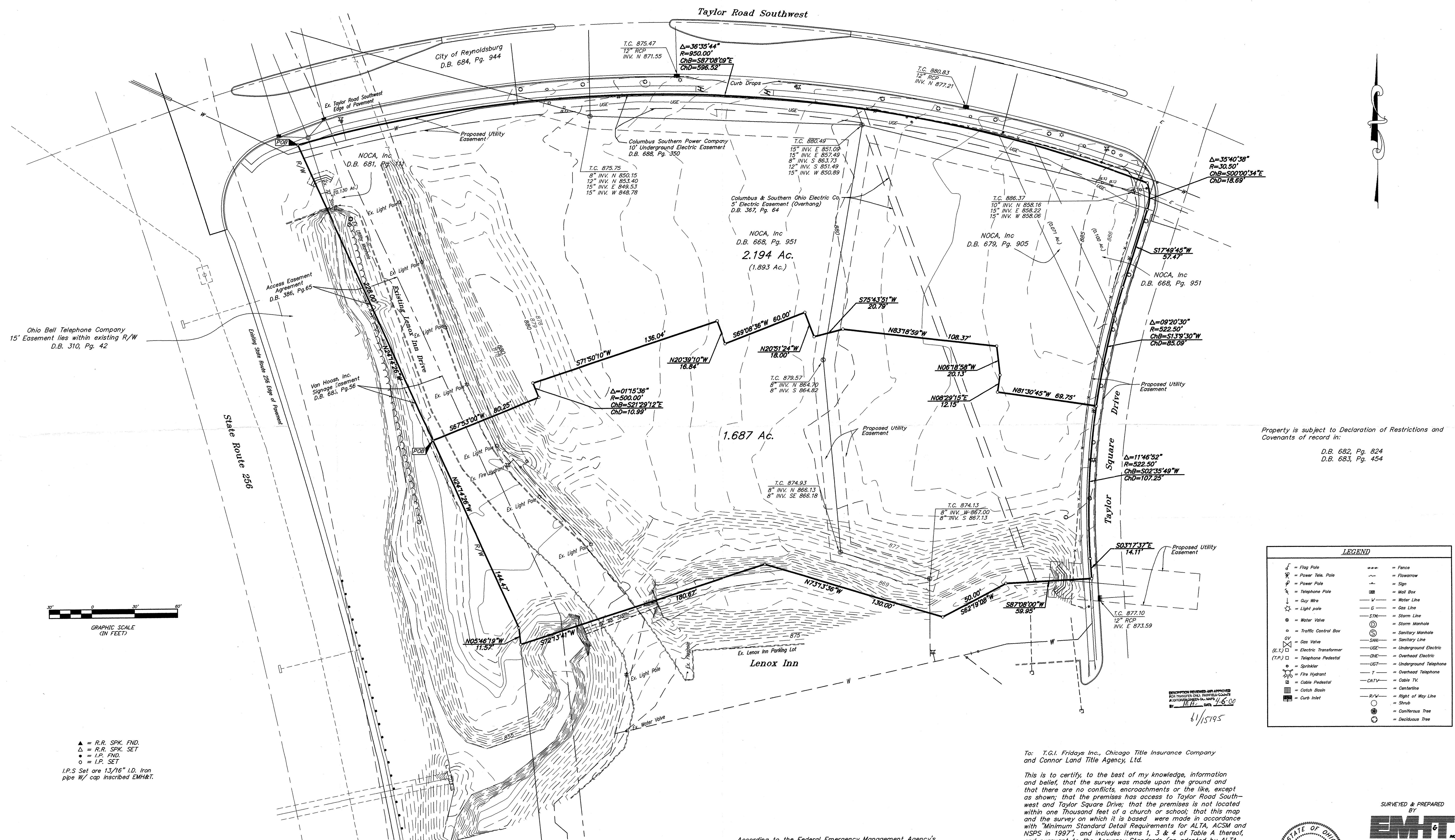
By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:	<u>Zoning Information</u>	<u>BZBA Meeting</u>
	Zoning District: _____	Date: _____
	<input type="checkbox"/> Historic District	<input type="checkbox"/> Approved as Submitted
	<input type="checkbox"/> Other: _____	<input type="checkbox"/> Approved w/ Conditions
	<u>Add'l Approvals Req'd</u>	<input type="checkbox"/> Tabled
	<input type="checkbox"/> Planning Commission	<input type="checkbox"/> Denied
	P&Z Admin.: _____	Date: _____

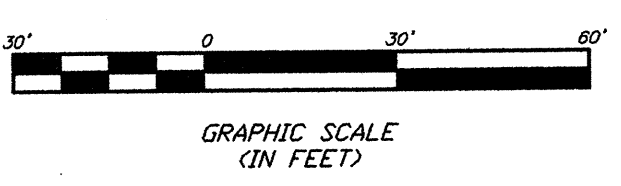
Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)

SURVEY OF ACREAGE PARCEL SEC 20 TWP 16 RNG 20 USML CITY OF REYNOLDSBURG, FAIRFIELD COUNTY, OHIO



Property is subject to Declaration of Restrictions and Covenants of record in:
D.B. 682, Pg. 824
D.B. 683, Pg. 454

LEGEND	
	Flag Pole
	Power Pole
	Telephone Pole
	Light Pole
	Water Valve
	Traffic Control Box
	Gas Valve
	Electric Transformer
	Telephone Pedestal
	Sprinkler
	Fire Hydrant
	Cable Pedestal
	Catch Basin
	Curb Inlet
	Fence
	Flowerbed
	Sign
	Mail Box
	Water Line
	Gas Line
	Storm Line
	Storm Manhole
	Sanitary Manhole
	Sanitary Line
	Underground Electric
	Overhead Electric
	Underground Telephone
	Overhead Telephone
	Cable TV
	Centerline
	Right of Way Line
	Shrub
	Coniferous Tree
	Deciduous Tree



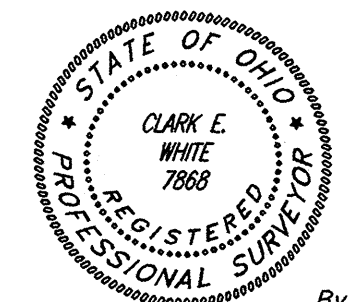
▲ = R.R. SPK. FND.
△ = R.R. SPK. SET
● = I.P. FND.
○ = I.P. SET
I.P.S. Set are 13/16" I.D. Iron pipe W/ cap inscribed EMH&T.

The basis of bearings for this survey is North 19°32'27" West for the centerline survey of a portion of State Route 256 as per Ohio State Plane Coordinate System South Zone NAD83.

According to the Federal Emergency Management Agency's Flood Insurance Rate Map (dated August 2, 1995), the subject parcel shown hereon lies within Zone X (area determined to be outside the 500-year floodplain); Community Panel No. 39049C0295G.

To: T.G.I. Fridays Inc., Chicago Title Insurance Company and Connor Land Title Agency, Ltd.

This is to certify, to the best of my knowledge, information and belief, that the survey was made upon the ground and that there are no conflicts, encroachments or the like, except as shown; that the premises has access to Taylor Road Southwest and Taylor Square Drive; that the premises is not located within one thousand feet of a church or school; that this map and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA, ACSM and NSPS in 1997"; and includes items 1, 3 & 4 of Table A thereof, and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey.



SURVEYED & PREPARED BY
EMT
CONSULTING ENGINEERS & SURVEYORS
170 MILL STREET
GAHANNA, OHIO 43230
(614) 471-5150
By *Clark E. White*
Professional Surveyor No. 7868

SCALE: 1" = 30" APRIL 3, 2000

PROJECT: S06206 (NOBLE/S06206) DATE: APRIL 03, 2000 11:59 AM

Attachment: Panera Bread Variance Application-Combined 081622 (App# 2022-5351, 2374 Taylor Square Dr, Lebowitz)

1.687 ACRES

61
15195

Situated in the State of Ohio, County of Fairfield, City of Reynoldsburg, being located in Section 20, Township 16, Range 20, Refugee Lands, and being 1.578 acres of that 10.226 acre tract, and 0.104 acre of that 0.305 acre tract as conveyed to NOCA, Ltd. by deeds of record in Deed Book 668, Page 951 and Deed Book 679, Page 905, respectively, all references being to records of the Recorder's Office, Fairfield County, Ohio, and being described as follows:

Beginning for reference at a point marking the intersection of the southerly right-of-way line of Taylor Road Southwest with the easterly right-of-way line of State Route 256;

thence South 24° 14' 26" East, along said easterly right-of-way line, a distance of 228.00 feet to an iron pin set at the True Point of Beginning for the tract herein intended to be described;

thence crossing said NOCA tracts, the following courses and distances:

North 67° 53' 00" East, a distance of 80.25 feet to an iron pin set on the arc of a curve to the right;

Northwesterly, along the arc of said curve (Delta = 01° 15' 36", Radius = 500.00 feet), a chord bearing and distance of North 21° 29' 12" West, 10.99 feet to an iron pin set;

North 71° 50' 10" East, a distance of 136.04 feet to an iron pin set;

South 20° 39' 10" East, a distance of 16.84 feet to an iron pin set;

North 69° 08' 36" East, a distance of 60.00 feet to an iron pin set;

South 20° 51' 24" East, a distance of 18.00 feet to an iron pin set;

North 75° 43' 51" East, a distance of 20.79 feet to an iron pin set;

South 83° 18' 59" East, a distance of 108.37 feet to an iron pin set;

South 06° 18' 58" East, a distance of 20.13 feet to an iron pin set;

South 08° 29' 15" West, a distance of 12.15 feet to an iron pin set; and

South 81° 30' 45" East, a distance of 69.75 feet to an iron pin set in the westerly right-of-way line of Taylor Square Drive;

thence along said Taylor Square Drive, the following courses and distances:

Southwesterly, along the arc of a curve to the left (Delta = 11° 46' 52", Radius = 522.50 feet), a chord bearing and distance of South 02° 35' 49" West, 107.25 feet to an iron pin set at a point of tangency; and

1.687 ACRES

-2-

South 03° 17' 37" East, a distance of 14.11 feet to an iron pin set in the northerly line of that tract as conveyed to Ardmore of Ohio by deed of record in Deed Book 650, Page 572;

thence along the northerly line of said Ardmore of Ohio tract, the following courses and distances:

South 87° 08' 00" West, a distance of 59.95 feet to an iron pin set;

South 62° 19' 08" West, a distance of 50.00 feet to an iron pin set;

North 73° 13' 36" West, a distance of 130.00 feet to an iron pin set; and

South 72° 13' 41" West, a distance of 180.67 feet to an iron pin set in the easterly right-of-way line of said State Route 256;

thence North 05° 46' 19" West, along said easterly right-of-way line, a distance of 11.57 feet to an iron pin set;

thence North 24° 14' 26" West, continuing along said right-of-way line, a distance of 144.47 feet to the True Point of Beginning and containing 1.687 acres of land, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

The basis of bearing for this description is North 19° 37' 59" West for the centerline of Survey of State Route 256 as per the Ohio State Plane Coordinate System South Zone NAD 83.



CEW kd/dec99

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Clark E. White 12/3/99

Clark E. White
Registered Surveyor No. 7868

DESCRIPTION REVIEWED AND APPROVED
FOR TRANSFER ONLY, FAIRFIELD COUNTY
AUDITOR/ENGINEER-TAX MAPS
[Signature] 4/17/00



Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)

2.194 ACRES

61
15195

Situated in the State of Ohio, County of Fairfield, City of Reynoldsburg, being located in Section 20, Township 16, Range 20, Refugee Lands, and being 0.100 acre of that original 119.791 acre tract, 0.071 acre of that original 1.154 acre tract, 1.893 acres of that original 10.226 acre tract and 0.130 acre of that original 0.305 acre tract as conveyed to NOCA, Ltd. by deeds of record in Deed Book 668, Page 951, Deed Book 679, Page 905, Deed Book 668, Page 951 and Deed Book 681, Page 111, respectively, all references being to records of the Recorder's Office, Fairfield County, Ohio, and being described as follows:

Beginning at an iron pin set marking the intersection of the southerly right-of-way line of Taylor Road Southwest with the easterly right-of-way line of State Route 256;

thence southeasterly, along the southerly right-of-way line of said Taylor Road Southwest, being along the arc of a curve to the right (Delta = $36^{\circ} 35' 44''$, Radius = 950.00 feet), a chord bearing and distance of South $87^{\circ} 08' 09''$ East, 596.52 feet to an iron pin set in the westerly right-of-way line of Taylor Square Drive;

thence along the westerly line of said Taylor Square Drive, the following courses and distances:

Southeasterly, along the arc of a curve to the right (Delta = $35^{\circ} 40' 38''$, Radius = 30.50 feet), a chord bearing and distance of South $00^{\circ} 00' 34''$ East, 18.69 feet to an iron pin set at a point of tangency;

South $17^{\circ} 49' 45''$ West, a distance of 57.47 feet to an iron pin set at a point of curvature of a curve to the left; and

Southwesterly, along the arc of said curve (Delta = $09^{\circ} 20' 30''$, Radius = 522.50 feet), a chord bearing and distance of South $13^{\circ} 09' 30''$ West, 85.09 feet to an iron pin set;

thence crossing said NOCA, Inc. tracts the following courses and distances:

North $81^{\circ} 30' 45''$ West, a distance of 69.75 feet to an iron pin set;

North $08^{\circ} 29' 15''$ East, a distance of 12.15 feet to an iron pin set;

North $06^{\circ} 18' 58''$ West, a distance of 20.13 feet to an iron pin set;

North $83^{\circ} 18' 59''$ West, a distance of 108.37 feet to an iron pin set;

South $75^{\circ} 43' 51''$ West, a distance of 20.79 feet to an iron pin set;

North $20^{\circ} 51' 24''$ West, a distance of 18.00 feet to an iron pin set;

South $69^{\circ} 08' 36''$ West, a distance of 60.00 feet to an iron pin set;

2.194 ACRES

-2-

North 20° 39' 10" West, a distance of 16.84 feet to an iron pin set;

South 71° 50' 10" West, a distance of 136.04 feet to an iron pin set on the arc of a curve to the left;

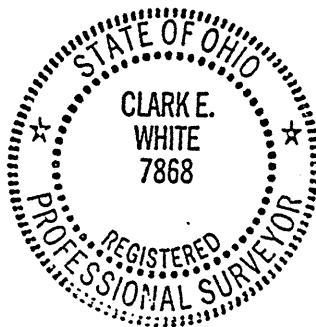
Southeasterly, along the arc of said curve (Delta = 01° 15' 36", Radius = 500.00 feet), a chord bearing and distance of South 21° 29' 12" East, 10.99 feet to an iron pin set; and

South 67° 53' 00" West, a distance of 80.25 feet to an iron pin set in the easterly right-of-way line of said State Route 256;

thence North 24° 14' 26" West, along said easterly right-of-way line, a distance of 228.00 feet to the True Point of Beginning and containing 2.194 acres of land, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

The basis of bearing for this description is North 19° 37' 59" West for the centerline of Survey of State Route 256 as per the Ohio State Plane Coordinate System South Zone NAD 83.



CEW:kdl/dec99

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Clark E. White 12/3/99

Clark E. White
Registered Surveyor No. 7868

REVISION REVIEWED AND APPROVED
FOR TRANSFER ONLY, FAIRFIELD COUNTY
AUDITOR/ENGINEER-TAX MAPS
[Signature] 4/17/00
044-03795.50
044-03795.40



Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)

Data For Parcel 0440379311

Base Data

Parcel:	0440379311
Owner:	OLENTANGY SQUARE LP
Address:	2374 TAYLOR SQUARE DR



[+] Map this property.

Mailing Address

Mailing Name:	OLENTANGY SQUARE LP
Address:	250 CIVIC CENTER DR STE 500
City State Zip:	COLUMBUS, OH 43215

Taxing District

City:	REYNOLDSBURG
Township:	VIOLET TOWNSHIP
School District:	REYNOLDSBURG C.S.D.

Legal

Neighborhood:	00740000 REYNOLDSBURG CORP	Legal Acres:	1.69
Legal Description:	REYNOLDSBURG CORP R 20 T 16 S 20 NW TIF	Land Use:	(430) C - RESTURANT, CAFETERIA, AND/OR B
Map Number:	0038-00-021-00	Property Class:	COMMERCIAL
		Range Twp Section:	0-0-0

Tax Year 2021 Certified Valuation

	Appraised	Assessed (35%)
Land Value:	\$120,430.00	\$42,150.00
Building Value:	\$0.00	\$0.00
Total Value:	\$120,430.00	\$42,150.00
CAUV Land Value:	\$0.00	

Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)

Taxable Value:

\$42,150.00

Tax Credits

Owner Occupancy Credit:

NO

Homestead Reduction:

NO

Notes

Notes:

[Report Discrepancy](#)

GIS parcel shapefile last updated 6/24/2022 1:26:20 PM.

The CAMA data presented on this website is current as of 7/4/2022 12:28:15 AM.

Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)

August 16, 2022

City of Reynoldsburg
Department of Development – Planning & Zoning Division
7232 East Main Street
Reynoldsburg, OH 43068

Re: Panera Bread, Taylor Square Shopping Center
Zoning Appeal

To Whom It May Concern:

This Statement of Hardship is regarding the pending application to add a drive through to the existing Panera Bread location operated by Covelli Enterprises at the Taylor Square Shopping Center. The applicant desires to remain in its current location at Taylor Square and plans to significantly reinvest in this store. Current plans include the addition of a drive through in order to remain reactive to consumer trends, which have evolved since the restaurant was originally built in 2002, particularly following the impacts of the Covid-19 pandemic on the quick service restaurant industry.

As consumer behavior quickly shifted during the pandemic in reaction to then applicable conditions, certain consumer behaviors that came to fruition during that tumultuous period will remain after the pandemic, namely convenience and accessibility for multiple modes of accessing business resources. The drive through being requested by the applicant will bring the property, its improvements, and its operations into current standing within the marketplace.

The drive through use being requested is permitted in the applicable zoning district. However, site conditions prevent the applicant from being able to fulfill all specified code requirements in full. Most notably, two primary existing site conditions prevent the applicant from accommodating a "bail out" or exit lane on the north side of drive through shown on the proposed site plan in the application.

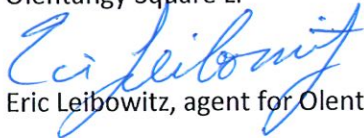
The first site condition is a possible bail out lane's proximity to a memorial tree and monument plaque for fallen Marine, Corporal Dustin A. Derga, who worked at the adjacent T.G.I. Friday's restaurant. Pictures of the memorial tree and monument plaque are attached to this letter as Exhibit A. The applicant and property owner believe it would be inappropriate and disrespectful to remove or relocate this tree and monument when the drive through can be constructed in such a manner not to affect the existing monument.

The second site condition is a possible bail out lane's proximity to the existing sidewalk on the south side of the T.G.I. Friday's building. If constructed, the drive lane would be approximately one (1) foot or less from the existing sidewalk. The applicants feel strongly this scenario could create conflicts between vehicular traffic and pedestrians using the existing sidewalk.

It is also helpful to note that Covelli Enterprises, the operator of Taylor Square's Panera Bread store, currently operates over 100 drive through locations in its portfolio as the largest Panera franchisee in the country. Of those locations, almost half do not utilize a bail out lane. Some of those locations have been in operation for many years and others have been developed more recently. This operating history has proven that this tenant can safely add and efficiently operate a drive through without a bail out lane.

