



AGENDA

**BOARD OF ZONING AND BUILDING APPEALS
THURSDAY, AUGUST 18, 2022 6:00 PM**

**PLACE: COUNCIL CHAMBERS
7232 EAST MAIN STREET, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Board of Zoning and Building Appeals – Regular Meeting – July 21, 2022
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. UNFINISHED BUSINESS

1. Briarcliff and Main; Application 2022-5271 (Setbacks); Applicant Charles Schatz; Variance
2. Briarcliff and Main; Application 2022-5271 (Signs); Applicant Charles Schatz; Variance

D. NEW BUSINESS

1. Brice Rd; Application # 2022-5263; Applicant Christopher Jolley; Conditional Use Permit

E. OTHER BUSINESS

F. ADJOURNMENT

Reynoldsburg

OHIO • 1839

MINUTES

BOARD OF ZONING AND BUILDING APPEALS THURSDAY, JULY 21, 2022 6:00 PM

PLACE: COUNCIL CHAMBERS 7232 EAST MAIN STREET, REYNOLDSBURG, OH 43068

A. CALL TO ORDER

PRESENT: Linder, Furst, Bulls, Barnhart (6:14 PM), Davis
ABSENT:

2. APPROVAL OF MINUTES

1. Board of Zoning and Building Appeals – Regular Meeting – June 16, 2022

Minutes Stand Approved

3. APPROVAL OF AGENDA

Agenda Stands Approved

4. SWEARING IN OF SPEAKERS

Speakers for the evening sworn in by Mr. Furst.

B. PUBLIC COMMENT

None

C. NEW BUSINESS

1. 2426 Taylor Square; Application 2022-5261; Applicant Steven Fox; Conditional Use

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the proposed Taylor Square Hotel located off of Taylor Square Drive south of Taylor Road and south of the Buffalo Wild Wings restaurant. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site will be accessed via a 24 foot wide drive connecting to Taylor Square Drive. Additionally, an access point is planned to the north, which appears to connect to the Buffalo Wild Wings parking lot.
 - a. The north connection appears to require modifications to the adjacent parking lot. A work agreement or temporary easement will be necessary to perform work on adjacent property. In addition, a cross access agreement/easement may be required.
 - b. A cross access agreement/easement will also be necessary for the main access point off of Taylor Square Drive.
2. A 22 foot wide access drive encircles the proposed hotel building with parking spaces planned on all sides of the building. 115 spaces are planned, which is adequate given the number of rooms (115).

3. Note that the access drive west of the hotel is off of the property and will require an easement.
4. A sidewalk connection from the site to the existing walk on Taylor Square Drive shall be provided.
5. Projected traffic data was not provided. No recommendation regarding whether any form of traffic study will be required can be made at this time.

UTILITIES

6. For the proposed water service tap and meter, please review and reference the applicable Reynoldsburg Standard Drawings with the PGU submission.
7. The site will have sewer service via a service lateral connected to an existing 8-inch sanitary sewer (P01799).
8. As shown, the hotel will be served by a proposed 2-inch water service, connecting to an existing 8- inch watermain (P01814).
 - a. Calculations should be submitted with the PGU verifying that a 2-inch line is sufficient to support the hotel use.
9. No fire water service has been shown on the plan. It is assumed the hotel will require a sprinkler system. Further information/justification should be included with subsequent submissions.

City of Reynoldsburg

July 11, 2022

Staff Report: Taylor Square Hotel

- a. The fire department will need to verify hydrant coverage and/or if a fire department connection is required.
10. Site lighting information has not been provided at this time.
11. The plan shows that an existing electric easement is within the proposed building footprint. This will need to be vacated/adjusted.

STORMWATER

12. The proposed plan shows that proposed storm sewer will connect to an existing underground stormwater management feature located adjacent to Taylor Square Drive. The site is tributary to this facility. With the PGU, the applicant will need to provide adequate calculations to support that the proposed site has the same or less impervious area than what was assumed with the design of the stormwater management facility.
13. The provided information does not include grading or flood routing information.

DETAILS / SPECIFICATIONS

14. Please provide the details for the curb and pavement compositions so they can be reviewed against the City of Reynoldsburg standards. Additionally, the sidewalk that connects to the public walk along East Main Street should be per the Reynoldsburg Standard Drawing R-9.
15. Where applicable, refer to Reynoldsburg Standard Construction Drawings.

Mr. Fox: I'm a civil engineer here representing the applicant. We have the architect and the developer here and we're here just to answer any questions that you may have.

Mr. Davis: Is this property going to encompass the property of the former gas station that's right there? Or will it have any impact on that former gas station property that's tucked back into the back.

Mr. Meyer: So there are some comments on here about noon and work out some access easements and things of that nature. In the engineering report that talks about needing to do, you know, getting access agreements and things like that. Taking care of those would be typically things we would definitely require of the applicant to take care of a major site plan. So right now, it's just a vacant, vacant lot is what's there right now. There's not a structure on top of it.

Mr. Fox: No, you're absolutely correct. It is noted that there's 2.2 acre parcel, and they will own both of them. It just exists as two parcels now. They may be combined at some point in the future, or they may be developed and sold or whatever. But in the meantime, we do know that we have to get access agreements and other kind of agreements from one lot to the other, even though they're going to be under the same ownership.

Mr. Davis: Thank you for that.

Mr. Furst: The next step in this process, if this is approved here, is to present a major site plan to the planning commission. Do you expect that you'll present traffic data with that as well?

Mr. Fox: We have provided some traffic data for trip generations of a hotel.

Mr. Meyer: I will say Ryan Andrews is our contract engineer. He is looking at this. Before he requested additional information, he wanted to go back and dig around. He wanted to check to confirm if this use was contemplated when it was designed. If that's the case, typically engineering recommends and it's a recommendation only it's not binding that the applicant would be okay because the use was contemplated was designed. He's on vacation so he hasn't formally confirmed that one way or the other. But that's something that he would provide a full answer to the applicant and the major site plan process. I just don't want to say one way or the other because I don't know the answer to that question yet.