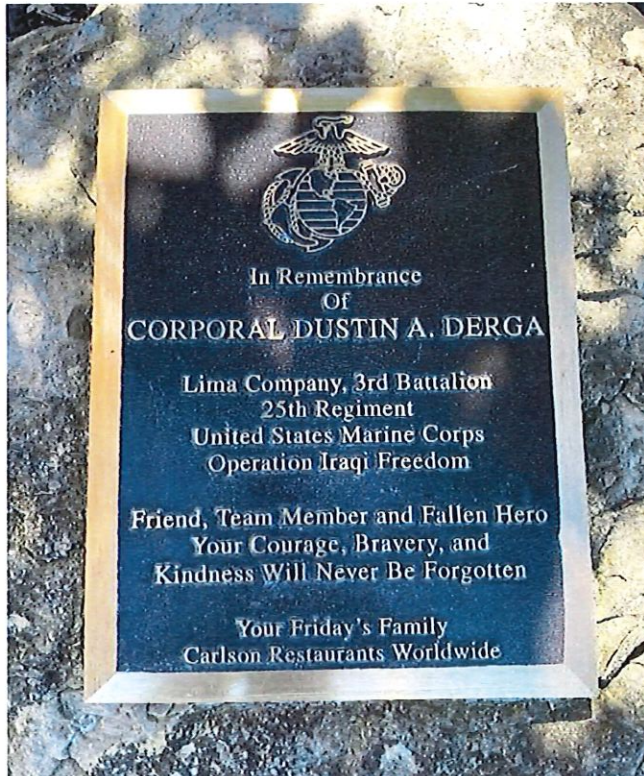
This variance request is in accord with the general purpose and intent of the regulations and shall not be injurious or otherwise detrimental to the public welfare. For the site-specific reasons noted above, approval of this request will provide for additional reinvestment in the community and keep an existing Reynoldsburg business serving members of its community in the most efficient manner possible.

Sincerely,
Olentangy Square LP

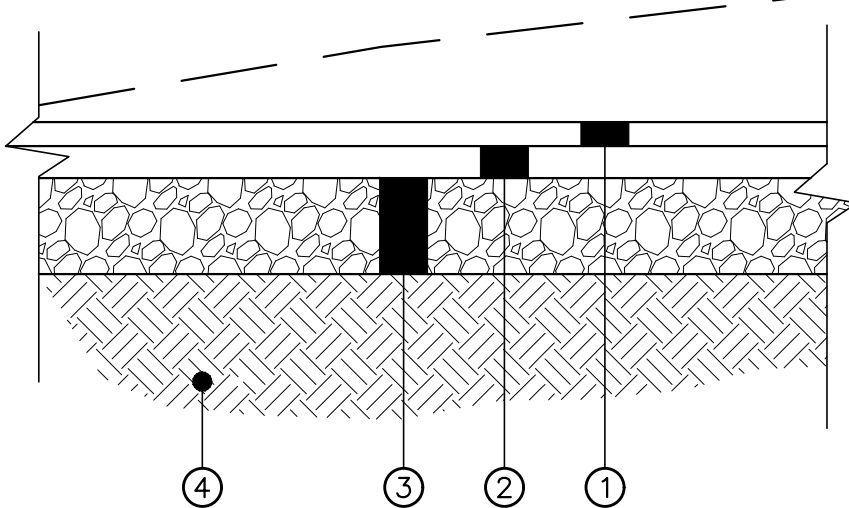


Eric Leibowitz, agent for Olentangy Square LP

Exhibit A

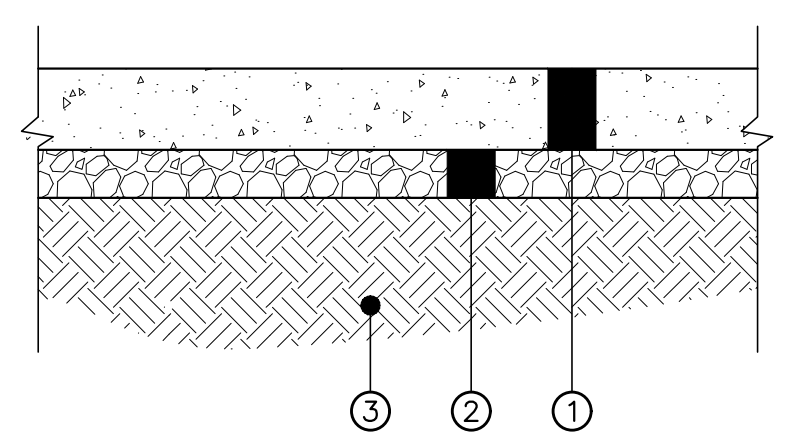


Attachment: Panera Bread Variance Application-Combined 081822 (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)



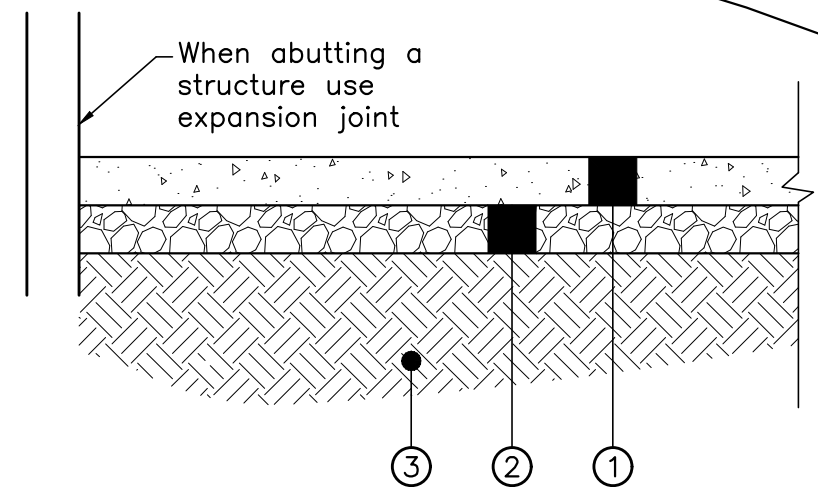
ASPHALT PAVEMENT SECTION
Not to Scale

- LEGEND**
- ① 1 1/2" of Asphalt Concrete, Item 448 Surface Course, Type I
 - ② 1 1/2" of Asphalt Concrete, Item 448 Intermediate Course, Type 1
 - ③ 8" Aggregate Base, Item 304
 - ④ Compacted Subgrade, Item 204



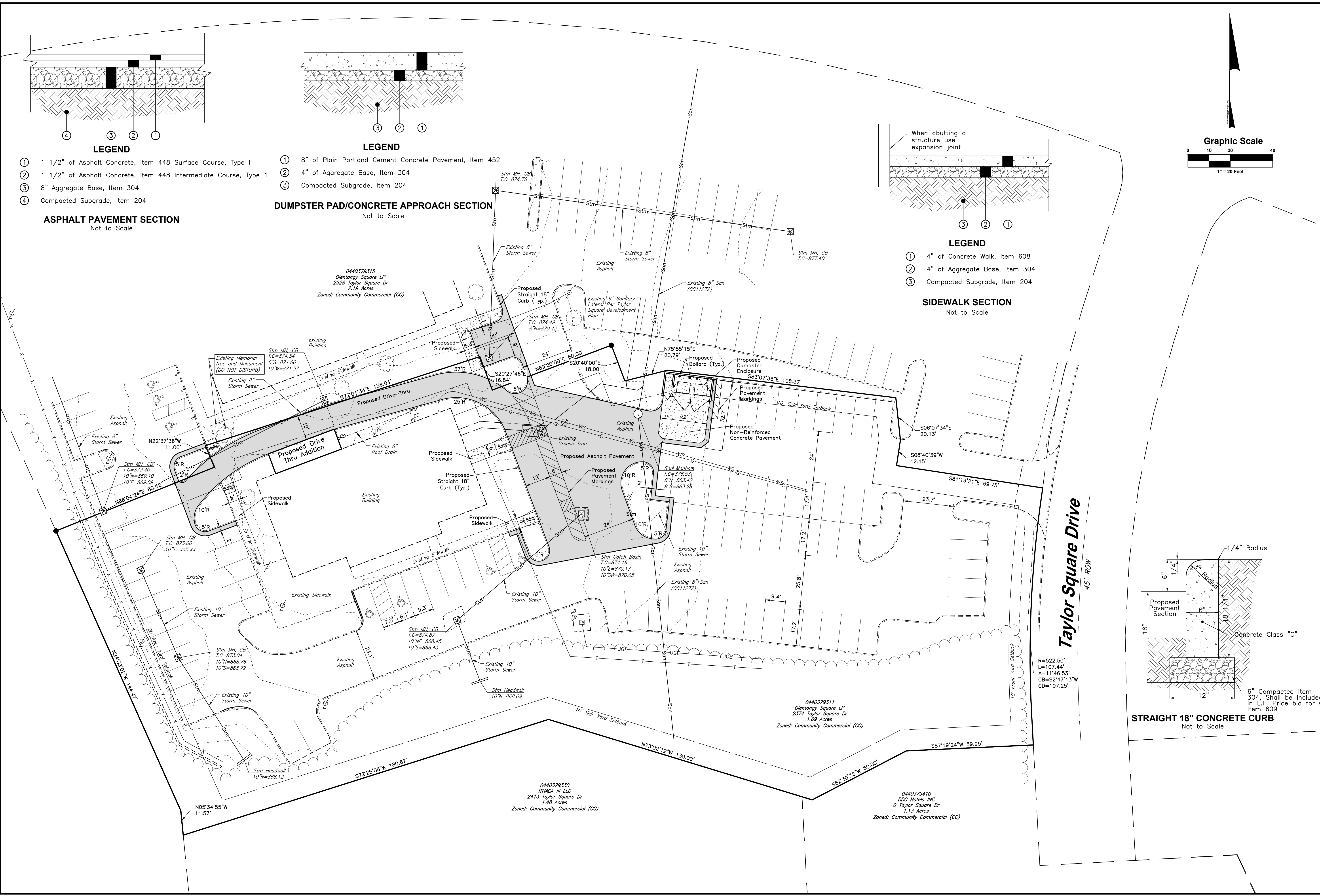
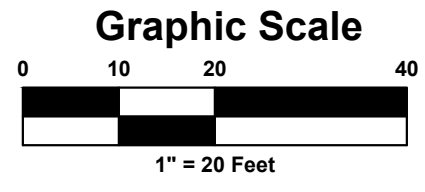
DUMPSTER PAD/CONCRETE APPROACH SECTION
Not to Scale

- LEGEND**
- ① 8" of Plain Portland Cement Concrete Pavement, Item 452
 - ② 4" of Aggregate Base, Item 304
 - ③ Compacted Subgrade, Item 204

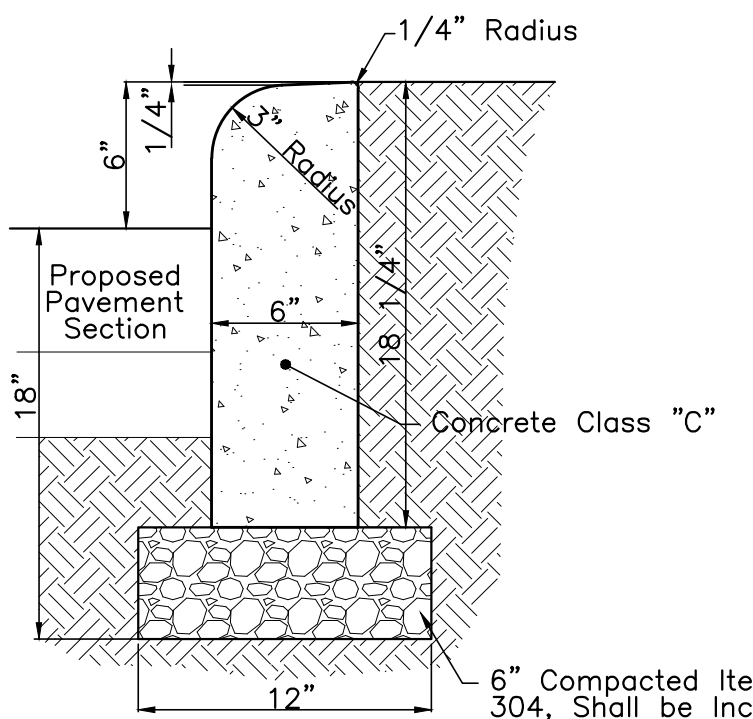


SIDEWALK SECTION
Not to Scale

- LEGEND**
- ① 4" of Concrete Walk, Item 608
 - ② 4" of Aggregate Base, Item 304
 - ③ Compacted Subgrade, Item 204



Taylor Square Drive
45' ROW



STRAIGHT 18" CONCRETE CURB
Not to Scale

<p>Revisions</p> <table border="1"> <thead> <tr> <th>Mark</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		Mark	Description						
Mark	Description								
<p>Drafted By: NSC</p>	<p>Reviewed By: CES</p>								
<p>CITY OF REYNOLDSBURG, FAIRFIELD COUNTY, OHIO</p> <p>PANERA BREAD</p> <p>DRIVE THROUGH ADDITION</p> <p>MINOR SITE PLAN</p> <p>SITE IMPROVEMENT PLAN</p>									
<p>Harral and Stevenson</p> <p>Civil Engineering and Surveying</p> <p>2869 North Court Street Circleville, OH 43115 Ph: 740.497.4432 www.harralstevenson.com</p>									
<p>Date: May 20, 2022</p>	<p>Scale: 1"=20'</p>								
<p>Project: E221006</p>	<p>Sheet: 2/2</p>								

Bakery-Cafe:

#4761

SYSTEM: N/A

Project Team:



Phillips | Sekanick Architects, inc.
Architecture | Planning | Consulting

142 East Market Street · Warren · OH · 44481
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[f] 330.395.4296
[w] www.phillips-sekanick.com

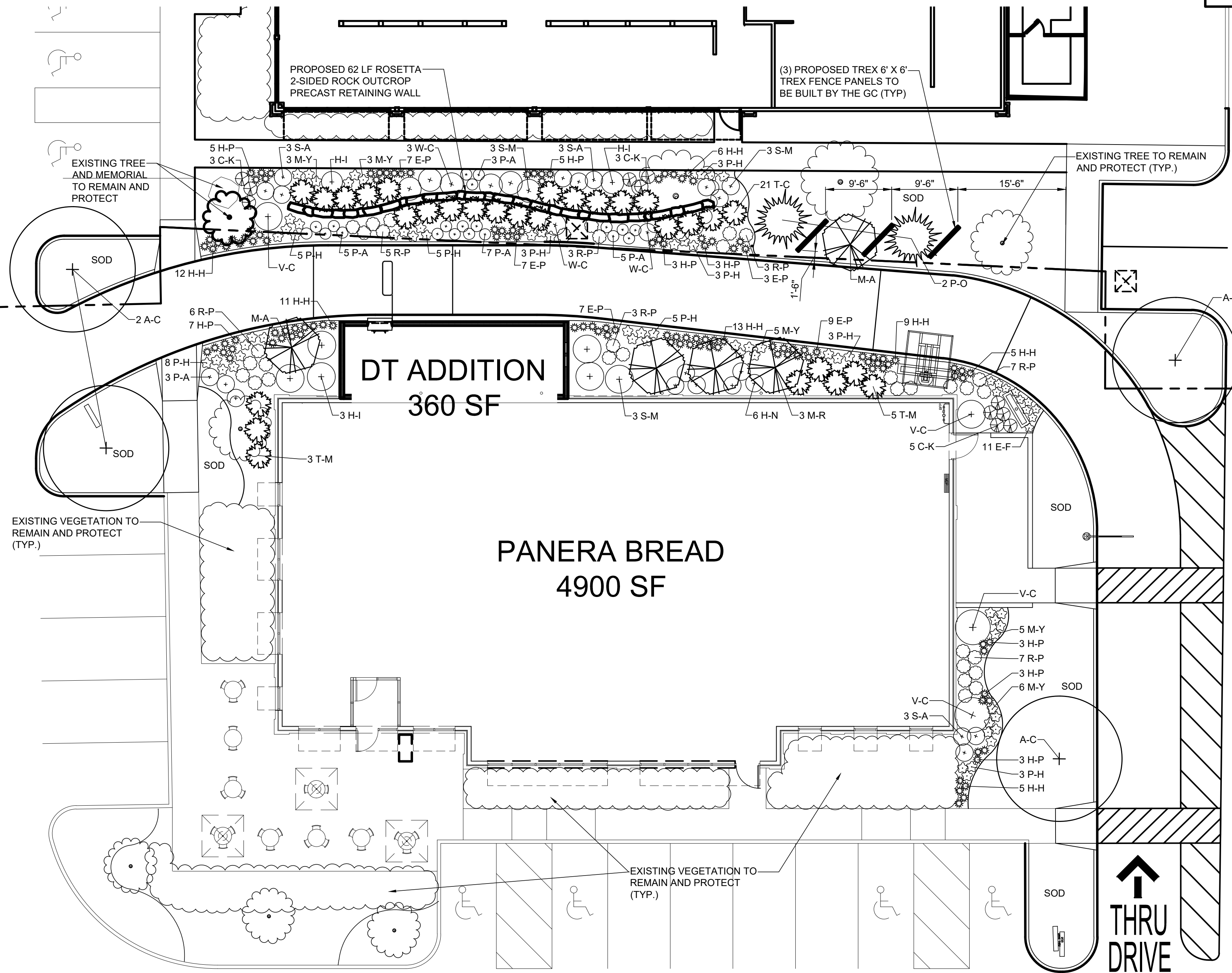
Professional Seal:



Project Title:

PLANT MATERIAL LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
4	A-C	ACER F. 'CELEBRATION'	CELEBRATION MAPLE	2" CAL.	B&B
11	C-K	CALAMAGROSTIS X A 'KARL FOERSTER'	KARL FOERSTER REEF GRASS	#2	CONT.
33	E-P	ECHINACEA PURPUREA 'POW WOW'	POW WOW WILD BERRY CONEFLOWER	#1	CONT.
11	E-F	EUONYMUS F. COLORATUS	PURPLELEAF WINTERCREPER	#1	CONT.
61	H-H	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#2	CONT.
32	H-P	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	#2	CONT.
5	H-I	HYDRANGEA A. 'INCREDIBALL'	INCREDIBALL HYDRANGEA	18"	#3 CONT.
6	H-N	HYDRANGEA M. 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	18"	#3 CONT.
3	M-R	MAGNOLIA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	8"	B&B
2	M-A	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	2" CAL.	B&B
22	M-Y	MISCHANTHUS S. 'YAKU JIMA'	DWARF MAIDEN GRASS	#2	CONT.
38	P-H	PENNISETUM A. 'HAMELN'	DWARF FOUNTAIN GRASS	#2	CONT.
2	P-O	PICEA OMORIKA	SERBIAN SPRUCE	8"	B&B
23	P-A	POTENTILLA F. 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	18"	#3 CONT.
34	R-P	ROSA 'DWARF PAVEMENT'	DWARF PAVEMENT ROSE	15"	#3 CONT.
9	S-A	SPIRAEA X B. 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	18"	#3 CONT.
9	S-M	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	24"	#5 CONT.
8	T-M	TAXUS X M 'CHADWICK'	CHADWICK YEW	18"	#3 CONT.
21	T-C	THUJA P. 'CAN CAN'	CAN CAN WESTERN ARBORVITAE	8"	B&B
4	V-C	VIBURNUM CARLESII 'CUYUGA'	CUYUGA VIBURNUM	36"	B&B
5	W-C	WEIGELA FLORIDA 'CARNAVAL'	CARNAVAL WEIGELA	36"	B&B



CONSTRUCTION DOCUMENTS
Bakery Cafe #4761
 2374 TAYLOR RD
 REYNOLDSBURG, OH 43068
 FAIRFIELD COUNTY



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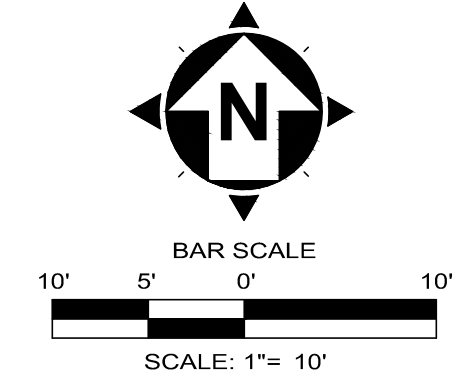
WE CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED IN OUR OFFICE AND UNDER OUR SUPERVISIONS AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF, COMPLY WITH APPLICABLE LAWS, REGULATIONS AND ORDINANCES OF THE JURISDICTION RELATING TO THE STRUCTURE AND BUILDING.

No.	Description	Date

LANDSCAPE PLAN

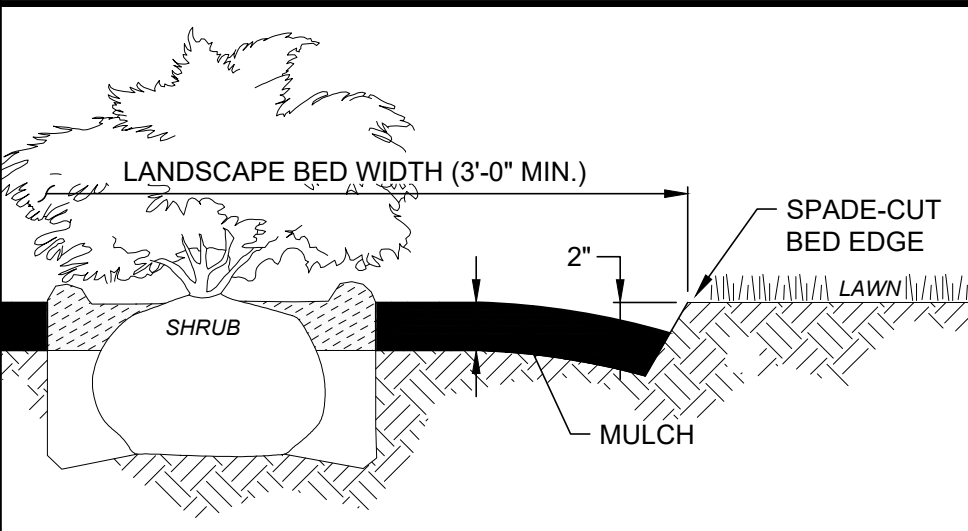
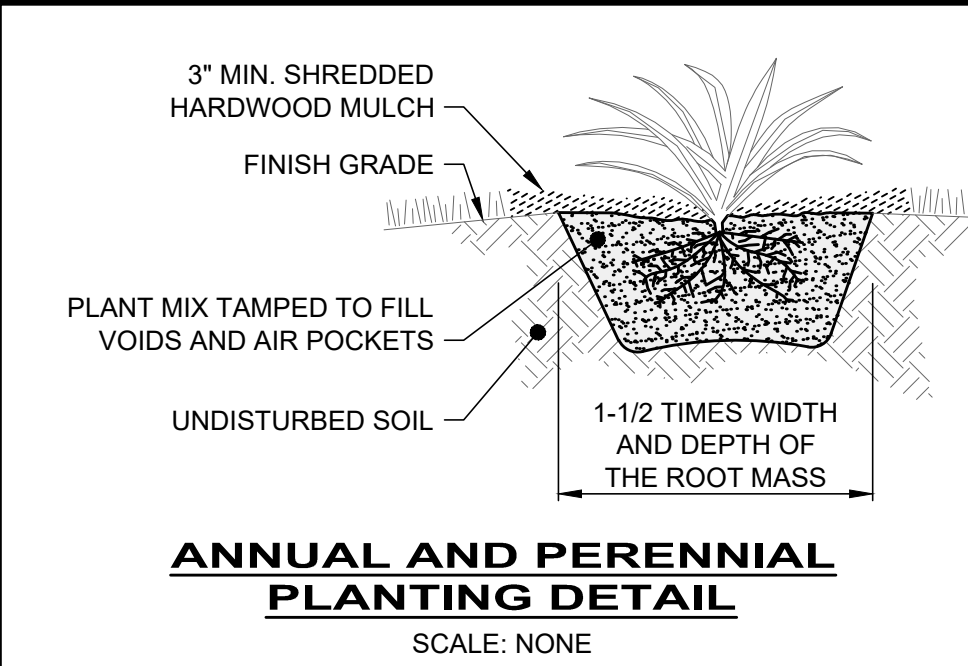
Project Number: 220433
 Drawn By: RW
 Issue Date: 05.17.22

Sheet Number: L1



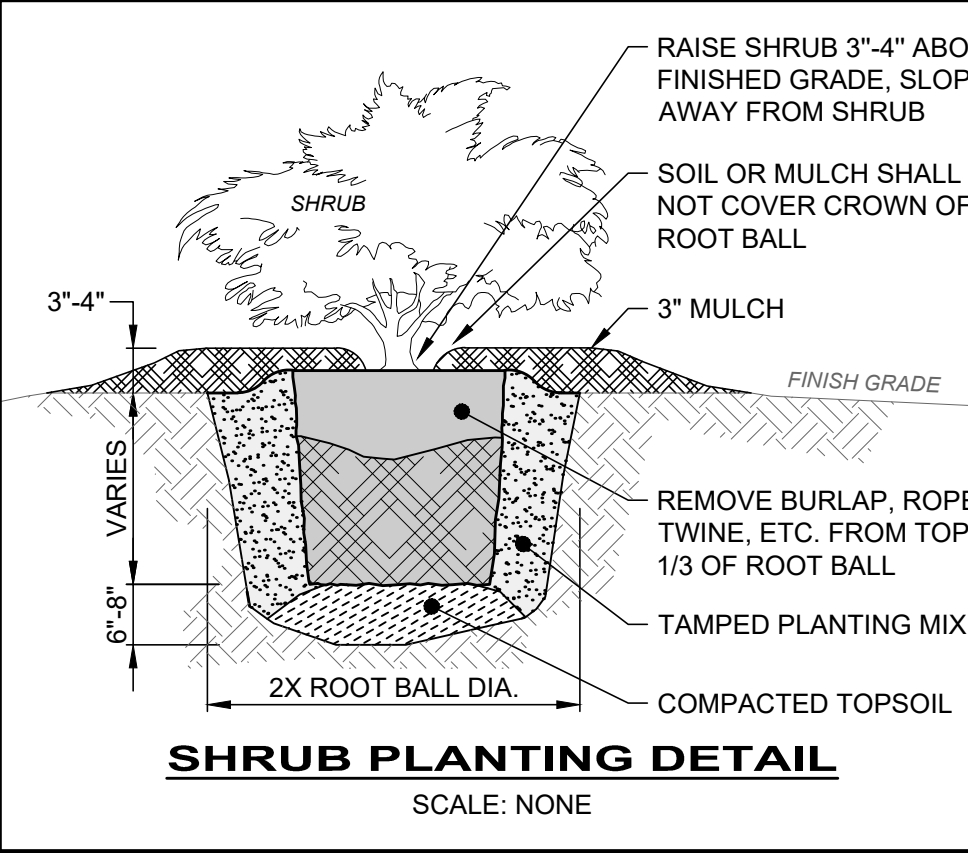
LANDSCAPE NOTES

- GRAPHICAL SCREENING AND SHADING IS USED TO DE-EMPHASIZE EXISTING CONDITION ITEMS AND SOME NEW IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK.
- PROPOSED DEMOLITION PLAN ITEMS ARE NOT SHOWN FOR CLARITY PURPOSES. SEE OTHER PLAN SHEETS.
- ALL DISTURBED AREAS SHALL BE SEEDDED PER PLAN.
- ALL LAWN, TREE AND PLANT INSTALLATION SHALL BE PERFORMED BY A FIRM SPECIALIZING IN LANDSCAPE WORK.
- THE CONTRACTOR MUST DETERMINE THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES AND THEIR EASEMENTS AND PERFORM WORK IN A MANNER THAT WILL AVOID DAMAGE OF UTILITIES. HAND EXCAVATE, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. ANY TREE OR PLANT, INCLUDING ROOTS, DAMAGED BY CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION.
- ALL TREES AND PLANTS SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND BE LABELED WITH A WATERPROOF TAG INDICATING SPECIES AND SIZE. SPECIFIED TREE AND PLANT SIZES ARE MINIMUM SIZES TO BE INSTALLED. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT. IF QUANTITIES LISTED IN PLANT MATERIAL LIST DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN.
- TREE TRUNKS SHALL BE WRAPPED PRIOR TO LEAVING THE NURSERY TO PROTECT FROM INJURY DURING TRANSPORT. WRAPPING SHALL BE REMOVED, BUT ONLY AFTER PLANTED. PLANT MATERIALS SHALL BE PROVIDED WITH PROTECTIVE COVERINGS DURING TRANSPORT TO REDUCE DESICCATION.
- THE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED AT HIS EXPENSE BY A TESTING LABORATORY TO DETERMINE AMENDMENTS, IF ANY, TO EXISTING SOILS.
- PLANT MIX SHALL CONSIST OF EXISTING SOIL FREE OF DEBRIS, STICKS AND STONES GREATER THAN 1/2", AND CONTAIN TWENTY PERCENT (20%) ORGANIC MATTER BY VOLUME. 95% OF TOPSOIL SHALL PASS A 2.0 MIL SIEVE. ADD SOIL AMENDMENTS TO THE EXISTING SOIL AS REQUIRED BY THE SOIL TEST. ORGANIC MATTER SHALL CONSIST OF COMPOSTED LEAVES, COMPOSTED SLUDGE OR OTHER APPROVED MATERIAL. PEAT MOSS IS NOT AN ACCEPTABLE MATERIAL. ADD GRANULAR SOIL MOIST TO TOPSOIL MIX, APPLIED PER MANUFACTURER'S RECOMMENDED RATES FOR THE SIZE AND TYPE OF PLANT MATERIAL SPECIFIED, IF NO IRRIGATION IS APPLIED.
- TREES AND PLANTS SHALL BE DELIVERED AFTER PREPARATION FOR PLANTING HAS BEEN COMPLETED, BUT NOT STORED MORE THAN 2 WEEKS. PLANT IMMEDIATELY UPON DELIVERY, OR PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST.
- LAYOUT OF TREES AND PLANT MATERIALS MUST BE ACCEPTED BY THE ARCHITECT PRIOR TO PLANTING. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN 24" FROM A BUILDING, CURB, PAVEMENT OR SIDEWALK.
- PLANTING BED PREPARATION: LOOSEN EXISTING SOIL; ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4-5" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADES, FINISHED GRADES, OR MULCH ABOVE FINISHED FLOOR ELEVATIONS. PLANTING BEDS AGAINST BUILDING WALLS SHALL BE SLOPED AWAY FROM THE BUILDING AT A MINIMUM 1% SLOPE.
- MULCH ALL PLANTING BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED HARDWOOD BARK.
- ALL NYLON ROPING, TWINE, SHALL BE REMOVED, PRIOR TO PLANTING. ALL NON-TREATED BURLAP AND/OR NON-ROT PROOF BURLAP TO BE REMOVED FROM TOP HALF OF ROOTBALL. ALL TREATED BURLAP OR POLYPROPYLENE BURLAP TO BE COMPLETELY REMOVED FROM PLANTING PIT.
- FERTILIZER: EACH TREE AND SHRUB PLANTING TO RECEIVE GRANULAR NITROFORM (18-6-12) FERTILIZER OR EQUAL.
- WATER SHALL BE FURNISHED FOR WATERING TREES AND PLANTS ON A WEEKLY BASIS IN ABSENCE OF 1-1/2" RAINFALL. TREES AND PLANTS SHALL BE THOROUGHLY WATERED THROUGHOUT THE PERIOD OF ESTABLISHMENT. SATURATE THE ROOT ZONE AND MULCHED AREA OF EACH TREE OR PLANT WITHOUT CAUSING RUN-OFF. DRIP IRRIGATION BAGS MAY BE USED ON INDIVIDUAL TREES.
- TAGS, STRINGS, ROPES AND WIRES SHALL BE REMOVED FROM TREES AND PLANTS ABOVE AND BELOW GRADE.
- BEFORE FINAL INSPECTION BY THE ARCHITECT, ALL TREES AND PLANTS SHALL BE IN PLACE AND UNDER THE CARE OF THE CONTRACTOR FOR A PERIOD OF ESTABLISHMENT. THIS PERIOD SHALL BEGIN UPON COMPLETION OF PLANTING OPERATIONS AND CONTINUE UNTIL OCTOBER 1ST, BUT IN NO CASE BE LESS THAN ONE (1) GROWING SEASON FROM JUNE 1ST TO OCTOBER 1ST. DURING THIS PERIOD, HORTICULTURAL PRACTICES SHALL BE FOLLOWED THAT WILL ENSURE THE VIGOR AND GROWTH OF TRANSPLANTED MATERIAL INCLUDING WATERING, MULCHING, STAKING, GUYING, WEEDING, CULTIVATING AND PRUNING.
- ALL TREES AND PLANTS SHALL BE GUARANTEED AND COVERED BY A MAINTENANCE BOND FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE BY THE ARCHITECT. ANY TREE OR PLANT WHICH DIES, TURNS BROWN OR DEFLOLIATES PRIOR TO ACCEPTANCE SHALL BE REMOVED AND REPLACED WITH THE SAME SPECIES, QUANTITY AND SIZE AND MEET ALL SPECIFICATIONS BEFORE OR AT THE END OF THE GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE OWNER. TREES OR PLANTS REPLACED IN THE FALL THAT DIE BEFORE OR DURING THE SPRING PLANTING SEASON SHALL BE REPLACED IMMEDIATELY.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE GRADED TO A SMOOTH, UNIFORM SURFACE WITH LOOSE UNIFORMLY FINE TEXTURE INCLUDING REMOVAL OF ALL STONES GREATER THAN 1/2", STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER BEFORE PLACING TOPSOIL USING ROCKHOUND LANDSCAPE RAKE EQUIPMENT. RESEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIX.
- BED EDGES SHALL BE CUT IN A DEFINED "V" SHAPE WITH AN APPROXIMATE 60° ANGLE TO THE GROUND AND TO A MINIMUM OF 2" DEPTH. TAKE SPECIAL CARE TO INSURE THAT PLANTING BEDS DO NOT INHIBIT DRAINAGE.
- BOTH STOCKPILED AND FURNISHED TOPSOIL SHALL BE SCREENED FROM CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STONES LARGER THAN 1/2", AND OTHER EXTRANEOUS MATTER BEFORE PLACEMENT. TOPSOIL SHALL BE LOAMY, NOT CONSIST OF MORE THAN 38% CLAY AND CONFORM TO THE U.S. DEPARTMENT OF AGRICULTURE SOIL TEXTURING TRIANGLE. ANY TOPSOIL LEFT OVER AFTER PROJECT COMPLETION SHALL BE DISPOSED OF OFF-SITE.
- IF THERE IS NOT ENOUGH TOPSOIL FROM THE INITIAL STRIPPING OPERATIONS, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL AS NEEDED.
- LAWN AREAS SHALL RECEIVE A 4" MINIMUM THICKNESS OF TOPSOIL AND, AFTER LIGHT ROLLING, MEET THE GRADES AND ELEVATIONS SHOWN ON THE GRADING PLAN.
- DO NOT SEED UNTIL ACCEPTANCE OF FINISH GRADE BY THE ARCHITECT.
- MOISTEN PREPARED AREAS BEFORE SODDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE INSTALLING SOD. DO NOT CREATE A MUDDY SOIL CONDITION.
- THE CONTRACTOR SHALL ESTABLISH A SMOOTH ACCEPTABLE LAWN INCLUDING SOIL CONDITIONING, FINE GRADING, WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING AS NEEDED. THE OWNER WILL PROVIDE A FINISHED GRADE WITHIN 3" OF FINAL GRADE.
- SEEDING MIXTURE: MIX SHALL BE 65% 3 VARIETY BLEND CREEPING RED FESCUE, 20% 3 VARIETY BLEND PERENNIAL RYE AND 15% KENTUCKY BLUEGRASS BLEND. FERTILIZE WITH A NON-BURNING MEASURED RELEASE FERTILIZER, OR RAKE IN A LIGHT APPLICATION OF 12-12-12 AT A RATE OF 15 LB. PER 1,000 S.F. BEFORE SEEDING.
- SOD, IF SPECIFIED, SHALL BE A WELL-ROOTED KENTUCKY BLUE GRASS BLEND OBTAINED FROM A COMMERCIAL SOD NURSERY FREE OF DANDELIONS, CRABGRASS AND NOXIOUS WEEDS (I.E. WILD MUSTARD, THISTLES, QUACK GRASS, ETC.).
- DO NOT SEED OR SOD IF GROUND IS FROZEN OR EXTREMELY WET.
- LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS; DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK FROM BOARDS TO AVOID DAMAGE TO SUBGRADE OR SOD. TAMP OR ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD; REMOVE EXCESS TO AVOID SMOTHERING OF ADJACENT GRASS. ANCHOR SOD ON SLOPES WITH WOOD PEGS TO PREVENT SLIPPAGE.
- WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.
- ALL SODDING WORK SHALL BE GUARANTEED FOR ONE (1) FULL GROWING SEASON TO COMMENCE UPON FINAL ACCEPTANCE. SOD AREAS SHALL BE REPLACED IF SATISFACTORY ESTABLISHMENT DOES NOT OCCUR.
- MAINTAIN LAWNS THROUGH TWO CUTTINGS AND ASSUME FULL RESPONSIBILITY FOR A FULL AND HEALTHY GROWTH. RESEED ALL BARE SPOTS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH THEIR CONSTRUCTION PROCEDURES.