Mr. Fox: Well, something a little more historical in this is when this whole property was kind of initially developed, it was supposed to be an Olive Garden and a Drury Inn on this place. So Olive Garden did go on the Drury Inn, did not. In fact, Drury owns this parcel that we are buying.

Mr. Furst: Yeah, I think that makes sense. So my only request then would be, if the city engineer does come back and ask for some additional information, just provide that as part of the Planning Commission process.

Mr. Fox: Of course.

Mr. Furst: It seems pretty clear that this property is very much in harmony with both the current and intended character of the district. I do think it meets the factors for conditional use set out in section 1109.15D. Is there any other questions from the

board?

Pastor Linder: Is the brand relationship already established and secured? Meaning it's a Hilton property. Is that locked in or is that open to whatever happens during development?

Mr. Patel: Yes, we did secure the flag. Everything's ready to go. Basically just waiting for this approval. Then we can start submitting. Moving forward with everything else.

Pastor Linder: And then, if you would, a second question. The revenue model for this. Does it require stays over 30 nights?

Mr. Patel: No. Typically in this hotel brand, it's a Hilton product, right? So it's a higher tier brand, meaning the rates are much higher. Typically, the clients that we get are from Sunday through Thursday or Friday. Typically, workers traveling just in town and then they go home on the weekends. Weekend stays would just be families coming in for events or something like that, and that pretty much be it. Band doesn't really have anywhere near the 30 day limit stays because the rates are so high that essentially if a corporation's not paying for it, then, you know, out of your pocket, it's going to be pretty pricey. So we're not really worried about the 30 day limit as far as our clients coming in.

Pastor Linder: Excellent. Thank you. That's all, Mr. Chairman. Thank you.

Mr. Shook: Mr. Chairman. If I could, just to kind of piggyback off what Pastor Linder indicated. In the spring, we changed the definition of overnight hotel to prohibit any stays longer than 30 days. So it couldn't be that kind of extended stay anyway.

Pastor Linder: That's kind of why I asked if you have a revenue model that actually is driven by extended stays, which I'm guessing a Homewood Suites might be more along those lines, which this is different.

Mr. Patel: They're a little bit higher tier. But there's no specific pricing model for that. It's typically just a day to day stay.

Pastor Linder: I just I was hoping you wouldn't be in a situation where now your revenue model is being driven by something that we prohibit. That's all.

Mr. Patel: No, it's not like Extended State of America or Woodspring Suites where they have specific weekly or monthly rates. Home2 typically don't have that just goes by the day.

Mr. Furst: Well, seeing how in at least my opinion, this application meets the conditional use factors outlined in section 1109.15D, I do move that we accept this application as submitted.

Pastor Linder: I'll second.

Mr. Furst: We have first and second. Would you please call the roll?

Ms. Butler: Ms. Bulls. Yes. Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Linder, Furst, Bulls, Davis
ABSENT:	Barnhart

2. Briarcliff and Main; Application 2022-5273; Applicant Charles Schatz; Conditional Use

ROADWAY ACCESS AND SITE PARKING

1. The site will be accessed from an existing commercial drive which connects to East Main Street. The access point is located in the northeast corner of the site.
 - a. The drive will be 29 feet wide at the connection to the existing drive, which is adequate.
 - b. The interior drive aisles will be one way in a counter clockwise direction and will be 17 feet wide adjacent to the parking spaces, which are angled. The one way drive aisle is acceptable.
 - c. There will be a drive thru lane and window and an escape lane on the site. Each are adequate.
2. The site is currently an existing asphalt parking lot. This will be removed to construct the proposed project.
3. Signage will be needed at the access points and internally to the site to ensure the one way nature of some of the traffic flow is conveyed to the customers.
4. The plan shows that 9 vehicles can queue from the pickup window to the ordering station.
5. A sidewalk connection from the right-of-way to the site should be included on the site plan.
6. The site plan proposes 15 parking spaces, which is adequate for the site.
7. The applicant provided an estimate of 350 trips (average daily traffic) for the facility. Although the traffic data requested to determine if a project requires a traffic study references peak hour counts, the provided ADT information is adequate. Since the project is planned to be constructed within an existing commercial center, and with the provided ADT information, a traffic study is not required.

UTILITIES

8. For the proposed water service tap and meter, please review and reference the applicable Reynoldsburg Standard Drawings with the PGU submission.
9. The provided utility plan shows a 6-inch sanitary service lateral being extended to the building from the west from an existing 8-inch sanitary sewer (P00345). The lateral shows a slope of 1.0%, which does not meet the required minimum slope of 2.08% for a service lateral. If the required.

City of Reynoldsburg July 11, 2022

Staff Report: Caribou Coffee steeper slope cannot be met, a mainline sewer extension to the site may

be necessary. In addition, a service lateral or a mainline extension will require an easement to

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be dedicated.

- a. In addition, the plan is currently showing a manhole on a 6-inch service line which is not allowed. If this remains a service lateral, a cleanout should be placed in the location where the manhole is shown.
 - b. The sanitary lateral also appears to leave the site, extending onto the adjacent property to the north and west. This would require a legal agreement and easement.
10. As shown, the site will be served with water via a new 1-inch tap on the existing 8-inch watermain located on the north side of Main Street (R02479).
 11. A proposed fire hydrant is shown to be installed along the east property line, south of the proposed driveway. This would be a private hydrant and a valve is required at the tee from the existing main.
 12. For lighting, the site is utilizing four light poles with LED lights. Based on photometrics provided, the lighting is adequate for a commercial site.

STORMWATER

13. The plan shows the site grading from west to east. An existing catch basin and existing storm sewer will accept the site runoff and exit the site near the southwest corner of the site.
14. The plan currently does not show water quality or quantity control features. Since the disturbed area is less than one acre, water quality treatment would not be necessary. Detailed calculations and/or report are to be submitted with the PGU plan to document the pre- and post-developed impervious areas to show if quantity controls are required.
15. The PGU plan will need to show more detailed grading and flood routing information. Storm sewer profile(s) information should also be included.

DETAILS / SPECIFICATIONS

16. Please provide the details for the curb and pavement compositions so they can be reviewed against the City of Reynoldsburg standards. Additionally, the sidewalk that connects to the public walk along East Main Street should be per the Reynoldsburg Standard Drawing R-9.
17. Where applicable, refer to Reynoldsburg Standard Construction Drawings.