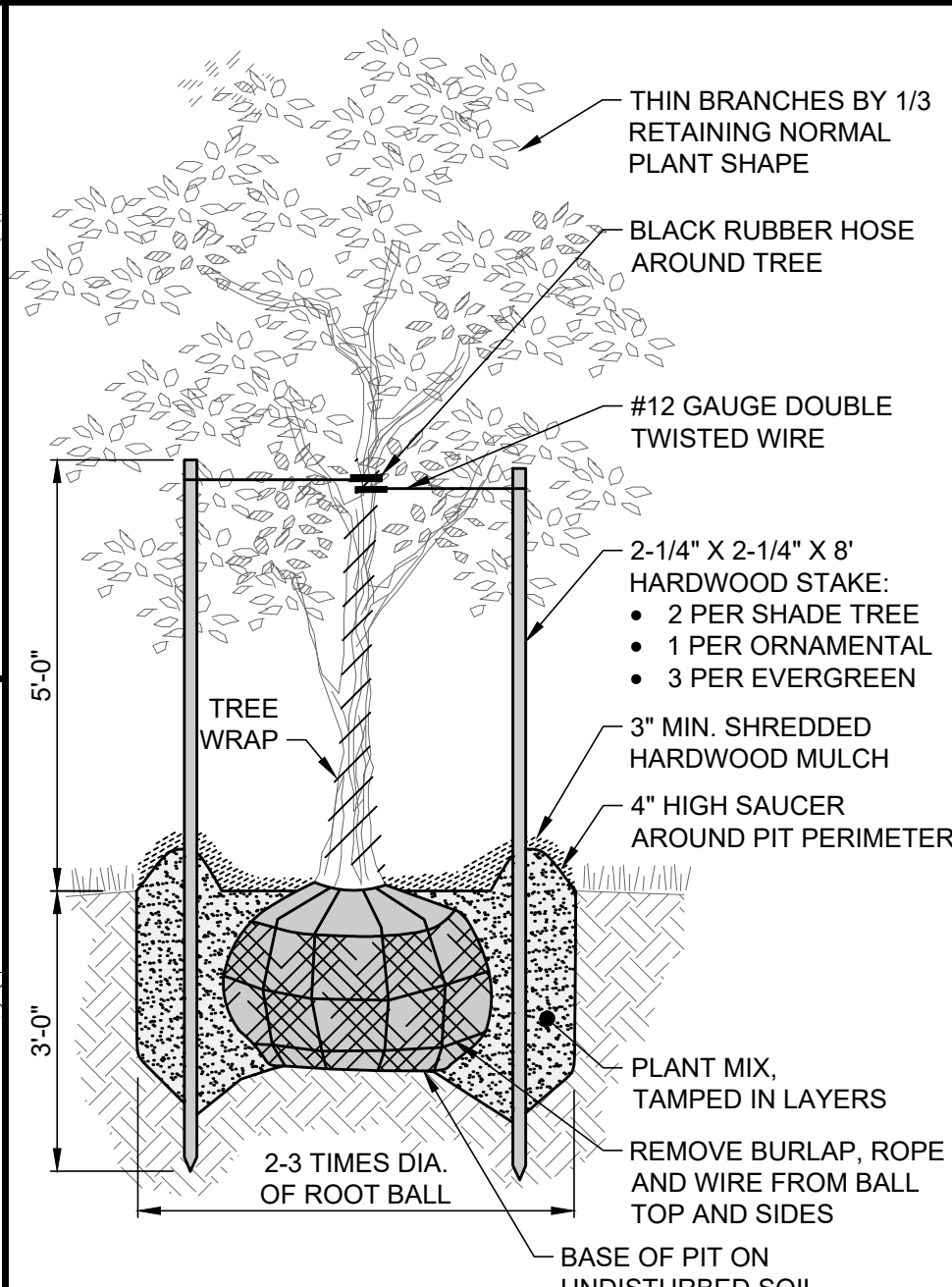


- NOTES:
- MULCH SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN OR BLACK COLOR PER OWNER CHOICE, EXTRA FINE WITH TEXTURE AT 1-1/2" OR LESS FREE OF WEEDS, CHAFF OR OTHER FOREIGN MATERIAL.
 - MULCH SHALL BE PLACED IN ALL PLANTING AREAS SPREAD TO A SMOOTH, UNIFORM SURFACE PLANE WITH CRISP STRAIGHT AND SMOOTH CURVED MULCH BED EDGES. BED EDGES SHALL BE CUT IN "V" SHAPE WITH APPROXIMATE 60° ANGLE TO GROUND.
 - THIS DETAIL SHOWS A SHRUB FOR REFERENCE ONLY. SEE LANDSCAPE PLAN FOR ACTUAL PLANT TYPES AND LOCATIONS, AND CONFIGURATION OF BEDS.

MULCH BED DETAIL
SCALE: NONE

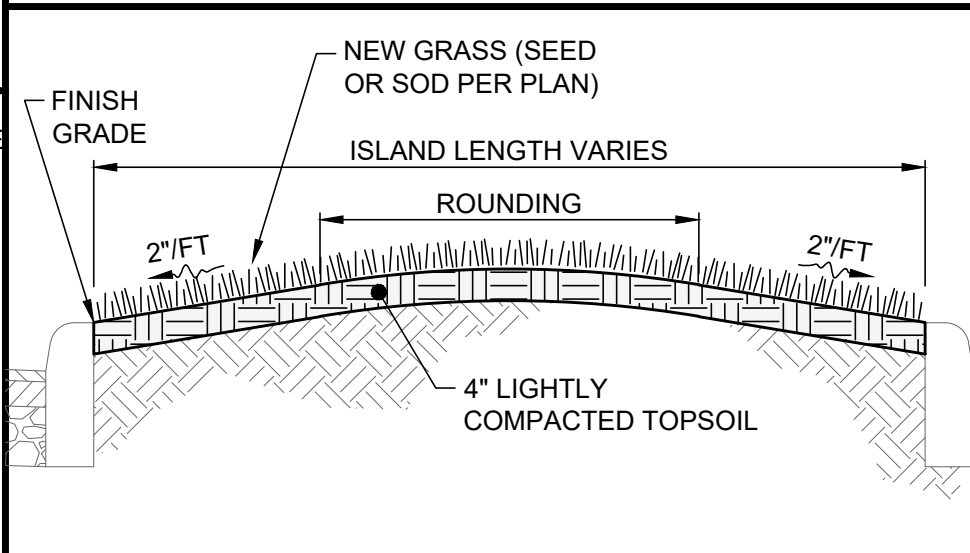


SHRUB PLANTING DETAIL
SCALE: NONE



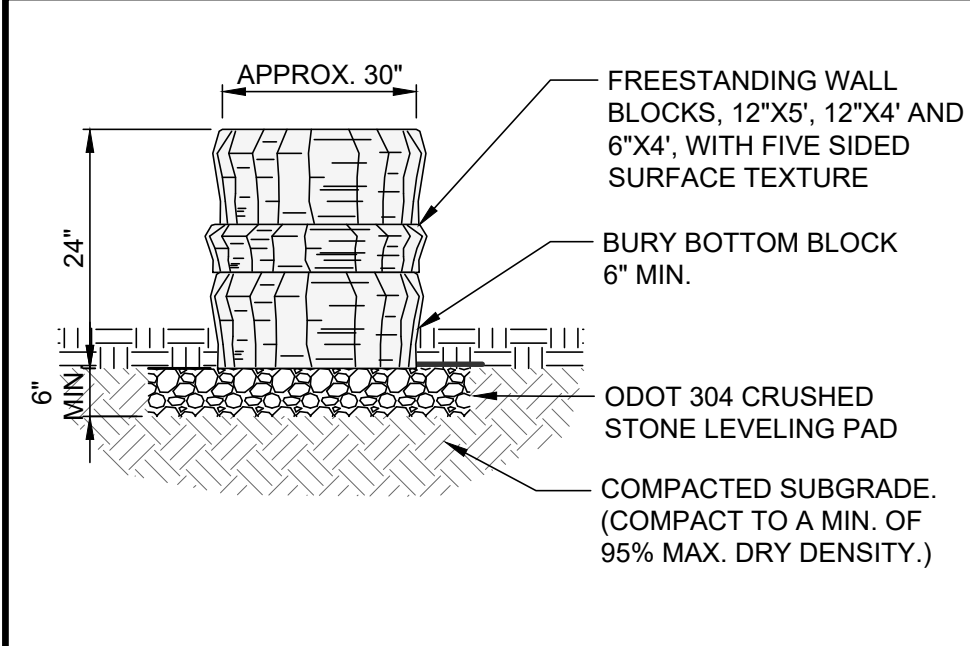
- NOTES:
- CROWN OF ROOT BALL TO BEAR THE SAME RELATION TO FINISH GRADE WHICH IT WAS GROWN AT THE NURSERY.
 - DO NOT DAMAGE ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 - REMOVE TREE RINGS, TREE WRAP AND STAKES 1 YEAR AFTER INSTALLATION. NOTIFY OWNER PRIOR TO REMOVAL.

TREE PLANTING DETAIL
SCALE: NONE



- NOTES:
- PLACE TOPSOIL TO TOP OF CURB OR EDGE OF SIDEWALK AND FINE GRADE TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

GRASS PLANTING DETAIL
SCALE: NONE



- NOTES:
- STONE TO BE 2-SIDED ROSETTA OUTCROPPING PALLET D FREESTANDING BLOCKS AS MANUFACTURED BY ROSETTA HARDSCAPES 844-367-9763. COLOR TO BE CUYAHOGA AS APPROVED BY OWNER.

ROSETTA OUTCROP WALL DETAIL
SCALE: NONE

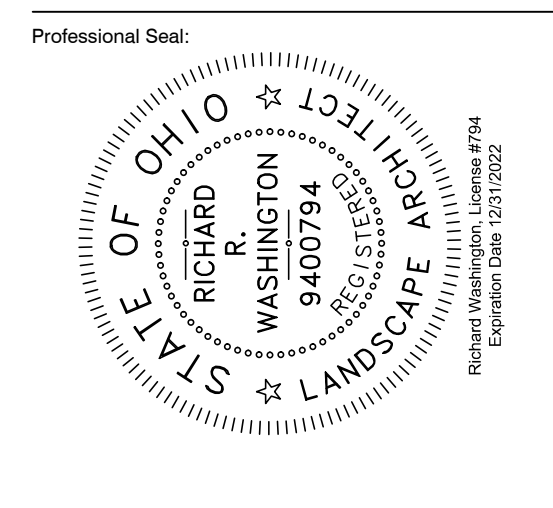
Bakery-Cafe: **#4761**

SYSTEM: N/A
Project Team:

your trusted advisor
consultants engineers architects planners

Phillips | Sekanick Architects, Inc.
Architecture | Planning | Consulting

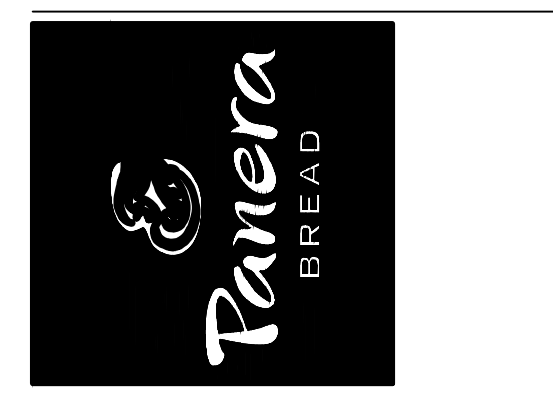
142 East Market Street · Warren · OH · 44481
[p] 330.395.9518
[f] 330.395.4296
[w] www.phillips-sekanick.com



Professional Seal:
Project Title:

CONSTRUCTION DOCUMENTS

Bakery Cafe #4761
2374 TAYLOR RD
REYNOLDSBURG, OH 43068
FAIRFIELD COUNTY



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WE CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED IN OUR OFFICE AND UNDER OUR SUPERVISIONS AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF, COMPLY WITH APPLICABLE LAWS, REGULATIONS AND ORDINANCES OF THE JURISDICTION RELATING TO THE STRUCTURE AND BUILDING.

No.	Description	Date

LANDSCAPE DETAILS

Project Number: 220433
Sheet Number: **L2**

Drawn By: RW
Issue Date: 05.17.22





Engineers, Surveyors, Planners, Scientists

MEMO

Date: September 7, 2022

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: Panera Drive Thru Addition (2374 Taylor Square Drive)

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the proposed drive thru addition to the existing Panera store located at 2374 Taylor Square Drive. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The proposed drive thru addition is to be located on the north side of the existing building. Traffic will enter from the east side and exit on the west side of the building. The provided lane width of 12-feet is acceptable.
 - a. The drive thru lane does not have a bypass lane for a vehicle to exit the lane if desired midway through the queue. A bypass lane is required by City Code.
 - i. Within the application, the applicant states that a bypass lane was not included as it would have required a memorial tree and placard to be removed. This tree was planted in honor of a former employee of the TGI-Fridays restaurant directly to the north. Additionally, the bypass lane would have been in very close proximity to the existing sidewalk leading into the adjacent restaurant.
 - ii. With these hardships in mind, we take no issue with the elimination of the bypass lane. However, signage should be included at the beginning of the drive thru queue stating a bypass lane is not present.
2. The northern edge of the drive thru lane appears to be encroaching onto the adjacent property to the north. An easement shall be coordinated with the adjacent owner and put in place as part of the plan.
3. Signage will also be required to be placed at the exit of the drive thru stating "Do Not Enter" or similar to prevent traffic from entering the drive thru lane from the wrong direction.
4. The proposed pavement section in the parking lot will need to match the original Panera plan, which consisted of four inches (4-in) of asphalt concrete and eight inches (8-in) of aggregate base.
5. A refuse vehicle will likely have difficulty accessing the relocated dumpster since it is perpendicular to the drive aisle. The enclosure should be angled to allow easier access or the owner should provide some level of assurance the refuse vehicle will access the enclosure "after hours" when traffic will not impede their maneuvering.
6. The landscape plan shows plantings off of the property. Will an agreement be required with the adjacent owner to plant and/or maintain this landscaping?

UTILITIES

7. Any utility adjustments, relocations or additions should be shown on the PGU plan.

STORMWATER

8. At time of PGU submittal, engineer shall submit calculation showing percent increase or decrease of impervious area based on site modifications. If there is an increase, a stormwater management report will be required to be submitted showing either that the regional stormwater management feature can accept the additional impervious area or if not, how the system will be modified or supplemented to accept it.

DETAILS / SPECIFICATIONS

9. Where applicable, refer to Reynoldsburg Standard Construction Drawings on the PGU plan.



ARCHITECTS. ENGINEERS. PLANNERS.

September 8, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: Panera Bread; 2374 Taylor Square Road; Case

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. Project Summary

- a. The property is located at 2374 Taylor Square Road. The site consists of 2 parcels under single ownership totaling 3.88 acres. The site is zoned CC-Community Commercial and is found at the southeast corner of Lancaster Avenue (State Route 256) and Taylor Road SW.
- b. Adjacent zoning districts are RM – Residential Medium to the north and east and SR – Suburban Residential to the north.
- c. The site currently contains two buildings on separate parcels, both used as Food Service – Full-Service Restaurants including the Panera Bread Restaurant.
- d. The applicant is seeking a variance to Section 1105.13, L “to provide escape/abort lanes for vehicles desiring to leave the stacking lanes or to avoid disabled vehicles.” The lane is typically required to allow those staked in the drive – thru lane to leave the que without having to wait to the end and to allow full site circulation without leaving the site.

2. Zoning Review-Drive-Thru Service (Section 1103.13, L – Drive-Thru Service)

- a. The proposed drive-thru lane is 12 feet in width, which does not allow sufficient room “to provide escape/abort lanes for vehicles desiring to leave the stacking lanes or to avoid disabled vehicles” along its entire length (Section 1105.13, L, Supplementary Use Conditions, Drive-Thru Service).
- b. The applicant cites in their statement of hardship that the provision of an escape/abort lane would not be possible because of an existing memorial tree and monument plaque and because of the proximity (1-foot) of an existing sidewalk on the south side of the adjoining T.G.I. Friday’s building. If you consider the entire 2 parcel site, including the T.G.I. Friday’s building there is sufficient circulation space (2 twelve-foot parking drive aisle lanes) to circulate the site without the drive-thru escape/abort lane.
- c. A dumpster and enclosure are proposed to be relocated from the side of the existing building to a location within the parking lot but with less space for sanitation vehicles to maneuver around parked vehicles (backing straight in and out) to and from the enclosure. If the proposed location is changed to be slightly to the north and east and placed within the parking lot island area, the dumpster and enclosure can be angled to allow use of the circulation isle for maneuvering. Otherwise, hours for pick-up will need to be restricted to after business to take advantage of the space vacated by parked cars.

Attachment: OHM_2022_0915 Reynoldsburg BZBA _Panera Application Review (App# 2022-5351, 2374 Taylor Square Dr, Leibowitz)



Recommendation

- a. The applicant is seeking a variance to allow for the elimination of the required escape/abort lanes for a drive-thru facility. The variance request is consistent with Section 1109.13, Variances and, more specifically, with the variance standards of Section 1109.13, D Variances.
- b. The variance is supported if the following conditions and safeguards (Section 1109.13, Variances, E) are met:
 - i. Allow for the variation of a drive-thru lane and an escape/abort lane (Section 1103.13, L) to a drive-thru lane only servicing a drive-thru addition to an existing restaurant.
 - ii. To allow for better circulation, relocate the refuse dumpster and enclosure slightly to the north and east to within the parking lot island area to allow use of the circulation isle for maneuvering. Or, restrict pick-up hours to after business to take advantage of the space vacated by parked cars.

If you have any questions or comment, please feel free to contact us.

Very truly yours,

Kim Littleton

Kim C. Littleton, AICP
Senior Planner/Project Manager

Development Department**Eric Meyer****7232 E. Main Street****Reynoldsburg OHIO 43068****Phone****MOTION REQUEST**

DATE: September 15, 2022

TO: Board of Zoning and Building Appeals

RE: 772 Robbins Loop Ct; Application #2022-5311; Applicant Kimberly Adams;
Variance

Approval:

Joe Begeny	Pending Chris Shook	Stephen Cicak
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See attached documents

September 8th, 2022

Board of Zoning and Building Appeals
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: 772 Robbins Loop, Reynoldsburg, OH 43068 (Parcel ID No. 013-027414-00.036)
 – Variance Permit Case #2021-5311 Staff Report

Board of Zoning and Building Appeals:

Below is the staff review of the above referenced application.

1. Project Summary

- a. The property is located at 772 Robbins Loop, Reynoldsburg, OH (Parcel ID No. 13-027414-00.036) and is within the Suburban Residential (SR) Zone.
- b. The applicant, Kimberly Adams, is requesting Board of Zoning and Building Appeals approval for a variance on the subject parcel.
- c. The variance requests to install an Alumi-guard fence on the property that is placed on the interior of the rear and side yards. The proposed fence location shows a seven-foot setback from the existing property line. The proposed southernmost fence location and proposed easternmost fence location does not comply with the standards in Section 1105.11.ii.5.
- d. The proposed fence does meet applicable materials and height requirements.
- e. This property is located on a corner lot that is adjacent to properties in the rear and east side. Applicant has included approval from HOA to construct.

2. Zoning Review (Section 1105.11)

Suburban Residential Fence Standards

- a. Section 1105.11.ii.5 - Rear and side yard fences shall be placed on the property line of the subject property.
- b. Section 1105.11.ii.2 - Front and corner yard fences shall be no closer to the right of way than three feet (3FT).

3. Staff Recommendation

- a. The board shall consider whether the proposed variance is consistent with the standards contained in the City's zoning ordinance and Comprehensive Master Plan.



Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

AUG - 3 2022

App./Case#: 2022-5311

Date Submitted: 8/3/22

Fee Amount: 200 -

Paid: CK 2051

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: <u>772 Robbins Loop Ct. Reynoldsburg Off</u>	Parcel ID#(s): <u>013-027414-00.034</u>
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II. PROPERTY OWNER OF RECORD

Property Owner Name(s): <u>Kimberly Adams</u>	
Contact Email: <u>Kim.Adams@ohiohealth.com</u>	Contact Phone Number: <u>614-753-0068</u>

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: <u>N/A</u>	Contact Name:
Contact Email:	Contact Phone Number:
Description of Use:	

IV. APPLICANT INFORMATION

Applicant Name: <u>Kimberly Adams</u>	Applicant Address: <u>772 Robbins Loop Ct. Reynoldsburg Off</u>
Applicant Phone Number: <u>614-753-0068</u>	Applicant Email: <u>Kim.Adams@ohiohealth.com</u>
<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Variance (Non-Residential (\$450) / Residential (\$200): REQUEST to install fence on residential property. Permit from city denied after HOA approved due to not following zoning policy section 1105.11 (fences shall only be placed on the property line of the subjects property). SEE ATTACHED documents.

Conditional Use Permit (\$350): _____

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: Kimberly Adams Date: 8/1/22
 By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

Additional Notes:	**OFFICE USE ONLY**	
	Zoning Information	
	Zoning District: _____	
	<input type="checkbox"/> Historic District	
	Add'l Approvals Req'd	
	<input type="checkbox"/> Planning Commission	
	<input type="checkbox"/> Other: _____	
P&Z Admin.: _____		Date: _____

BZBA Meeting
Date: _____
<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Approved w/ Conditions
<input type="checkbox"/> Tabled
<input type="checkbox"/> Denied

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

Variance request to install fence on residential property at 772 Robbins Loop Ct Reynoldsburg, OH

The home sits on a corner lot in a cul-de-sac with a unique back yard that backs up to the neighbor's side of house. It runs short in depth with a large side yard. Zoning code states fence shall be built on the property line at sides and rear of property. Request is to modify to not extend fence to property lines for the following reasons:

- Fence would run parallel with sidewalk where pedestrian's walk
- Fence would be too close to the street when fences should be installed 15ft from street
- My dog would bark and run along fence where neighbors & children frequently walk
- Fence at the rear of property will appear to be in my neighbor's front yard
- Distance between property lines is to better maintain lawn between neighboring fences, to look cosmetically appealing, and not to have 3 different materials, color, height & design of fencing.

I've included HOA approval from Real Property Management for Woods at Reynoldsburg. I submitted this request to them in July of 2021 and did not get approval returned until February of 2022. I purchased fence once I got HOA approval and later submitted for permit being ordering took 6-8 weeks. Now that the permit is denied I may need more material which will endure more cost & time. If not approved I will need to modify my request to the HOA who is impossible to reach.

As a homeowner who has resided in Reynoldsburg at this property since 2005, I'm discouraged by this process where the HOA and city should be in alignment with bylaws. Homeowners should have a clear understanding prior to beginning projects to increase value in our neighborhoods by investing in our homes.

Thank you for your time and consideration of this request.

Regards,



Kimberly Adams

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

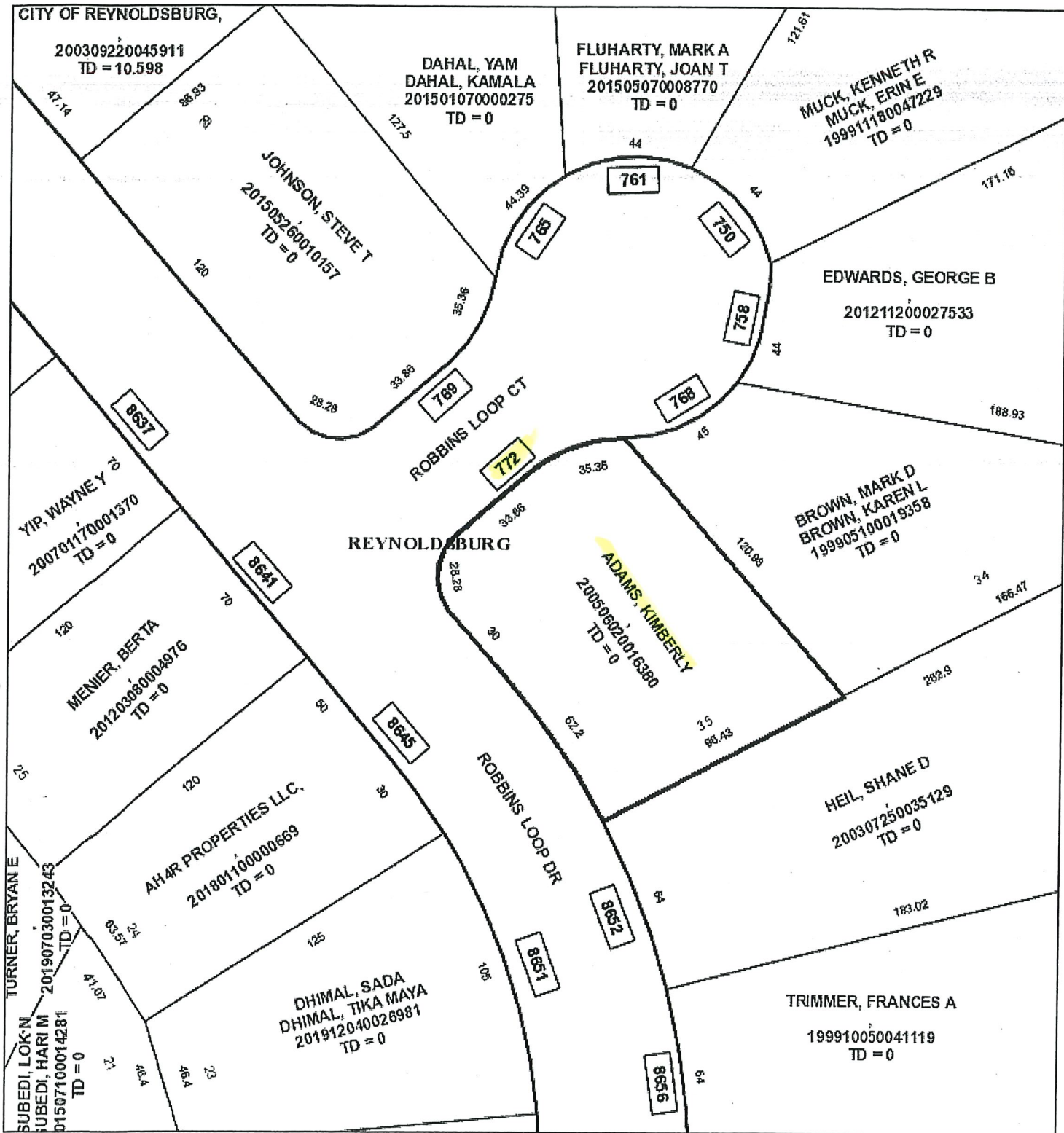
AUG - 3 2022

Property Report

Address		
KIMBERLY ADAMS -- 772 ROBBINS LOOP CT		
Engineer's Pin	Owner	Auditor's PIN
1620RB00116050035000	KIMBERLY ADAMS	013-027414-00.036
Tax Acreage	Deed Acreage	Official Record
0	0	200506020016380

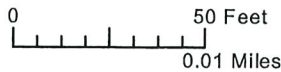
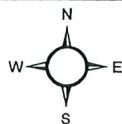
Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

AUG - 3 2022



Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

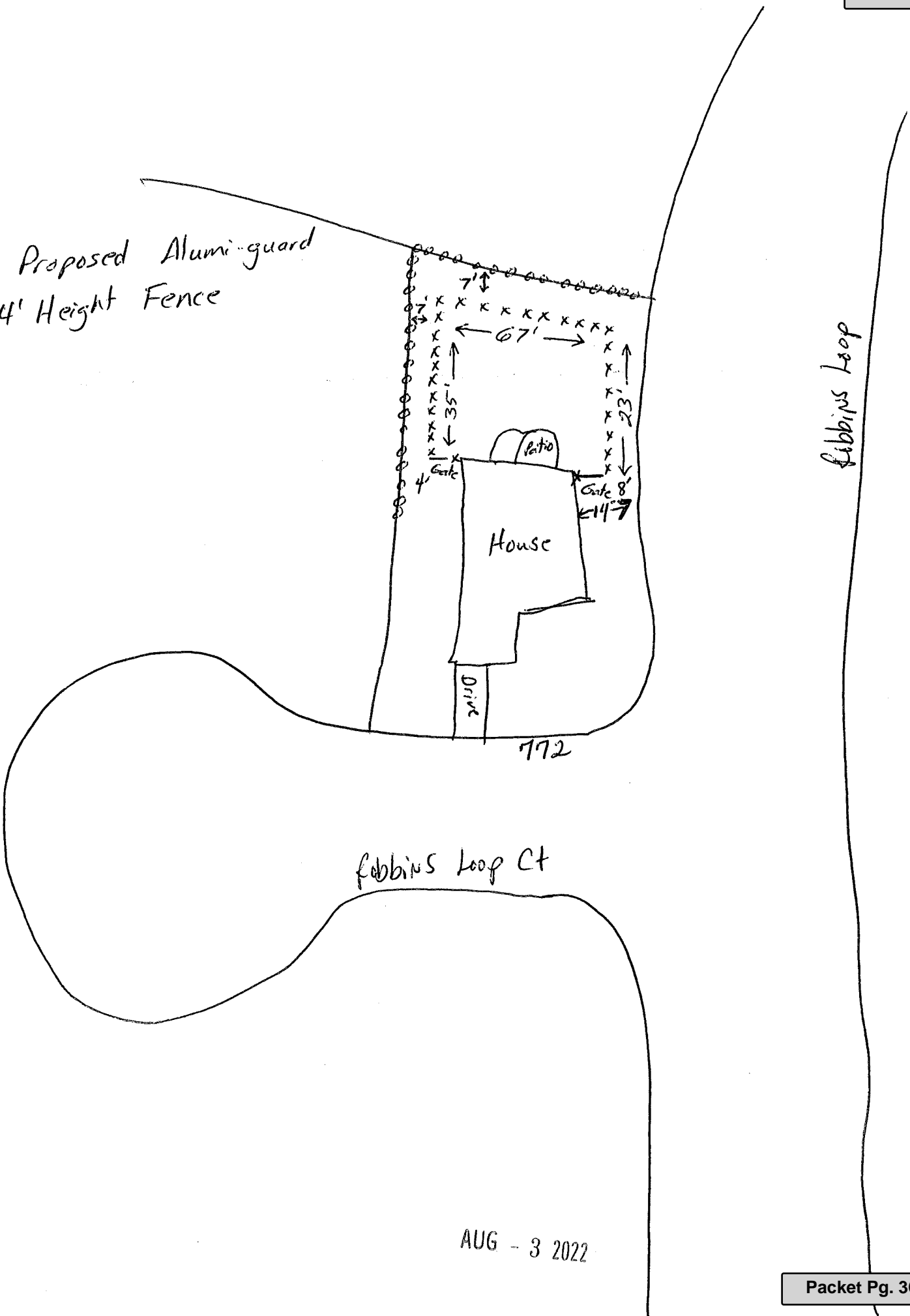
November 4, 2020



LICKING COUNTY TAX MAP

AUG - 3 2022

Proposed Alumi-guard Residential 4' Height Fence



Robbins Loop

Robbins Loop Ct

772

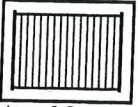
AUG - 3 2022

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

AUG - 3 2022

FLAT TOP

STYLES



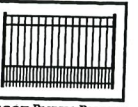
ASCOT 2-CHANNEL



ASCOT 3-CHANNEL



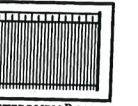
ASCOT ROYALE



ASCOT PUPPY-PICKET



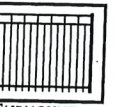
CANTERBURY



CANTERBURY ROYALE



CANTERBURY PUPPY-PICKET

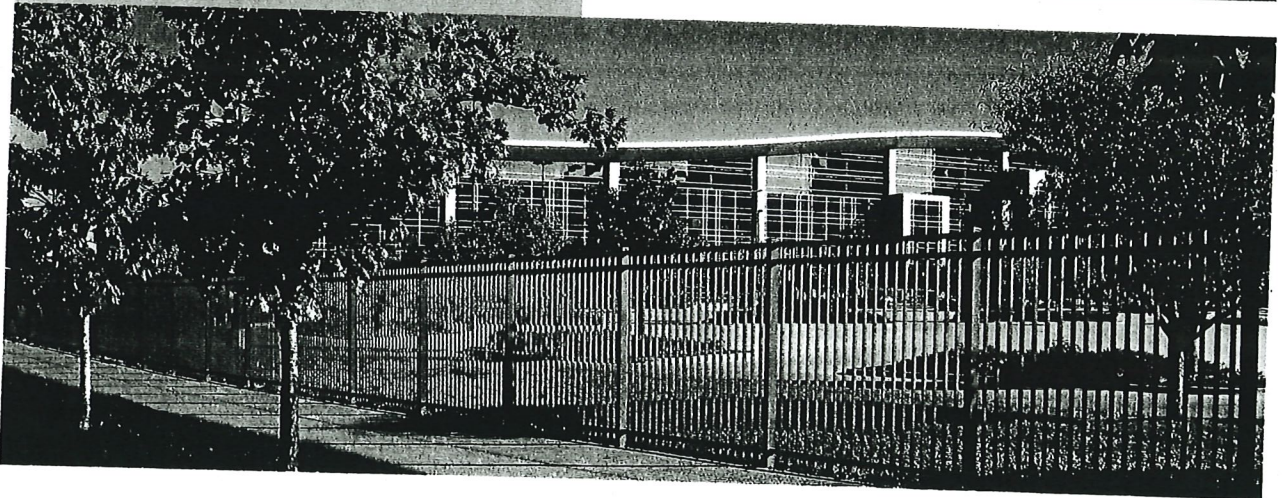
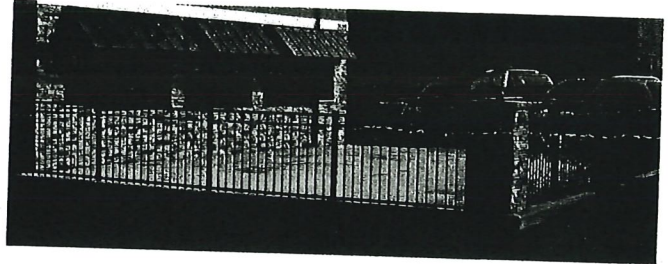


FAIRMOUNT

ASCOT · CANTERBURY
FAIRMOUNT

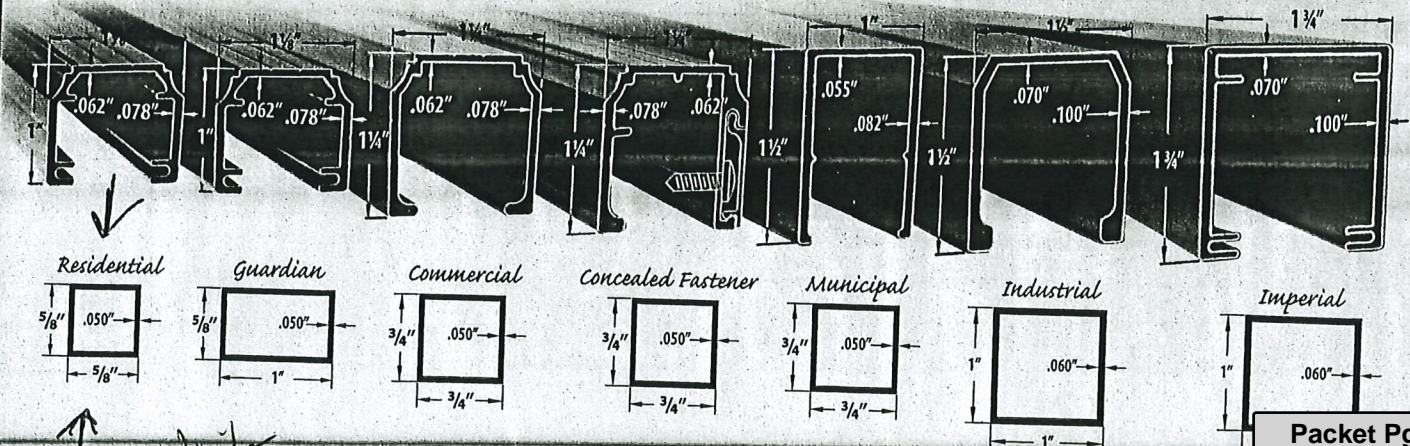
ADVANTAGES:

- CLASSIC AND VERSATILE
- DECORATIVE
- PROPERTY BOUNDARY
- SAFETY BARRIER
- 7 UNIQUE GRADES
- 7 RICH COLORS
- U-FRAME GATES
- BEVELED RAILS FOR STRENGTH
- TRUE HEIGHT PANELS & POSTS



GRADES: CHANNELS & PICKETS

Alumiguard



Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

Sales Invoice

DOWN HOME FURNITURE
 8685 WEST PIKE, HOPEWELL, OH 43746
 PHONE/FAX: (740) 453-0229

AUG - 3 2022

CUSTOMER INFORMATION

Date:	7/10/21
Name	Kim Adams
Telephone	(614) 753 0068
Address	772 Robbins Loop Ct., Pickerington, OH

Product Description	Quantity	In Stock	Ordered	Unit Price	Cost
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
4' High Ascot Royale Aluminum	26	<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
Fencing, White, 6' Sections, Flush Bottom		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
4' Gate	1	<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
6' Gate	1	<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
Posts	28	<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
		<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$0.00
	1	<input type="checkbox"/>	<input type="checkbox"/>	\$0.00	\$6,631.00
<i>Polk Railing</i>	1	<input type="checkbox"/>	<input type="checkbox"/>		+ \$500.00
<i>Subtotal</i>					\$6,631.00
<i>Cash/Check Discount</i>				0.00%	\$0.00
<i>Subtotal</i>					\$6,631.00
<i>Tax</i>				7.25%	\$480.75
<i>Instalation</i>					\$1,200.00
<i>Total</i>					\$8,311.75
Date Promised:		<i>Deposit</i>			\$4,000.00
		<i>Due</i>			\$4,311.75
Tax Exempt Number:					
<i>NEW Cost 2022 \$10,000</i>					

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

Notes	Status
	Ordered <input type="checkbox"/>
	Called <input type="checkbox"/>
	Picked Up <input type="checkbox"/>

AUG - 3 2022

January 10, 2022

Kimberly Adams
772 Robbins Loop Court
Reynoldsburg, OH 43068

Re: Woods at Reynoldsburg Homeowners Association Inc
772 Robbins Loop Court
00138-6244

Dear Kimberly Adams,

This letter is in regards to your application for alteration/modification that you submitted. Your application has been reviewed and the following has been decided:

Your application to install a fence to enclose your backyard and patio has been APPROVED as submitted.

Please note that you are responsible for repairs and their associated expenses to any cable/utility line, as well as damage to any structural element of the building, irrigation system, rain drainage system and/or landscape if damaged during installation of this improvement. Also, changing the existing grade/slope/or drainage is strictly prohibited. The Association reserves the right to make repairs if needed as a result of this improvement and you will be responsible for all costs incurred.

Please find a copy of your application attached for your records. Please contact the City/Township/County where you reside to receive your permit (if necessary). The Township where you reside may require an approval letter from the Association and a site plan depicting your improvement.

If you have any questions or concerns, please feel free to contact us at (614) 766-6500 or customerservice@rpmanagement.com.