Mr. Moore Eric, I thought you did a great job just speaking on we're just trying to get a drive thru here. Drive thru only with a patio and walkup window. There's no inside seating. This is kind of the model that has been pushed by Caribou due to COVID and that it's a much more successful model for the brand. I should add, I'm an owner and developer for the franchise brand. We are the first franchisees actually in company history, and this would be the first location in Columbus. So appreciate you guys taking the time out of your night to hear what we have to say. And it would be great to partner up with the Reynoldsburg community and for this to be the first location in Columbus.

Mr. Furst: In our code, it does state that the intended character of the East Main Street District is compact, mixed use, walkable environments. I will submit this is definitely a compact building. Until you mentioned it here, it wasn't entirely clear from the elevations or provided that there was a walk up window. So can you talk a little bit more how you might service pedestrian or like bicycle traffic or someone coming off of mass transit, something like that?

Mr. Moore Definitely. I actually spoke to our architect and he regrets not putting in the plan, a strong pedestrian walkway to the sidewalk. I know that in the 2018 comprehensive plan that this part of town is really trying to become more walkable. So when we are to submit a final plan, we will certainly stress that strong pedestrian walkway, well landscaped up to our site.

Mr. Furst: Okay. Thank you. That was one of my actual main objections to this here. And but that resolves that completely. I don't have any additional questions as far as the conditional use is concerned.

Mr. Furst: Not that it necessarily relates to the conditional use factor, but would you be amenable to moving the building a little further to the road to meet some of the setback intention that our code calls for? I realize there's an easement issue and we can talk about that with the variance.

Mr. Moore I think that we'd certainly be willing to work with you guys, but as we've stated in here, we think that it would just make the most sense feasibly for us to have that there and then really find a way to create that strong walkway from the sidewalk.

Mr. Furst: Okay. Thank you.

Mr. Furst: Is there any additional questions or discussion? Well, at least as far as the drive thru portion is concerned. I mean, it's very clear that this is in harmony with the not only existing but intended use of the district. We have a number of drive thru businesses, some immediately adjacent to this property. So I don't think there's any issue there. And your placement being with the right and right out and everything is certainly going to help from a traffic flow perspective. I know every time there's additional curb cuts and things like that, that can be a stumbling block. So I appreciate that portion of the consideration. That having been said, I do move that we accept this application as submitted.

Ms. Barnhart: I'll second.

Ms. Butler: Ms. Barnhart. Yes. Ms. Bulls. Yes. Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Linder, Furst, Bulls, Barnhart, Davis

3. Briarcliff and Main; Application 2022-5271 (Setbacks); Applicant Charles Schatz; Variance

Mr. Meyer: The applicant is requesting a variance here, they are asking for a further set back from the street than what the code allows here. There's a maximum distance, so the minimum required set back in the district is five feet from the right of

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way with a maximum of 20. The proposed setback is about 44 feet from the road. So they're asking for a variance of approximately 20 feet here. Basically, the reason I have what is in front of the screen is it's a little tough to see, but after putting this report together, we caught that there is a 60 foot landscape and water easement currently existing on the site. Ryan Andrews, looked back at it, found it went in place in either '05 or '06. This is typically what we don't do now. What he would do if any project were to move forward and be developed here is he would amend of the size of this easement and making it about 15 feet. But as part of that, my understanding from Ryan is the existing easement allows you to build on it. When we do easements for water and landscaping, we don't let you build on it for a variety of reasons. One of them being you don't want to build a building on top of a, you know, a water line or something like that. So the intent would be to make it about 15 feet. I'm saying about and things like that because obviously I don't have an exact description here. So based on that, speaking with OHM this their initial recommendations before this report together, they said, well, really maybe not keeping in character of the district, having talked to them about this easement, they do believe because of the 15 feet, a five foot one hardship could easily be granted. Obviously, five feet is not the approximately 20 feet that the applicant is requesting. So that's really for you folks to kind of understand, is it in character of the district? I know the applicant would like to talk about how this meets the goals, as he mentioned, of the 2018 plan of walkability and connectivity and things like that. So I will turn it over to the applicant to kind of talk about the rationale here. And I know we got into it a little bit on the previous discussion, so I'll be quiet and let you speak.

Mr. Moore Thanks, Eric. Yeah. So there was a sketch that we got sent a few days back that would have made this so that the setback was not necessary. And we kind of had three main reasons why we thought otherwise and that with that, what we had, you know, was better for patrons. And then also from a feasibility standpoint, from developing on our end. Yeah, the eight inch water main that runs through the area was in question would make it infeasible to move that or repair that when we were trying to build our patio on that site. Secondly, the drive thru was placed in the front of the building and that would cause any hardship for someone with accessibility issues in a wheelchair to get to the building from the sidewalk. So that was also like a life safety issue that we had there for a second reason. And third, the stacking would actually be let out, back out on to the access road once it once you actually pull land off of East Main. Rather than having more than enough stacking back more than those nine spaces before you even get to that access road. So I know it's kind of hard to envision. I'm talking as if it's in front of you, but the way that the drive thru was laid out is that it would hopefully our business is good enough that the cars would actually stack back out onto that access road. And then kind of once we were talking through those three items, we came up with that our plan had more landscaping, so there was a reduction in impervious pavement which is beneficial to the site and surrounding parcels as well. Then, just believe that the solution that we put in front of you guys is the best that we can do right now. As we do not have that the strong pedestrian walkway right now, we will be including that in the final plan.

Mr. Furst: Certainly opened up the floor to the board for any comments or questions.

Ms. Bulls: I'm still struggling with trying to understand. So where the drive thru is, that's the portion that's off of Main? So if we're talking about a sidewalk for pedestrians, how would they cross over the drive thru to get to the actual structure?

Mr. Moore: Well, what we were thinking was the way that it was laid out from what Eric sent to us a few days ago, is that it would be basically like not impossible, but extremely difficult for someone in a wheelchair with accessibility reasons, which would be even more difficult than what's than what's shown here.

Ms. Bulls: So you're still working through how to solve for that?

Mr. Moore: Yes. Correct.

Mr. Furst: I think it's probably difficult for us because some of these factors are still in play. It's probably difficult for us to fully understand what your vision is, that maybe some changes have been made in the past couple days conceptually with the current plans that we have here. But do I understand correctly that other than the pedestrian connectivity portion of it that you're not necessarily asking or that there wouldn't be any other major changes really, other than that portion of it? Is that correct?

Mr. Moore: That would be correct, yes.

Mr. Furst: So let me ask you, other than the variance, did you investigate other remedies that are available in our code?

Mr. Moore: I honestly could not answer that right now.

Ms. Barnhart: I'm still having a little bit of problems understanding with regards to the easement. It's just not clear to me. I think I'd like to see it a little bit more flushed out so that we can see exactly where this would go with regards to the easement. Even with what OMH has said, I don't feel like we have enough information in front of us tonight.

Mr. Furst: I think that's reasonable. Would you be amenable that tabling this until our next regular meeting?

Mr. Moore: Yeah that would be okay.

Mr. Furst: Well, I certainly do move that. We table this into our next regularly scheduled meeting.

Ms. Barnhart: I'll second.

Ms. Butler: Ms. Barnhart. Yes. Ms. Bulls. Yes. Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	TABLED [UNANIMOUS]	Next: 8/18/2022 6:00 PM
AYES:	Linder, Furst, Bulls, Barnhart, Davis	

4. Briarcliff and Main; Application 2022-5271 (Signs); Applicant Charles Schatz; Variance

Mr. Meyer: We did have a signage variance. My staff recommendation, we've provided an affirmative on the conditional use, if were tabling the setbacks since the applicant would be coming back to the meeting. I propose also to table the variance for signage and have that come back up at the next meeting, just one staff suggestion.

Mr. Furst: Yes I agree with that as well and do so move.

Mr. Davis: Second.

Ms. Butler: Ms. Barnhart Yes. Ms. Bulls. Yes. Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	TABLED [UNANIMOUS]	Next: 8/18/2022 6:00 PM
AYES:	Linder, Furst, Bulls, Barnhart, Davis	

D. UNFINISHED BUSINESS

1. 6050 E Livingston Ave; Application 2022-5203; Applicant Oasis; Conditional Use

Mr. Meyer: Thank you. So this is an application that was heard previously and was tabled. So you've got in front of you the previous report. Since the last meeting, the applicant provided a letter kind of laying out in more detail what their plan for the site is. So you can see there's confirming the lot size that we mentioned last time, which is point four, three acres. This is at 6050 East Livingston. The intent here is for the applicant to sell used cars. The site itself was previously an auto repair shop, a space for hydraulics, compressors and associated equipment. So the intent in my understanding is Mr. Muhammad, who's the owner who's out here tonight, would be looking to sell cars while also in the future opening up his auto shop. I believe in the letter provided, there is a commitment that the auto shop would be open 90 days from the conditional use approval. So with that, I would turn it over to Mr. Oasis, who's an agent, for the order to kind of add anything that I may have missed or answer any questions that staff has. Just to set the table, the applicant, originally said 8-10 uses cars. It's now eight used cars and opening an auto shop within 90 days. The conditional use is just for the car sales, not the auto shop component. So with that, Mr. Oasis, I'll let you answer any questions or if you'd like to make a quick summary. That would be a great.

Mr. Oasis: Like you said, this is would be limited use on the sales of the cars, about

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eight cars for sale. The auto repair is an existing zoning used for it. What he's looking for is he's got an operation on Westerville Road and he wants to move here at this time. He rents over there and he wants to move. He bought this property to move his business. The moment he gets an approval on this, he will be ready to move his business from Westerville Road to 6050 East Livingston Avenue.

Mr. Furst: Open up the floor for any questions or comments from the board.

Pastor Linder: Maybe I'm missing something, but last time you were here, the suggestion was as soon as he's able to open, which it says here, 90 days, the service portion, then the sales will cease. Or do you want to continue to do both, which is what came up last time. Is he wanting to do both?

Mr. Oasis: No, he's ready for the approval of the sale if he's able to sell cars. He is ready to move into this location and the same time repair on sales. He wants to move his operation from Westerville to this location, but he has to have your approval for the sales part.

Mr. Furst: I think the issue that that pastoral lender is referring to is that we are not allowed under the code to grant a time limited conditional use. So we would have to grant a permanent conditional use. There's some question about the stated primary use of this business. You know, is it primarily going to be the auto sales? Because the issue there is, is that there is not a vehicle care services or repair services use available in our code that also allows for auto sales as an accessory use and that the vehicle sales automobiles that is defined in our code, it does require that the use be primarily related to new vehicles, whereas I understand it's going to be used vehicles. So that that's part of the issue.

Mr. Oasis: Okay. Like I said, it's. It's mostly an auto repair with the sales of a mix of used and new cars. That's his plan. I'm not sure if I answered your question clearly here.

Mr. Davis: So right now, generally speaking, on a monthly basis, how many cars does he sell?

Mr. Oasis: I can't really I don't know the number or how many, but that's what he does there. He's got, I would say, 80% of his business. 90% of his business is auto repair. I'm just assuming, I'm not sure, four or five, but a very small portion of it is the sales.

Mr. Davis: Thank you.

Mr. Furst: And just to return to my previous statements, there's just no use allowable under our code that would allow for his business model as you're presented here. So I think to move forward at this location in that same industry, it would either have to be a new vehicle sales that would be supported under the

primary use of vehicle sales, automobiles or automotive care services just for the auto repair, and then you don't even need to be in front of us because that's a permitted use. There is there is no dual use available for the used cars.

Mr. Oasis: Would you allow the new car sales? Would that be if the request was that, would that be allowed?

Mr. Furst: I think we would have to permit, and go through the same sort of analysis that we did here, assuming I can't recall. Is that a permitted or a conditional use?

Mr. Shook: That would be a conditional use. This fits under the same definition or same use that they are applying for today. New vehicles are a conditional use.

Mr. Furst: Right. So I understand that you're primarily looking to sell used cars. If you were to sell new cars, I think that would be a different discussion. But we would also probably have to see some additional information as far as the brand and things like that.