Sincerely,

Real Property Management, Inc., AAMC, AMO
An Associa Member Company for
Woods at Reynoldsburg Homeowners Association Inc

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

APPLICATION FOR ALTERATION/MODIFICATION

C.2.b

Your Alteration/Modification application **must be submitted and APPROVED** before you begin your project. Please check your Community Governing Documents for specifics pertaining to your community and note that any alterations/modifications must be approved by your Association. We cannot approve any incomplete application and all incomplete applications will be returned to you without review and approval. Please complete the following information and checklist. Please **mail or drop off** to our Dublin office:

Real Property Management, Inc.
Attn: Property Manager
5550 Blazer Parkway, Suite 175
Dublin, Ohio 43017

AUG - 3 2022

Please allow at least 30 days for reviews to be completed. After you have received your approval from the Association, contact the Township you reside to receive your permit (if necessary). The Township you reside may require an approval letter from the Association and a site plan depicting your improvement on your lot/home. Any application that deviates from the approved plans will be inspected by the Association for compliance.

There is a required, non-refundable, application fee. Normal processing is \$25.00 and can take up to 30 business days for a result. Please make this payment payable to Real Property Management.

Homeowner Information:

NAME: Kimberly Adams DAYTIME PHONE: 614-753-0068
ADDRESS: 772 Robbins Loop Ct Reynoldsburg OH 43068
EMAIL ADDRESS: sheargirl2002@yahoo.com

Contractor for Project Name (if applicable), Phone Number and E-mail address:

DOWN HOME LAWN FURNITURE JESSE MARTIN 740-453-0229

TYPE OF ALTERATION/MODIFICATION(S) REQUESTED: (circle all that apply):

- Fence
- Deck
- Patio
- Landscaping
- Play-Set
- Shed
- Room Addition
- Other (specify)

Brief Description of proposed Improvement(s): ENCLOSE BACKYARD + PATIO WITH ALUMIGUARDED STYLE FENCE, ASCOT ROYALE STYLE

Building Material(s): FENCE RAILS, POSTS HELD W/ CEMENT + GATES

Height at Highest Point: 4 ft Approx. Dimensions: 35', 67', 23', 14'

Color(s) of Existing House: IVORY Color(s) of Proposed Improvement(s): WHITE

ESTIMATED COMPLETION DATE FOR PROJECT(S): 10/16/21

APPLICANT'S CHECK LIST:

- Is this Design Review application in response to a violation notice?..... Yes No
- Is this page of the form completed?..... Yes No
- Did you enclose the Application Fee?..... Yes No
- Did you include the required list of materials and color examples?..... Yes No
- Did you include a plot survey with required drawings?..... Yes No

We CANNOT process any application without a copy of your plot plan (Mortgage Location Survey), with the location of the improvements marked. **If applying for a fence, show proposed alignment of NEW fence sections with small x's; EXISTING fence sections on your lot or adjacent lots should be shown with o's.**

Your application for Alteration/Modification [has] [has not] been approved as submitted.

Ken Board of Directors
Signature of Association Director, Agent, or ARB Officer

Date: 1/5/2022

Notes: _____

DATE REQUEST RECEIVED JUL 15 2021 DATE REQUEST PAID _____ AMOUNT PAID \$25.00

Attachment: 772 Robbins Loop Ct. (App# 2022-5311, 772 Robbins Loop Ct, Adams)

Development Department**Eric Meyer****7232 E. Main Street****Reynoldsburg OHIO 43068****Phone****MOTION REQUEST**

DATE: September 15, 2022

TO: Board of Zoning and Building Appeals

RE: 6585 Fusilier Ave; Application #2022-5347; Applicant John and
Lynne Montgomery;
Variance

Approval:

Joe Begeny	Pending Chris Shook	Stephen Cicak
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See attached documents

September 8th, 2022

Board of Zoning and Building Appeals
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: 1036 White Butterfly Ct, Reynoldsburg, OH 43068 (Parcel ID No. 060-005116-00)
 – Variance Permit Case #2021-5342 Staff Report

Board of Zoning and Building Appeals:

Below is the staff review of the above referenced application.

1. Project Summary

- a. The property is located at 1036 White Butterfly Ct., Reynoldsburg, OH (Parcel ID No. 060-005116-00) and is within the Suburban Residential (SR) Zone.
- b. The applicants, Elba Arguelles and Anibal Arroyo, is requesting Board of Zoning and Building Appeals approval for a variance on the subject parcel.
- c. This property is located on lot with a property line that includes floodway, 100-year floodplain and 500-year floodplain.
- d. The variance requests to install 75 feet of 4 foot tall chain link fence and 154 feet of 6 foot tall wooden privacy fence. The fence locations are in the rear and side yards. The proposed work does not comply with the standards in Section 1105.11.A.ii.5., Section 1105.11.A.ii.7, and Section 1105.11.C.iii.
- e. Per the attached engineering report, wooden fences would be acceptable in terms of meeting drainage requirements in the 500-year floodplain, and chain link fences would be acceptable in terms of drainage requirements in the floodway, 100-year floodplain and 500-year floodplain.

2. Zoning Review (Section 1105.11)

Suburban Residential Fence Standards

- a. Section 1105.11.A.ii.5 - Rear and side yard fences shall be placed on the property line of the subject property.
- b. Section 1105.11.A.ii.7 – Fences in residential districts shall be constructed of materials that match or compliment any existing structures on a lot. This includes but is not limited to, painted or treated lumber, vinyl, wrought iron, painted aluminum, brick, stone and chain-link (rear yard only).
- c. Section 1105.11.C.iii – No fence shall be installed in a manner or location which obstructs or alters the drainage of the lot on which it is located or of any abutting lot.

3. Staff Recommendation

- a. The board shall consider whether the proposed variance is consistent with the standards contained in the City's zoning ordinance and Comprehensive Master Plan. Based on the property containing floodway and 100-year and 500-year floodplain, staff is supportive of a variance to Section 1105.11.A.ii.5 to allow the fence to be constructed away from the side and rear property lines, provided that the rear yard and side yard materials comply with the recommendations laid out in the engineering report and Section 1105.11.A.ii.7. Complying with Section 1105.11.A.ii.7 would require one side yard fence locati

modified.

Attachment: 1036 White Butterfly CT STAFF REPORT (App# 2022-5347, 6585 Fusilier Ave, Montgomery)



September 8th, 2022

Board of Zoning and Building Appeals
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: 6585 Fusilier Avenue, Reynoldsburg, OH 43068 (Parcel ID No. 060-005371-00)
 – Variance Permit Case #2021-5019 Staff Report

Board of Zoning and Building Appeals:

Below is the staff review of the above referenced application.

1. Project Summary

- a. The property is located at 6585 Fusilier Avenue, Reynoldsburg, OH (Parcel ID No. 60-005371-00) and is within the Suburban Residential (SR) Zone.
- b. The applicant, John Montgomery, is requesting Board of Zoning and Building Appeals approval for a variance on the subject parcel.
- c. The variance requests to replace a 4 foot tall galvanized fence and deviate from the property line in the southwest corner of the property in order to avoid an AEP electrical ground level transformer that is located at the intersection of four existing property lines.
- d. Section 1105.11 dictates a strict adherence to the placement of newly constructed fences on the rear and side yard property lines.
- e. The presence of an existing AEP electrical ground level transformer prevents the construction of a fence in accordance with the city's zoning ordinance.

2. Zoning Review (Section 1105.11)

Suburban Residential Fence Standards

- a. Section 1105.11.ii.5 - Rear and side yard fences shall be placed on the property line of the subject property.

3. Staff Recommendation

Staff is supportive of applicant's request for variance based on the presence of the existing electrical transformer impeding the ability to abide by code standards.



Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: _____

Date Submitted: _____

Fee Amount: _____

Paid: _____

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: 6585 Fusilier Ave.	Parcel ID#(s): 060-005371-00
--	--

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): JOHN & LYNNE MONTGOMERY	
Contact Email: jmontgomery@AMERITECH.NET	Contact Phone Number: 614-864-6242

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name:	Contact Name:
Contact Email:	Contact Phone Number:
Description of Use:	

IV. APPLICANT INFORMATION

Applicant Name: JOHN MONTGOMERY	Applicant Address: 6585 FUSILIER AVE. REY, OH 43068
Applicant Phone Number: 614-864-6242	Applicant Email: JMONTGOMERY@AMERITECH.NET
<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Variance (Non-Residential (\$450) / Residential (\$200): SEE ATTACHMENT, 2 PAGES, THAT
DETAIL VARIANCE STANDARDS & VARIANCE REQUEST.

Conditional Use Permit (\$350): _____

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: [Signature] Date: 8/18/2022
By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

Additional Notes:

OFFICE USE ONLY

Zoning Information

Zoning District: _____
 Historic District

Add'l Approvals Req'd

Planning Commission
 Other: _____

BZBA Meeting

Date: _____
 Approved as Submitted
 Approved w/ Conditions
 Tabled
 Denied

P&Z Admin.: _____ Date: _____

Attachment: 6585 Fusilier Ave (App# 2022-5347, 6585 Fusilier Ave, Montgomery)

Section 1109.13 (D) Standards For Variance

(a) The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.

(d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. **The hardship results from the application of this Code and is suffered directly by the property in question.**

(i) The variance is not a matter of convenience when other remedies are available within the provisions of this Code.

Section 1109.13 Variances

Variance request for 6585 Fusilier Avenue Parcel ID# 060005371-00 to replace a four foot galvanized fence and deviate from the property line in the southwest corner of the property in order to avoid an AEP electrical ground level transformer that was placed squarely upon four intersecting property lines.

What information must be provided for a variance?

Items (a) and (b) noted on the Board Of Zoning & Building Appeals form

Item (c) Description of the variance requested and statement to address each of the standards for variance in the Code (see section 1109.13);

5. Rear and Side Yard Fences—Setback. Rear and side yard fences shall be placed on the property line of the subject property

The variance request is to allow installation of the replacement fence to deviate from the property line at the southwest corner of the property to avoid the *AEP ground level transformer.

As noted on the Zoning Certificate Application drawing sourced from the Franklin County Auditor's office, there is a minimal deviation of the fence line at the southwest corner to avoid an existing AEP ground level transformer that serves four properties, two on Fusilier Avenue and two on Glacier Avenue. It would be unsafe for the fence installation posts to be any closer to the transformer where underground lines could be contacted.

*AEP has instructed property owners to not build anything that would inhibit service of the ground level transformer or affect its maintenance. That was illustrated a few years ago when the transformer in the photo needed to be replaced. It was successfully accomplished without any need to remove fences or structures. Property owners, have adhered to their request.

Item (d) Statement of the hardship;

- The fence is needed for young children to keep them safely on the property.
- Be a good neighbor and improve the look of the fence.
- AEP was permitted to place a ground level transformer on top of the intersection of four property lines placing a hardship on each property owner to obtain a variance for structures required to be on the property line.
- Require a variance at a cost of \$200, research costs, duplication costs.

Item (e) Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

- Note the drawing from the Franklin County Auditor's office and two submitted photographs.
- Photos #1 and #2 show the existing fence line on the property and how it would intersect the AEP ground level transformer if the fence installation ***adhered strictly to the property line*** in that corner of the property.



AUDITOR OFFICE

SEARCH

ONLINE TOOLS

REFERENCE

CONTACT MICHAEL

Summary Parcel ID: 060-005371-00
MONTGOMERY JOHN P

Land Profile

Residential

Commercial

Improvements

Permits

Mapping

Sketch

Photo

StreetSmart

Aerial Photos

Transfers

BOR Status

CAUV Status

Tax & Payments

Tax Distribution

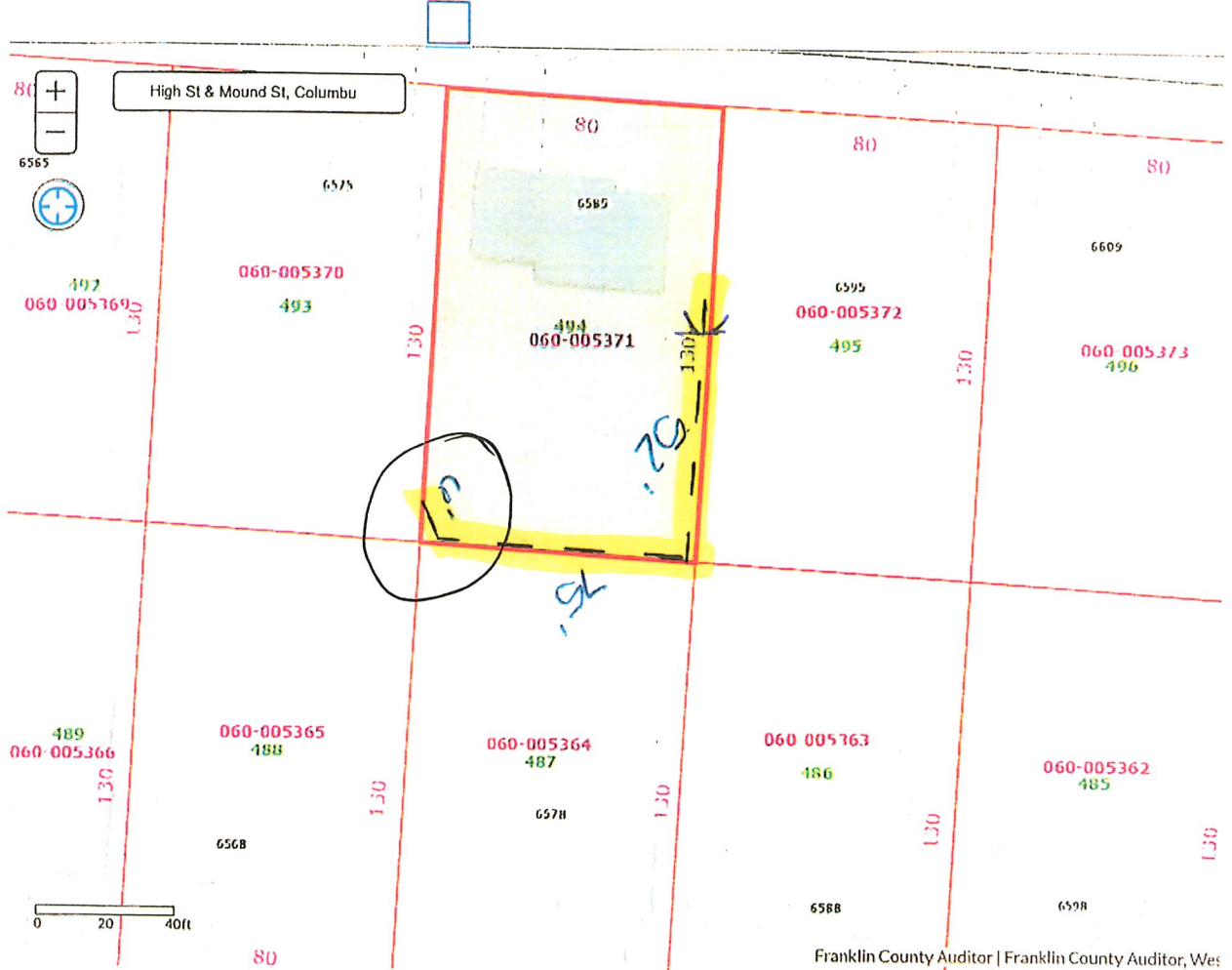
Tax Calculators

Value History

Rental Contact

Incentive Details

Quick Links



4' Chain Link Fence

FRANKLIN COUNTY AUDITOR
DRAWING



TRANSFORMER

PHOTO
1

Attachment: 6585 Fusilier Ave (App# 2022-5347, 6585 Fusilier Ave, Montgomery)



TRANSFORMER



PHOTO #2

Attachment: 6585 Fusilier Ave (App# 2022-5347, 6585 Fusilier Ave, Montgomery)

Board of Zoning and Building Appeals

Eric Meyer
7232 E. Main Street
Reynoldsburg OHIO 43068
Phone

MOTION REQUEST

DATE: September 15, 2022
TO: Board of Nuisance Abatement
RE: 1036 White Butterfly Ct; Application #2022-5342; Applicant
Arguelles and Arroyo;
Variance

Approval:

Joe Begeny	Pending Chris Shook	Stephen Cicak
------------	------------------------	---------------

See attached documents

September 8th, 2022

Board of Zoning and Building Appeals
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: 1036 White Butterfly Ct, Reynoldsburg, OH 43068 (Parcel ID No. 060-005116-00)
 – Variance Permit Case #2021-5342 Staff Report

Board of Zoning and Building Appeals:

Below is the staff review of the above referenced application.

1. Project Summary

- a. The property is located at 1036 White Butterfly Ct., Reynoldsburg, OH (Parcel ID No. 060-005116-00) and is within the Suburban Residential (SR) Zone.
- b. The applicants, Elba Arguelles and Anibal Arroyo, is requesting Board of Zoning and Building Appeals approval for a variance on the subject parcel.
- c. This property is located on lot with a property line that includes floodway, 100-year floodplain and 500-year floodplain.
- d. The variance requests to install 75 feet of 4 foot tall chain link fence and 154 feet of 6 foot tall wooden privacy fence. The fence locations are in the rear and side yards. The proposed work does not comply with the standards in Section 1105.11.A.ii.5., Section 1105.11.A.ii.7, and Section 1105.11.C.iii.
- e. Per the attached engineering report, wooden fences would be acceptable in terms of meeting drainage requirements in the 500-year floodplain, and chain link fences would be acceptable in terms of drainage requirements in the floodway, 100-year floodplain and 500-year floodplain.

2. Zoning Review (Section 1105.11)

Suburban Residential Fence Standards

- a. Section 1105.11.A.ii.5 - Rear and side yard fences shall be placed on the property line of the subject property.
- b. Section 1105.11.A.ii.7 – Fences in residential districts shall be constructed of materials that match or compliment any existing structures on a lot. This includes but is not limited to, painted or treated lumber, vinyl, wrought iron, painted aluminum, brick, stone and chain-link (rear yard only).
- c. Section 1105.11.C.iii – No fence shall be installed in a manner or location which obstructs or alters the drainage of the lot on which it is located or of any abutting lot.

3. Staff Recommendation

- a. The board shall consider whether the proposed variance is consistent with the standards contained in the City's zoning ordinance and Comprehensive Master Plan. Based on the property containing floodway and 100-year and 500-year floodplain, staff is supportive of a variance to Section 1105.11.A.ii.5 to allow the fence to be constructed away from the side and rear property lines, provided that the rear yard and side yard materials comply with the recommendations laid out in the engineering report and Section 1105.11.A.ii.7. Complying with Section 1105.11.A.ii.7 would require one side yard fence location

modified.

Attachment: 1036 White Butterfly CT STAFF REPORT (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)





Engineers, Surveyors, Planners, Scientists

MEMO

Date: September 7, 2022

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: 1036 White Butterfly Court

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the proposed fence plan for the residence at 1036 White Butterfly Court. The following summarizes our findings and recommendations with respect to this development.

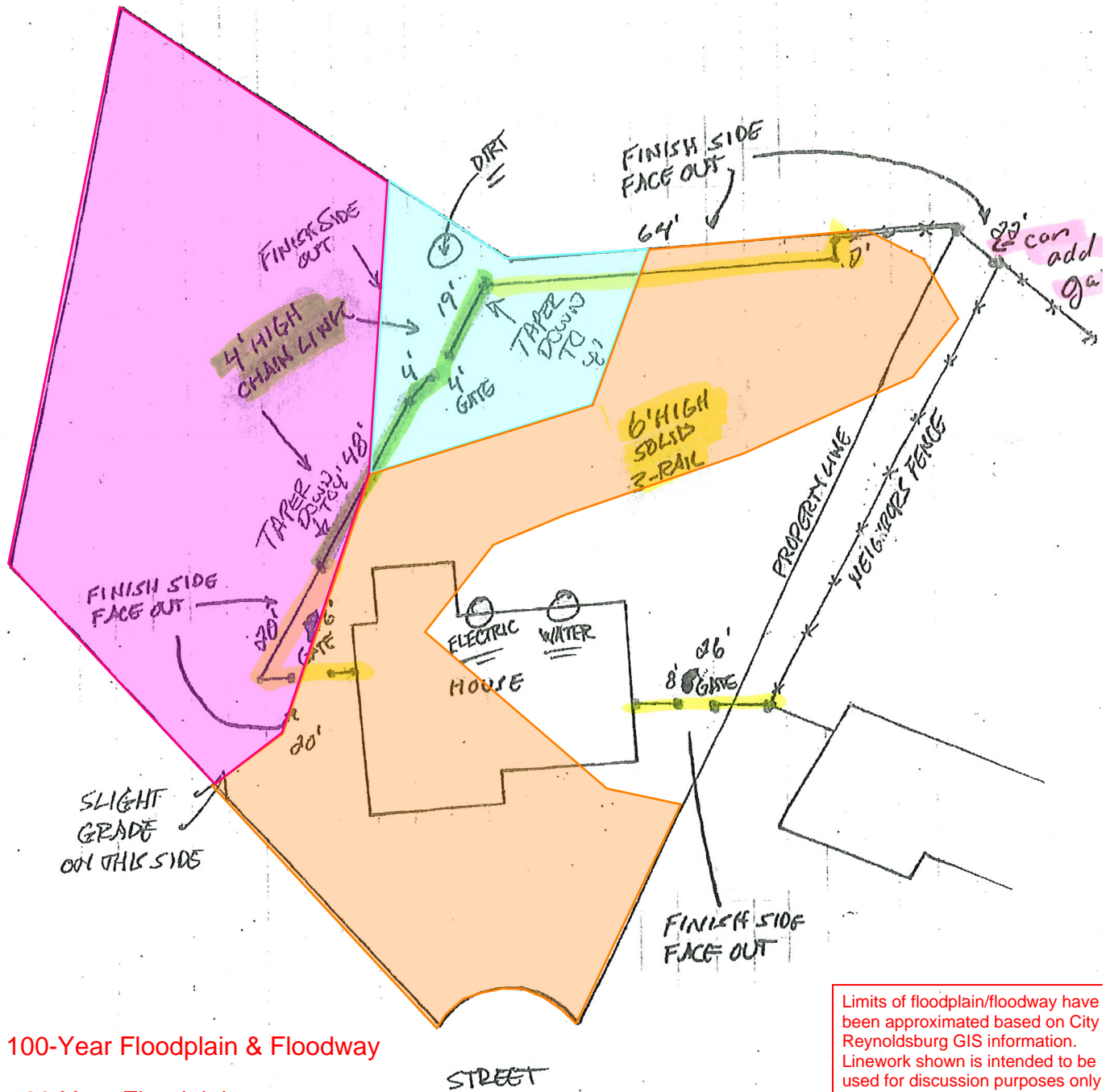
The subject property has several regulatory flooding areas related to the adjacent Blacklick Creek located within its boundaries. The regulatory flooding areas are per FEMA Flood insurance maps, which are also depicted on the City of Reynoldsburg's GIS mapping information. A majority of the eastern side of the lot is within an area which is comprised of both the 100-year floodplain and the floodway. Portions of the northern, middle and southwestern areas of the property are within the 500-year floodplain. The middle of the rear lot area is within the 100-year floodplain. It should be noted that the southeastern property line is actually within the center of Blacklick Creek.

The proposed fence plan shows a combination of wooden privacy fence and chain link fence. City code does not allow for chain link fence except in rear yard areas. The Code related to flood hazard does not permit construction that would make drainage worse than existing conditions. In consultation with FEMA guidance, a chain link fence could be constructed in the 100-year floodplain or the floodway as the material and general open area does not restrict flow of the stream. Solid fences built with other materials such as wood or stone could cause flow restrictions and therefore are not allowed in the 100-year floodplain or the floodway. Note that any fence material or configuration (as permitted by City Code) could be permitted in a 500-year floodplain, upon review and approval of the City. Code also does not allow for fence to be installed in areas that are not the property lines. Due to portions of the rear property line being in the creek, the plan proposes to install fence at the edge of creek.

On the attached sketch, EMH&T super imposed the floodplain and floodway limits on the fence plan provided. Note that the limits of the floodplain and floodway are approximate. Based on the overlay, there is an area of wooden fence along the south line (parallel to the back of the house) that is shown within the 100-year floodplain. There is also a segment of wooden fence located within the 100-year floodplain and floodway on the east side of the house that would not be permitted. Based on this information, which should be confirmed, we do not recommend that the fence plan as shown be permitted. We recommend the applicant provide a plan that includes the floodplain and floodway boundaries so limits of fence and appropriate materials can be reviewed and approved.

AUG 18 2022

1036 WHITE BUTTERFLY COURT
REYNOLDSBURG 43068



- 100-Year Floodplain & Floodway
- 500-Year Floodplain
- 100-Year Floodplain

Limits of floodplain/floodway have been approximated based on City Reynoldsburg GIS information. Linework shown is intended to be used for discussion purposes only

Sketch by SS 2022-09-1



SIGN: _____

DATE: 5-24-22

Attachment: EMH&T Staff Report-1036 White Butterfly Court (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)

Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

AUG 18 2022

App./Case#: 2022-5342

Date Submitted: 8/18/22

Fee Amount: 200 -

Paid: mc

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: <u>1036 White Butterfly Ct</u>	Parcel ID#(s): <u>060 005116-00</u>
---	--

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): <u>Elba Arguelles, Anibal Arroyo</u>	
Contact Email: <u>Athena2606@MSN.com</u>	Contact Phone Number: <u>6144320644</u>

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name:	Contact Name:
Contact Email:	Contact Phone Number:
Description of Use:	

IV. APPLICANT INFORMATION

Applicant Name: <u>Anibal Arroyo, Elba Arguelles</u>	Applicant Address: <u>1036 White Butterfly Ct</u>
Applicant Phone Number: <u>6144320644</u>	Applicant Email: <u>Athena2606@MSN.com</u>
<input checked="" type="checkbox"/> Property Owner	<input type="checkbox"/> Business Owner/Tenant
<input type="checkbox"/> Contractor	<input type="checkbox"/> Architect/Engineer

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Other (Describe): _____ Fencing: Installing 75' of 4" chain link fence and 154' of 6' privacy fence. See attach letter for explanation.

Conditional Use Permit (CUP): _____

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: [Signature] Date: 8/9/2022

By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:

Zoning Information
Zoning District: _____
 Historic District

Add'l Approvals Req'd
 Planning Commission
 Other: _____

BZBA Meeting
Date: _____
 Approved as Submitted
 Approved w/ Conditions
 Tabled
 Denied

P&Z Admin.: _____ Date: _____

Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)

AUG 18 2022

August 9, 2022

To whom may concern

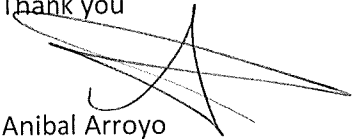
We **Anibal Arroyo and Elba Arguelles** Property owners of Residence **1036 White Butterfly Ct, Reynoldsburg OH 43068**. Parcel #**060-005116-00**, Tax District # **060** are requesting a variance to build a privacy fence away from our property line.

The hardship we are facing is that our property line is located on the middle of Blacklick creek, which because of the zone coding the allowance of the fence is to be on the property line, also if you review the plan the fence we are looking to place it 50 feet from the creek edge at normal altitude.


We have decided to do a 4' chain link on the side facing the creek to allow the flow of water in case of the creek overflows. Also we are looking to attach the privacy fence to the neighbors existing fence (we have attached their content), There will also be access to a utility pole that is not on our property through a gate. This last few points were concerns of the zoning department had mentioned.

At last we have had some issues with people being on the creek side of our property even though we have a sign that said private property, and children being unsupervised.

Thank you



Anibal Arroyo

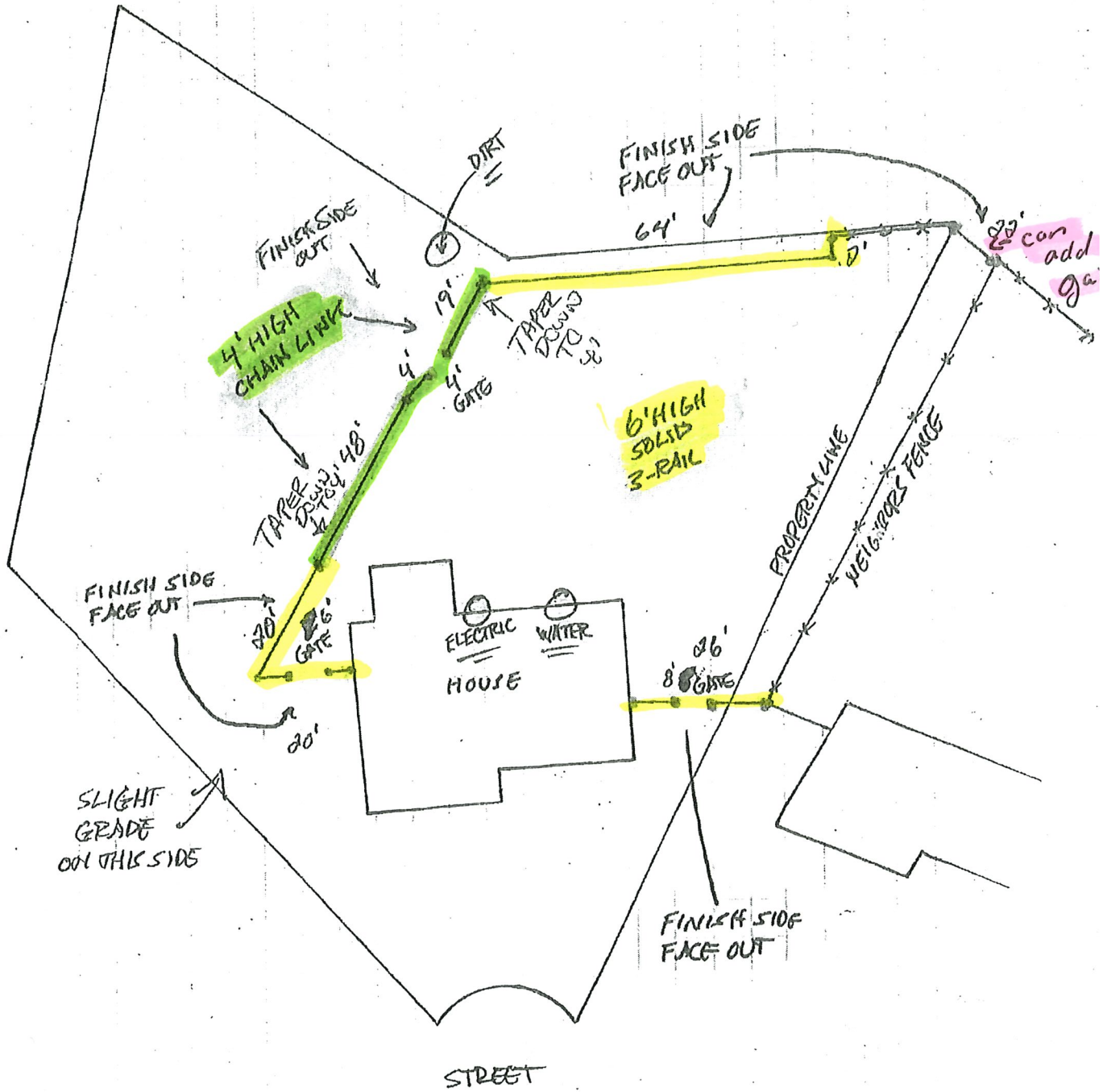


Elba Arguelles

Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)

AUG 18 2022

1036 WHITE BUTTERFLY COURT
REYNOLDSBURG 43068



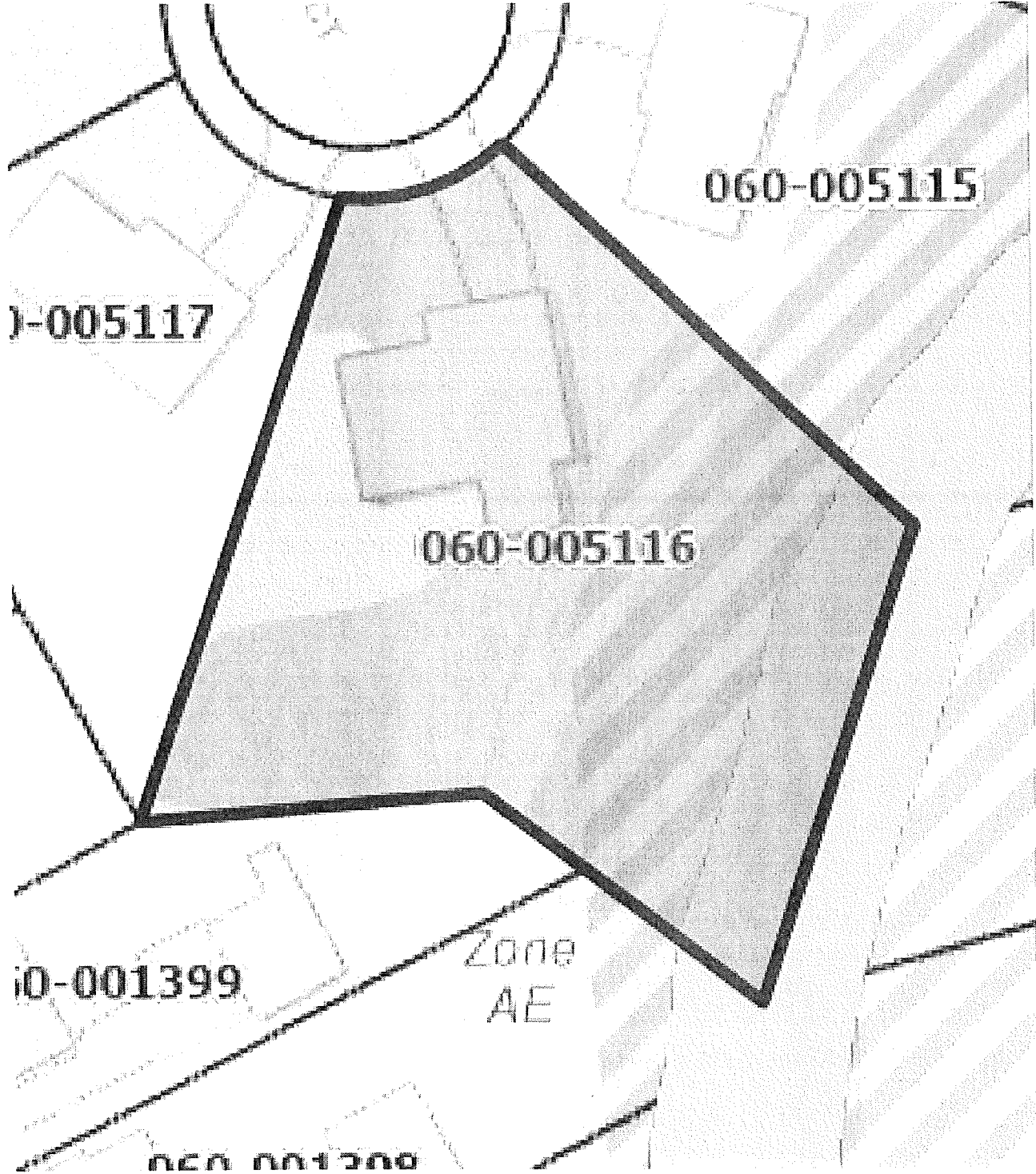
Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)



SIGN! 

DATE: 5-24-22

AUG 18 2022



Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)



3450 MILLIKIN CT., STE. A
COLUMBUS, OH 43228
(614) 876-9944
(614) 876-9949 Fax
Sales@atrufence.com

ALL TYPES OF FENCES
CUSTOM / WOOD / CHAINLINK
ORNAMENTAL ALUMINUM / PVC VINYL
RESIDENTIAL / COMMERCIAL

AUG 18 2022

Fence Placement Agreement

I, Helen Reed, (Neighbor Name) agree to
let my adjacent neighbor's, Anibal Arroyo, (Project name)
install a fence onto my property, to connect to my existing fence.

Neighboring Name: Helen Reed
Neighboring Address: ~~366~~ 1042 Roundelay Rd E.
Neighboring Phone number: 614 - 736 - 6948

Project Name: Anibal Arroyo
Project Address: 1036 white Butterfly Ct
Project Phone Number: 614 - 446 - 0645

Neighbor Signature: [Signature] Date: 01/13/2022

Project signature: [Signature] Date: 6-13-22

Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)



"Your Gateway to Quality Fencing"
"Built with Pride, Quality and Commitment"



3450 MILLIKIN CT., STE. A
COLUMBUS, OH 43228
(614) 876-9944
(614) 876-9949 Fax
Sales@atrufence.com

ALL TYPES OF FENCES
CUSTOM / WOOD / CHAINLINK
ORNAMENTAL ALUMINUM / PVC VINYL
RESIDENTIAL / COMMERCIAL

AUG 18 2022

Fence Placement Agreement

I, Margaret MURDOCK, (Neighbor Name) agree to
let my adjacent neighbor's, Anibal Arroyo, (Project name)
install a fence onto my property, to connect to my existing fence.

Neighboring Name: MARGARET MURDOCK

Neighboring Address: 1035 White Butterfly Ct.