Mr. Oasis: So as we stand, it's just zoned for the auto repairs. Basically.

Mr. Furst: You can move forward with auto repairs. That would be a permitted use and that wouldn't require any additional analysis or decision from this board.

Mr. Oasis: Okay. I will have to consult with my client to see if that's what he wanted to do then.

Mr. Shook: Chair Furst, because this application was tabled since the last meeting, the applicant would either need to pull the application or this board would have to vote on the application tonight.

Mr. Furst: I don't necessarily want you to have to jump through a bunch more hoops if you do come back and he does want to sell new vehicles here. Would you like to withdraw your application? In that case, it would be a little easier to restart the process.

Mr. Oasis: We can withdraw the application.

Mr. Furst: Well, if you're withdrawing your application, then that is stated on the record and I think we're good here.

Mr. Oasis: All right. Thank you.

Mr. Shook: Chair Furst, just to have a clean record, I would ask that the board have a motion and a second and a vote to accept the withdrawal of the application.

Ms. Barnhart: I'll move that we accept the withdrawal of the application.

Ms. Bulls: Second.

Ms. Butler: Ms. Barnhart. Yes, Ms. Bulls. Yes. Mr. Davis. Yes. Mr. Furst. Yes. Pastor Linder. Yes.

RESULT:	WITHDRAWN
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E. OTHER BUSINESS

1. Conceptual Review - Daycare

Conceptual Review - Capital Royal Child Care

Board of Zoning and Building Appeals:

Below is the staff review of the above referenced application.

1. Project Summary

- a. Daniel Essien of Capital Royal Child Care is appearing before the Board to discuss the concept of constructing an approximately 15,000 SF childcare facility. The parcel is approximately 2.077 acres and is located on the west side of Brice Road, just north of the intersection of Brice and Main. It is Staff's understanding that Capital Royal is not the owner of the subject property, but currently has the property under contract.
- b. The property is in the Brice and Main District. Per Section 1105.13 of the City's zoning ordinance, a School - Child Day Care Center is a Conditional Use that must be approved by the Board of Zoning and Building Appeals.
- c. Conditional Use applications for Childcare Facilities also require that the subject parcel not be within one hundred and fifty feet of a parcel or lot that has an approved gasoline station use. In order to abide by this provision in the zoning code, Capital Royal Child Care's development concept involves splitting the current site into two parcels and developing the parcel farthest from the existing gasoline use.

2. Staff Recommendation

- a. No recommendation. This is a conceptual review in which the applicant is looking for feedback only.

Mr. Meyer: Yes. So this is in front of you. So this is the site. I'm Bryce Road. Just north of Main Street. It's currently undeveloped. So the intent here is for the applicant to turn it into a childcare use, which, as everybody is probably aware, is a conditional use application. So the applicant is intending to build a single story

structure which would be used for childcare, serve approximately around 30 children, have around 40 staff members, and we preference 6 to 6. They did supply a license and some other documentation. I am I will fully admit I'm not part of Ohio Department of Education, so I can't speak for the validity of it. But that was supplied. And just, you know, the other part of the reason we're here is if you look at the what's in front of you on the screen, you can see that right now. It's one lot. And my understanding is there they'd be intending to split it off. One of the things that's an issue here is in our code and I'm like, if it's 120, 550 feet, I will I will look it up and tell you folks. But there's a minimum distance that a child care facility must be from a gas station. That is a condition in our code. So basically the intent here is to meet the distance threshold and then split off the site. The as it reads, it's the distance to the lot of the other gas to of the gas station. So it's not like the as the crow flies from building a building or something like that. So that's the intent and you can see on here where it says lot one that's that 15,000 square foot proposed daycare. You can see Bryce Road on the right, you can see their proposed parking and such there. And then lot two is the piece that they would be split up and not be developing at Horton. So and then south of that is the gas station use and such so that's what's being before the board here. So with that, this is these are the documents we have. Everything is in your packet in here and you know, there's not a vote. So really it's just the, you know, thoughts and comments on it. Is there anybody here from the applicant that would like to speak on the project? And as we said before, if you could state your name and address when you're up there, which would be most helpful.

Mr. Jolly: I think Eric did a great job outlining the scope of this project. Basically we have a vacant parcel here and from my research is 150 foot setback from the gas station. So that's kind of that line you're seeing across the bottom of that second lot kind of cuts from that southwest corner over towards Brice Road. So parceling off so that we could stay out of that setback for our parcel and then creating enough space that we need for a 15,000 square foot daycare and the associated parking, about 60 spaces. And having a playground there to the back of the building. Then the second line could either be developed by my client or potentially sold off for a commercial use. That's kind of the thought that could happen there. It's about a 92 foot wide parcel saying the full width of the site as exists today. And other than the conditional use, I think we're looking to meet all the requirements as laid out in the district as far as keeping the building close to the street and landscaping buffer requirements. Currently they do operate a daycare facility a little further to the south on Brice Road. So this would be kind of expanding upon their presence here in the community to service more children. I do feel the placement of this building is in harmony with the area. There's residential to the north. So I think it kind of functions like you would have a neighborhood elementary school almost having child care in a neighborhood type setting and it creates a buffer from that residential toward the commercial development as you go south.

Mr. Furst: Personally, I think I would be a little more receptive to that portion of the argument if it wasn't immediately adjacent to an auto services business, the Ziebart at a gas station and a body shop to the east. So speaking very frankly, if the

applicant has reviewed any of the meeting minutes of this board, even in relatively recent memory, we have been very skeptical of child care applications in which it may present an environmental hazard to the children anywhere where there might be noxious fumes, industrial activity, or even lots of vehicular traffic, such that there might be enough exhaust that that might drift over into the play area. So if I had to pick a place to put a child care facility in the city, it would not be this one. In fact, it would be probably the worst one. That's just my opinion.

Mr. Jolly: I could be wrong, but I believe the setback is from the gas station use not the Ziebart. I think they're just auto parts dealer, I believe, and I'm not sure if they do repair on site or not.

Mr. Furst: You're correct. But there is a specific provision as far as it relates to environmental conditions for daycares. And so that's the issue here, is not necessarily a setback or anything like that specifically, it's just that sort of concern. But if the board has any other comments or questions.

Mr. Davis: I will say that I'm familiar with that area and in that area specifically I don't share those environmental concerns that you have.

Ms. Barnhart: I will add that I'm encouraged that it would bring many jobs to the area and serve many families. Would this be a replacement location from the one that you said is further down south on Brice? Or would they keep both open?

Mr. Jolly: That's the intent.

Ms. Barnhart: That it would replace? Okay.

Mr. Davis: That was also a thought and concern of mine. Just would we be creating a child care vacuum by not allowing them the expansion? And just looking at their application, they do have a five star rating from the Ohio Department of Education and that step up the quality system, while isn't perfect, it is the best that we have in the state in terms of really tracking development of child care centers. And it's not something that they can get overnight it takes time and market improvement over time. And so I wouldn't want to lose such a provider in our community.

Mr. Furst: Well, what's the nature of the business they would be replacing? Is it in a strip mall or is it a standalone facility? It would be a definite improvement if you're replacing like a strip mall type facility with a standalone facility?

Mr. Jolly: Correct. Yes, it's in a strip center today. I'm not sure who the anchor tenant is there, but they're one of the more minor tenants in that strip center.

Mr. Davis: It's the Alliance site. So it's at the southern end of the Alliance site.

Mr. Furst: Okay.

Mr. McCarter: I'm the attorney for the business. I've got the owner here as well. We can certainly address any of those questions. However, one of the reasons for looking for this is we're in danger of losing our other location. There's a lot of redevelopment discussions down there. We sought a purchase. They're not interested. They're looking for significant money. So Daniel Essien, who is owned and operated this facility for many years, wants to continue to provide and is tired of being at the whim of a landlord and therefore wants to own the site so that he can have the permanency to continue as the daycare model has worked for him and so forth. So we've been looking, it's not easy. You don't hardly have any sites here that work and we've engaged some different realtors, etc.. One site that we did consider when we brought the appraiser out, they told us, I'm not even going to begin the asking price we'll never get through a loan approval. It's too much. And it was owned by a CVS and trying to talk to corporate, forget it. So we moved on and we found this site and then we ran into the setback requirements so you know, came up with a lot split idea to overcome that. I think it's that little diagonal line on lot two shows you where the setback boundary is. Am I correct? Okay. So that's the 150 foot setback that's shown on lot two and we got the parking area and then the building to the north of that. So, we achieved getting off of it, but we couldn't have a lot touching it. So hence we needed to propose the lot split.

Mr. Furst: I do appreciate that you did propose a lot support instead of just asking for a variance. I mean, we're very skeptical of variances here typically. So having another remedy available that otherwise meets all the other requirements in our code is the best path forward. It may just be that I am in the minority here as far as this. I think it's maybe a little difficult to give much more feedback than we have here without seeing a little more.

Mr. McCarter: Sure, sure. And we were just looking for first review.

Mr. Shook: Attorney McCarter, if I could ask, would it be possible to address the noxious fumes issue? We're talking about a Ziebart, it's actually a cleaning center for vehicles.

Mr. McCarter: We can certainly look at it.

Mr. Shook: I think that's probably going to be important to the board to get some information about what kind of fumes come from that particular use.

Mr. McCarter: We didn't know of it as a specific concern. So we're not really well prepared to address it tonight, but we'll look into it.

Mr. Jolly: My initial response is I think generally speaking for the prevailing winds would not necessarily bring those up this way. You know, coming more out of the northwest, prevailing winds tend to b

Mr. Furst: Is there any other additional feedback the board would like, and is this kind of what you're looking for more or less satisfactory? I mean, if there's additional questions you might have for us, we might be able to attempt to answer them. But the information provided is somewhat limited. So it is a little difficult for us to probably speak voluminously on this.

Mr. Jolly: I think I've gathered a decent feeling for several members. I guess I didn't know if each member could maybe speak to how they feel about the conditional use. I know Mr. Furst, Mr. Davis has kind of provide their opinion, but not specifically the others, if that's possible.

Ms. Bulls: I am agreeance with my other two board members. I mean, there is a concern with regards to our children and being around fumes and whatnot. However, I do agree with how you've laid this out. I'm also in agreeance with maintaining the business within Reynoldsburg and growing the employment and Reynoldsburg. So I'm in agreement with that.

Ms. Barnhart: I would say, what we're not saying here is that you are coming down at the end of another neighborhood. I think that the placement is actually good for serving the neighborhoods north of that area. To me, I see it as an improvement over the current site. We understand that there's more development that will be happening down Brice Road. I think it's a great opportunity to own a piece of land and to build your business. And so I would see it as a good long term fix and investment into our community.

Mr. Davis: That was well said by Ms. Barnhart. I think that there is a lot of development happening in that area and that this is a bit unfortunate case of someone being caught up on the wrong end of that development and having an opportunity to do something to better their business and the community while keeping them in the same area. It won't be more than a one traffic light difference for any of the families that they currently service, and they'll have the opportunity to provide even more jobs and service to the exact same area. To me it seems as if that should be an easy transition for the families, the children and the business.

Pastor Linder: For my part, I know Mr. Furst expresses very clearly and I agree with some of the historical challenges. These sites can really be a challenge and we always want what's best for the children. That being said, I have confidence in your ability to maybe get out of the box in terms of even what we've talked about and maybe come back with something that would at least be worth looking at and being very serious in our consideration. So whereas in the past there's been disappointment and frustration. I would love to see something that really seems to have gotten as creative as possible. You've already shown some of that with your lot split and other considerations. The business owner seems very intent on creating something very positive for the community, and that's encouraging.

Mr. Meyer: I would just add, there is some good information provided about the

applicant's background and we've got a site plan. You know, sometimes the there's a lot of latitude and what is a conditional use application versus not? I've heard Mr. Furst and Pastor Linder asked for a little more information. Is there any concrete things that would be helpful, whether it's I don't want to rack up bills on designer anything, but is there elevations, things like that? I think Pastor Linder you just mentioned creativity. Would it be helpful to see a little bit more along those lines?