Neighboring Phone number: 614 - 735 - 7755

Project Name: Anibal Arroyo

Project Address: 1036 white Butterfly CT

Project Phone Number: 614 - 446 - 0645

Neighbor Signature: Margaret Murdock Date: 6-13-22

Project signature: [Signature] Date: 6-18-22

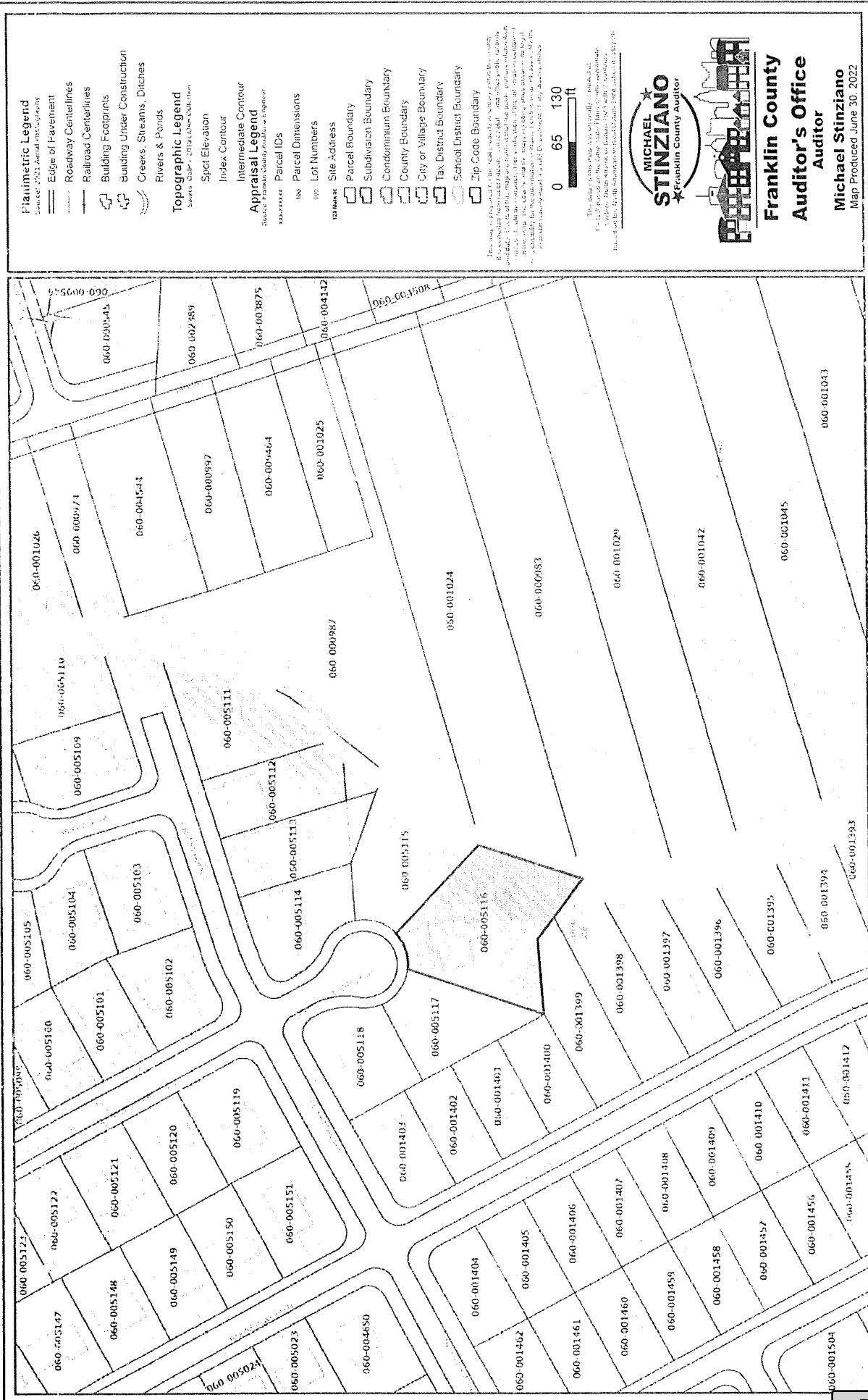
Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)



"Your Gateway to Quality Fencing"
"Built with Pride, Quality and Commitment"



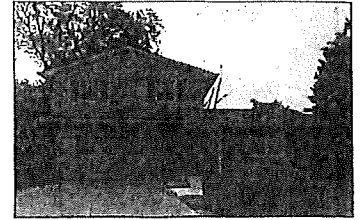
AUG 18 2022



Attachment: 1036 White Butterfly Ct. (App# 2022-5342, 1036 White Butterfly Ct, Arguelles and Arroyo)

AUG 18 2022

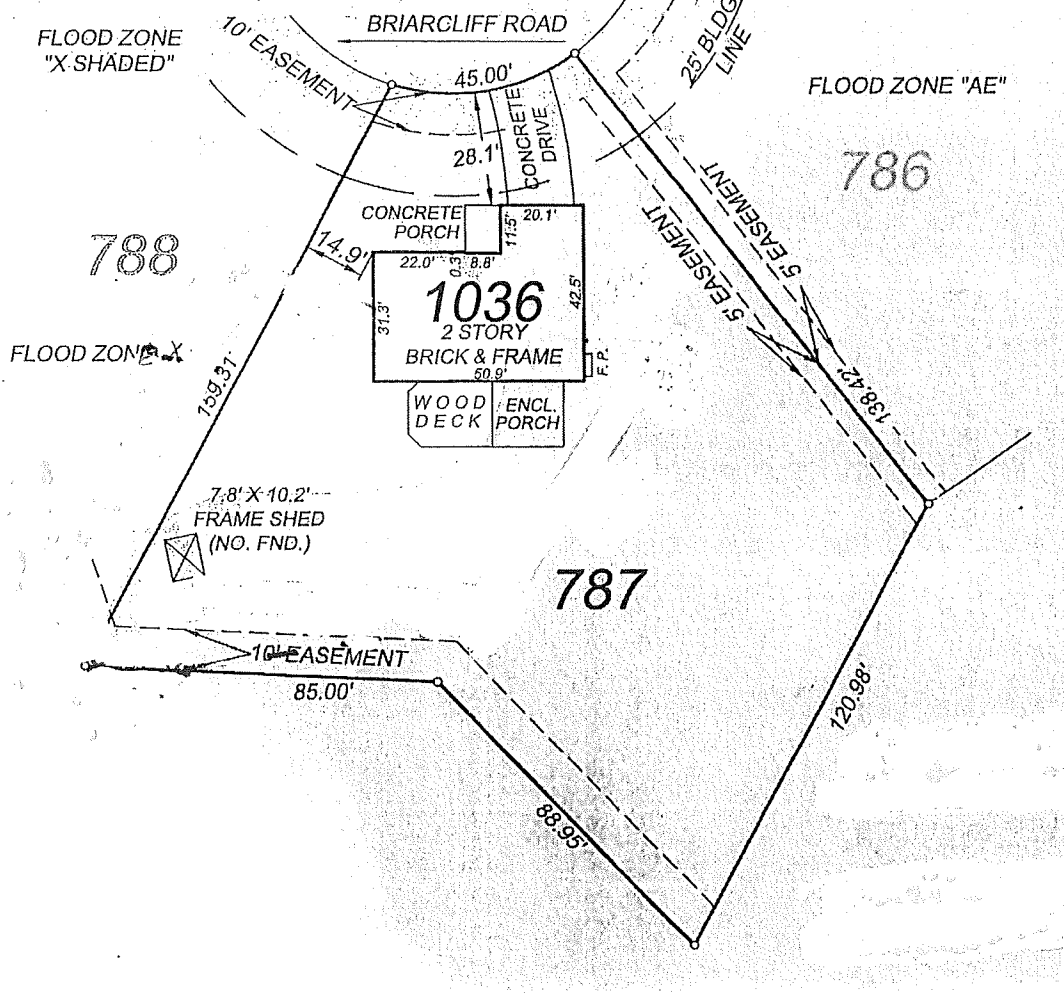
HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186



JOB NUMBER #: 2256-2022 S DATE OF DRAWING 4-14-22

CERTIFIED TO NORTHWEST ADVANTAGE TITLE AGENCY, LLC
LENDER N / A BUYER ARROYO & ARGUELLES
LEGAL DESC. LOT 787 ~ BRIARCLIFF NO. 12 P.B. 48 PG. 23 - 24
CITY/TWP. REYNOLDSBURG COUNTY FRANKLIN DRN. SAS CK. SJH DRAWING SCALE 1" = 35'
FEMA INFORMATION: FLOOD ZONE X, AE & X SHADED MAP PANEL INFO 39049C 0186K MAP DATE 6-17-08

WHITE BUTTERFLY COURT 50'



ENCROACHMENT INFORMATION
NONE NOTED

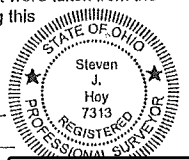
I / WE HAVE RECEIVED A COPY OF THIS SURVEY
AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By



Board of Zoning and Building Appeals

Eric Meyer
7232 E. Main Street
Reynoldsburg OHIO 43068
Phone

MOTION REQUEST

DATE: September 15, 2022
TO: Board of Zoning and Building Appeals
RE: 7322 Marlan Ave; Application 2022-5305; Applicant Michelle Buck;
Appeal - Home Occupancy

Approval:

Joe Begeny	Pending Chris Shook	Stephen Cicak
------------	------------------------	---------------

See attached documents



ARCHITECTS. ENGINEERS. PLANNERS.

September 8, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: 7322 Marlan Avenue; Case #2022-5305

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. *Project Summary*

- a. The property is located at 7322 Marlan Avenue. The site consists of an approximately ¼ acre single family parcel. The site is currently being used as a single-family residence within the SR – Suburban Residential and is located approximately 160 feet from the intersection of Marlan Avenue and Gilmore Drive.
- b. The applicant is seeking approval of permit to allow the breeding and sale of dogs under Section 1105.13, I Home Occupations and Section 113, Glossary, Home Occupations and Boarding/Kennel.

2. *Zoning Review- (Section 1105.13, I – Home Occupation)*

- a. The animals are kept within an 80 square-foot space which is approximately 5% of the total building area of 1,600 square feet which is less than the required maximum of 15% (Section 1105.13, I, ii)
- b. Up to 15 dogs can be present in the house, with the puppies remaining for more than 9 weeks or until after they are weaned and sold. Two of the dogs are over 3 months old which is less than the permitted number of dogs (5 or more) necessary to be defined as a Boarding/Kennel (Section 113, Glossary).
- c. When the puppies reach 5 or 6 weeks old, they are allowed to go outdoors into a 4,000 +/- square-foot backyard. The back yard is bordered by five single-family homes which can be exposed to the noise generated by up to 15 puppies several times a day and evening. This noise is not permitted to be “detectable to the normal senses off the lot” (Section 1105.13, I, v).
- d. No signs are present on the premises identifying the home occupation even though at least one sign is permitted “not exceeding four square feet in area, non-illuminated, and mounted flat against the wall of the principal building (Section 113, Glossary - Home Occupations).
- e. At least 15 prospective customers arrive and depart the premises monthly and parking is available in the front yard driveway and on-street. According to the definition of Home Occupations (Section 113, Glossary), “No traffic shall be generated by the conduct of such home occupation and any need for parking generated by the conduct of such home occupation shall meet the off-street parking requirements as specified in this Zoning Ordinance, and shall not be located in a required front yard (Section 113, Glossary - Home Occupations).”

3. *Recommendation*

- a. Deny approval of the Home Occupation permit to allow the breeding and sale of dogs per Section 1105.13, I, Home Occupations and Section 113, Glossary, Home Occupations and Boarding/Kennel.



If you have any questions or comment, please feel free to contact us.
Very truly yours,

Kim Littleton

Kim C. Littleton, AICP
Senior Planner/Project Manager

App./Case#: 2022-5305

Date Submitted: 8/1/22

Fee Amount: 80.00

Paid: MC

Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

AUG - 1 2022

ZONING CERTIFICATE APPLICATION

I. PROPERTY INFORMATION

Property Address: 7322 Marlan Ave	Parcel ID#(s):
--------------------------------------	----------------

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): Michelle Buck	
Contact Email: bsoldladymcell@gmail.com	Contact Phone Number: 614-940-1061

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Buck German Shepherds	Contact Name: Michelle Buck
Contact Email: bsoldladymcell@gmail.com	Contact Phone Number: 614-940-1061

IV. APPLICANT INFORMATION

Applicant Name: Michelle Buck	Applicant Address: 7322 Marlan Ave Reynoldsburg
Applicant Phone Number: 614-940-1061	Applicant Email: bsoldladymcell@gmail.com
<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer	

RESIDENTIAL (\$100)	NON-RESIDENTIAL (\$150)	Project Information (If Applicable)
CHECK IF APPLICABLE: <input type="checkbox"/> New Building (+\$50) <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Building Modification <input type="checkbox"/> Patio <input checked="" type="checkbox"/> Home Occupation (\$80) <input type="checkbox"/> Deck <input type="checkbox"/> Accessory Structure <input type="checkbox"/> Driveway Modification <input type="checkbox"/> Shed <input type="checkbox"/> FENCE (\$50) (All Dists.)	CHECK IF APPLICABLE: <input type="checkbox"/> New Business/Use <input type="checkbox"/> Accessory Structure <input type="checkbox"/> New Building <input type="checkbox"/> Building/Site Modification <input type="checkbox"/> MIN. SITE PLAN (+\$250)	Total Square Footage: _____ Est. Cost of Construction: _____ Est. Additional Employees: _____

Description of Use/Project: Br Selling puppies

Applicant Signature: Michelle Buck Date: 8/1/22

By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:

Zoning Information Zoning District: _____ <input type="checkbox"/> Historic District Add'l Approvals Req'd <input type="checkbox"/> PC <input type="checkbox"/> BZBA	Additional Requirements <input type="checkbox"/> CoA <input type="checkbox"/> Variance <input type="checkbox"/> Special Exception Use Permit <input type="checkbox"/> PGU <input type="checkbox"/> Building Permit P&Z Admin.: _____ Date: _____ Floodplain Admin.: _____ Date: _____
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Attachment: 7322 Marlan Avenue, 2022-5305 Application (App# 2022-5305 7322 Marlan Ave., Buck)

Section 1109.11

ZONING CERTIFICATE

No use of land, building or structure and no construction or alteration of an existing use, building, or structure shall commence until a zoning certificate is issued by the Planning & Zoning Administrator certifying that the intended use of the premises has been documented, reviewed, and approved in conformance with the provisions of this Zoning Code. A zoning certificate shall only be issued by the Planning & Zoning Administrator subsequent to completion of all procedures and approvals required by this Code. No zoning certificate shall be issued to permit any use or construction contrary to the provisions of this Zoning Code, unless in compliance with a duly approved variance. Unless exempted by this Code, a zoning certificate shall be required before:

1. Locating, erecting, construction, reconstructing, altering, or moving any building/ structure, including an accessory structure such as a sign or fence;
2. Occupying or using land or a building, or changing the use of land or of a building, in whole or in part, for a different use;
3. Changing a nonconforming use to a different use or extending or expanding a nonconforming use or structure.

ADDITIONAL MATERIALS CHECKLIST	
This application shall be accompanied by two (2) copies of plans to scale showing:	
1. The dimensions and shape of the lot to be built upon;	<input type="checkbox"/>
2. The sizes and locations of existing structures and uses on the lot;	<input type="checkbox"/>
3. The size, dimensions and locations of proposed structures, including distances to all lot lines; and	<input type="checkbox"/>
4. The heights of existing and proposed structures.	<input type="checkbox"/>
5. For new businesses/uses and home occupations: A letter detailing the proposed use, hours of operation, and number of projected staff members.	<input checked="" type="checkbox"/>
6. A digital submission of all applications and plans are required. Please email application and plans to permit@ci.reynoldsburg.oh.us or provide a USB at time of paper submittal.	<input type="checkbox"/>

Attachment: 7322 Marlan Avenue, 2022-5305 Application (App# 2022-5305 7322 Marlan Ave., Buck)

AUG - 1 2022

Michelle Buck
 7322 Marlan Ave
 Reynoldsburg OH 43068
 614-940-1061

To Whom it may Concern:

Home Occupation Application

1. Myself and occasionally my husband helps with puppies.
2. I don't have puppies year round. Sometimes months inbetween. My house is 1599 square ft. Puppies are kept in spare bedroom that measures approximately 10 by 8 then when they are 5 or 6 weeks old they start going outside for periods of time during the day.
3. I have no signs for puppies. All advertising is done online.
4. The only time I have traffic to my house is when people pickup puppies and I schedule them in hour increments so no 2 people are here at one time.
5. Although puppies do poop and pee it is cleaned up multiple times a day and I use rescue disinfectant kennel cleaner and simple green odor eliminator to combat smell.
6. I did apply for permit last year and never received a response. I have since receiving my violation moved my business to my friends house. I will not sell puppies in Reynoldsburg unless I get a permit. I am attempting to do the best I can. I am sorry to have caused any hardships on Reynoldsburg or its community.

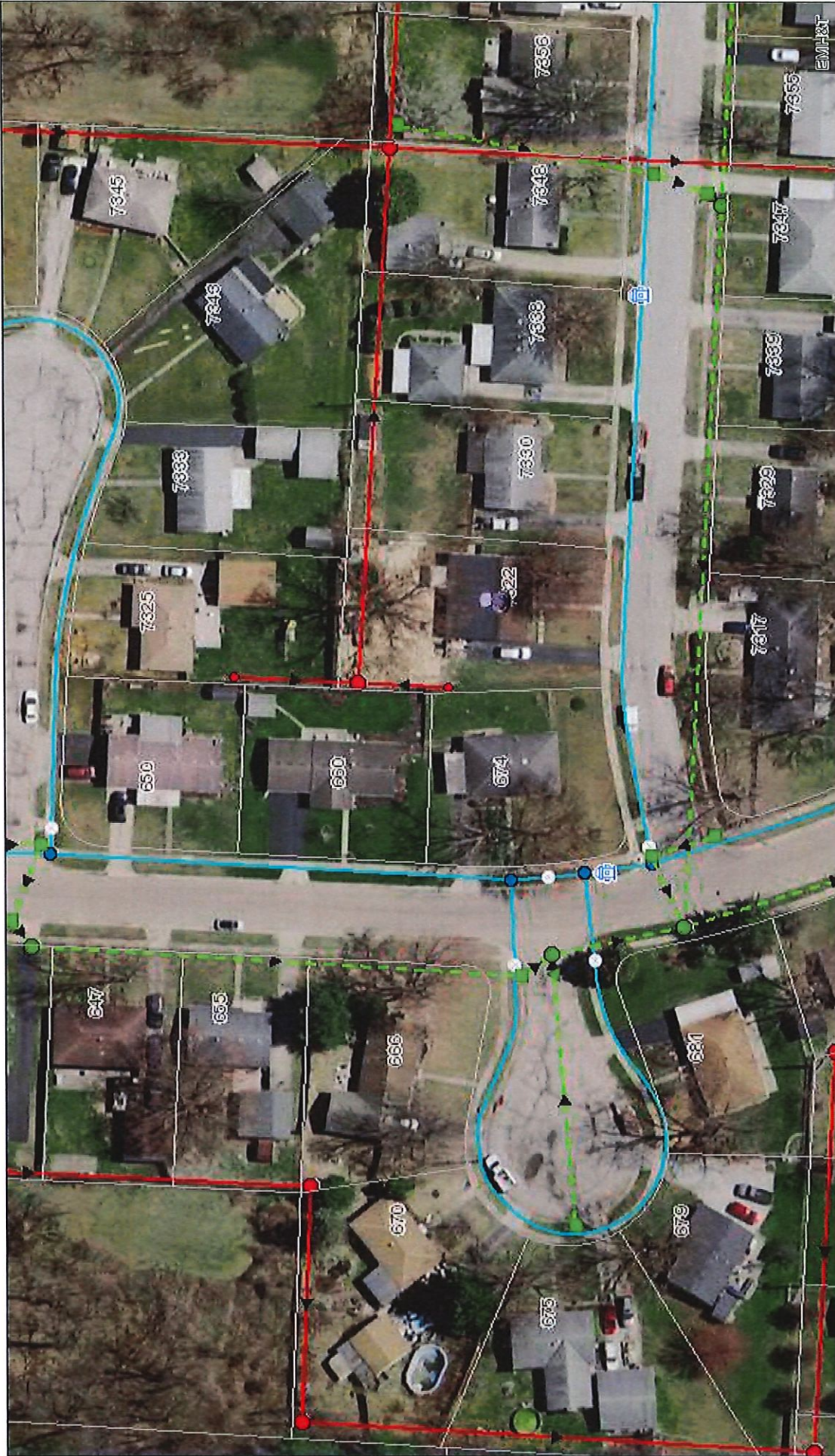
As a side note Even if I was no longer to have puppies which will probably happen in the future I will not get rid of any of my dogs they are my pets first. All of my dogs are kept inside and only go outside to play and use restroom. I am almost always outside with them to prevent unnecessary barking and to clean up dog poop.

Thankyou for your time

Michelle Buck

Hours of Operation N/A
 # of projected staff self + husband

Attachment: 7322 Marlan Avenue, 2022-5305 Application (App# 2022-5305 7322 Marlan Ave., Buck)



Printed Date: 8/1/2022

The City of Reynoldsburg Utility GIS

Map Title

1 inch = 94 feet



AUG - 1 2022