Pastor Linder: My intent is to go back by there and drive around and get a better feel for it. I haven't been back there in a little while. Generally so that we could feel like, okay, this really has been a step beyond maybe what we've been able to work with in the past, because they did look at the fact that those fumes and that proximity does matter and they found ways to create something that was positive for children. I know I'm still not giving you any specifics, but I don't want to say it's a feeling. But it would just be a presentation that seems like, wow, that was taken care of in that way as best as it could be.

Mr. Furst: Yeah. I mean, I think even if you have some kind of minor conceptual or at least, you know, further back in the process concepts for elevations and landscaping and things like that, that that would probably be beneficial just so we can get a more holistic feel, especially if you could maybe give us, as Ms. Barnhart said, if there is a residential area there, show us how it fits in with that and serves the residential area a little better from a kind of a use workflow perspective.

Mr. Jolly: Appreciate it.

F. ADJOURNMENT

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of Jul 21, 2022 6:00 PM (APPROVAL OF MINUTES)



ARCHITECTS. ENGINEERS. PLANNERS.

July 12, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: Caribou; E. Main St. & Briarcliff; Case # _____

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. *Project Summary*

- a. The subject property is located approximately 360 feet east of the East Main St. & Briarcliff Road intersection and lies between two outparcels along East Main Street. The site is zoned MSD-East Main Street District.
- b. All four quadrants of the East Main St. & Briarcliff Road intersection are adjacent to the site and are zoned MSD-East Main Street District.
- c. The site currently contains a 44-space parking lot that is part of the Aaron's (old Kroger) shopping center. Significant investment has been made within the right-of way to accommodate pedestrian traffic and street furniture (sidewalk and brick curb walk, street trees, seating, trash receptacles, etc.). A COTA bus shelter is at the southwest corner of the site. The existing parking lot is also screened by a low-rise, landscaped brick wall that is found along most of this segment of East Main Street.
- d. The 2018 Comprehensive Plan, upon which the current zoning code is based, recommends for East Main Street "Attractive streetscapes and walkability should be emphasized to encourage pedestrian and transit activity along the corridors, and to create cohesive character amongst neighboring development. Sidewalk cafes, awnings, and landscaping are encouraged to help define the character of the development." The zoning code was revised to accommodate the Plan's recommendations and, for the MSD and the Brice and Main Street District, to incorporate transit supportive development.
- e. The applicant is seeking approval for a "drive-thru coffee with no indoor seating and limited outdoor patio seating food service" facility on the site with the drive thru being a conditional use (Section 1109.15, Conditional Uses). The use is mostly auto oriented with a large portion of the lot devoted to the drive through stacking and circulation lanes. Bicycle parking is provided along with the patio seating adjacent to the building. A variance to Section 115.03, Signs is also being requested and the drive-thru use is subject to Section 1105.13, L, Drive-Thru Service.

2. *Zoning Conditional Use Review- MSD-East Main Street District (Section 1109.15, Conditional Uses and Section 1105.13, L, Drive-Thru Service)*

- a. **Lot Coverage (Max.):** The maximum lot coverage for the East Main Street District is 80%. The amount of lot area covered by building and other impervious surfaces is approximately 74 %.
- b. **Permitted Uses:** The requested use falls under Food Service - Quick Serve/Fast Food With Drive Thru which is a conditional use in the MSD-East Main Street District.
- c. **Parking:** The code requires one parking space per 200 square feet of floor area or, in this case, approximately 3 spaces for a 625 square Food Service – Quick Serve/Fast Food with Drive Thru

Attachment: Caribou Coffee -Setbacks Variances Application Review (App# 2022-5271 (Setbacks), Briarcliff and Main, Schatz)



restaurant. The existing site plan shows 15 parking spaces, including one handicap space and three order ahead/wait spaces. With the removal of the existing parking lot, the net loss will be 29 spaces.

- d. **Setbacks:** The minimum required setback is 5 feet from the right-of-way with a maximum required front setback of 20 feet for the East Main Street District. The proposed setback for the primary structure is approximately 44 feet, nearly 24 feet longer than the required maximum, and 22 feet further back than the adjoining Ohio Health Emergency Care facility.
- e. **Circulation:** The proposed drive-thru lane is 22 feet in width and includes an escape/abort lane of approximately 11 feet. The length of the lane can accommodate approximately 9 vehicles, which is adequate stacking space without interfering with on-site circulation and parking maneuvering. There are no residential uses in close enough proximity to be impacted by noise from the order kiosk speaker. (Section 1105.13, Supplementary Use Conditions, Drive-Thru Service).

The zoning code supplemental regulations for this zoning district also stipulate that a “reasonably direct connection to buildings” should be provided to existing transit stops or “walkways connecting streets to buildings.” The current site plan does not show a walkway connection from the building entrance to the street or the transit stop.

3. Zoning Variance Review- MSD-East Main Street District (Section 1109.15, Signs)

a. Signage

- i. The applicant is providing two wall signs, one on the eastern and one on the southern side of the proposed building. The wall sign on the eastern side of the street measures approximately 180 inches by 22 inches, equaling approximately 27 square feet, 5 feet less than the permitted 32 square feet. The proportionally larger wall sign on the south side of the building measures approximately 283 inches by approximately 34 inches, or 67 square feet which is seven square feet less than the permitted 74 square feet.
- ii. The maximum number of wall signs permitted in the MSD-East Main Street District is one wall sign “on the wall of a building which most nearly parallels a street, parking lot or service drive.”
- iii. In addition to the wall sign, one monument sign is permitted with a brick base. The application shows a stone base, matching the building elevation. The 19 square foot sign is five feet less in area than the permitted 24 square feet. The sign is also setback 17 feet from the property line, which is seven feet more than the required 10-foot setback. However, from the signage information that was provided, the total sign height, including the base, is shown at 10 feet. This is 4 feet taller than the required maximum height of 6 feet.

4. Zoning Recommendations

a. Zoning Conditional Use - MSD-East Main Street District (Section 1109.15, Conditional Uses)

- i. Approval of a conditional use is required to allow a drive-thru facility. A conditional use is supported with the condition that a development plan be submitted complying with the 20-foot building setback requirement. The conditional use would then meet the requirements of Section 1109.15, D, vi, Conditional Uses “shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan.”
Development Director Note: Subsequent to the drafting of this report, the applicant requested that the Setback Distance be submitted as a Variance Request. As a result, the Setback Distances have been provided as a separate Variance Request. Approving the Conditional Use would allow for the drive-thru use contemplated, but would not provide approval of the Setbacks requested.

b. Zoning Variance - MSD-East Main Street District (Section 1109.15, Sign and 1105.13 Front Yard Setback)

- i. *Section 1109.15, Sign Variances*
 - 1. A variance is required to allow a second wall sign. A second wall sign is not supported because a hardship or practical difficulty does not appear to be present, and the additional sign appears to be a matter of convenience when other remedies (allowance of a ground sign) are available.



2. A variance to the maximum monument sign and the sign base material will be required. The additional sign height is not supported because a hardship or practical difficulty does not appear to be present. The stone base, however, is appropriate in this case to match the stone used on the building elevation, instead of requiring the sign base to be brick.
- ii. **1105.13 Front Yard Setback Variance**
1. A variance to the required 20-foot maximum setback will be required. Approval of the variance is not supported. The front building setback of approximately 44 feet is not in keeping with the intent of the Comprehensive Plan nor the required maximum building setback of 20 feet for this zoning district. If the 20-foot maximum building setback is provided, it will place the building and patio closer to the sidewalk with a walkway connection and put the drive-thru lane and parking behind the building. This will not only make it easier to adhere to the Plan and comply with the setback requirement, but it will also be more proximate to the streetscape improvements and more closely match the adjacent building (Ohio Health Emergency Care) setback and its own walkway connection to the public sidewalk.

If you have any questions or comment, please feel free to contact us.
Very truly yours,

Kim C. Littleton, AICP
Senior Planner/Project Manager



Engineers, Surveyors, Planners, Scientists

MEMO

Date: July 11, 2022

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: Caribou Coffee

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the proposed Caribou Coffee located on the north side of East Main Street, east of Briarcliff Road. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site will be accessed from an existing commercial drive which connects to East Main Street. The access point is located in the northeast corner of the site.
 - a. The drive will be 29 feet wide at the connection to the existing drive, which is adequate.
 - b. The interior drive aisles will be one way in a counter clockwise direction and will be 17 feet wide adjacent to the parking spaces, which are angled. The one way drive aisle is acceptable.
 - c. There will be a drive thru lane and window and an escape lane on the site. Each are adequate.
2. The site is currently an existing asphalt parking lot. This will be removed to construct the proposed project.
3. Signage will be needed at the access points and internally to the site to ensure the one way nature of some of the traffic flow is conveyed to the customers.
4. The plan shows that 9 vehicles can queue from the pickup window to the ordering station.
5. A sidewalk connection from the right-of-way to the site should be included on the site plan.
6. The site plan proposes 15 parking spaces, which is adequate for the site.
7. The applicant provided an estimate of 350 trips (average daily traffic) for the facility. Although the traffic data requested to determine if a project requires a traffic study references peak hour counts, the provided ADT information is adequate. Since the project is planned to be constructed within an existing commercial center, and with the provided ADT information, a traffic study is not required.

UTILITIES

8. For the proposed water service tap and meter, please review and reference the applicable Reynoldsburg Standard Drawings with the PGU submission.
9. The provided utility plan shows a 6-inch sanitary service lateral being extended to the building from the west from an existing 8-inch sanitary sewer (P00345). The lateral shows a slope of 1.0%, which does not meet the required minimum slope of 2.08% for a service lateral. If the required

steeper slope cannot be met, a mainline sewer extension to the site may be necessary. In addition, a service lateral or a mainline extension will require an easement to be dedicated.

- a. In addition, the plan is currently showing a manhole on a 6-inch service line which is not allowed. If this remains a service lateral, a cleanout should be placed in the location where the manhole is shown.
 - b. The sanitary lateral also appears to leave the site, extending onto the adjacent property to the north and west. This would require a legal agreement and easement.
10. As shown, the site will be served with water via a new 1-inch tap on the existing 8-inch watermain located on the north side of Main Street (R02479).
 11. A proposed fire hydrant is shown to be installed along the east property line, south of the proposed driveway. This would be a private hydrant and a valve is required at the tee from the existing main.
 12. For lighting, the site is utilizing four light poles with LED lights. Based on photometrics provided, the lighting is adequate for a commercial site.

STORMWATER

13. The plan shows the site grading from west to east. An existing catch basin and existing storm sewer will accept the site runoff and exit the site near the southwest corner of the site.
14. The plan currently does not show water quality or quantity control features. Since the disturbed area is less than one acre, water quality treatment would not be necessary. Detailed calculations and/or report are to be submitted with the PGU plan to document the pre-and post-developed impervious areas to show if quantity controls are required.
15. The PGU plan will need to show more detailed grading and flood routing information. Storm sewer profile(s) information should also be included.

DETAILS / SPECIFICATIONS

16. Please provide the details for the curb and pavement compositions so they can be reviewed against the City of Reynoldsburg standards. Additionally, the sidewalk that connects to the public walk along East Main Street should be per the Reynoldsburg Standard Drawing R-9.
17. Where applicable, refer to Reynoldsburg Standard Construction Drawings.

Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: _____

Date Submitted: _____

Fee Amount: _____

Paid: _____

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: E. Main St. & Briarcliff	Parcel ID#(s): 060-001128
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II. PROPERTY OWNER OF RECORD

Property Owner Name(s): Reynoldsburg Center Limited Partnership c/o Arshot Investment Corporation Attn: Joe Sugar	
Contact Email: jsugar@arshot.com	Contact Phone Number: (614) 463-9730

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Caribou Coffee	Contact Name: Michael Mariola
Contact Email: mike@mikemariolarestaurants.com	Contact Phone Number: (330) 466-5212
Description of Use: Drive-thru coffee with no indoor seating and limited outdoor patio seating	

IV. APPLICANT INFORMATION

Applicant Name: Reprise Design	Applicant Address: 12400 Portland Av S. #100 Burnsville, MN 55337
Applicant Phone Number: (612) 669-4729	Applicant Email: cschatz@reprisedesign.com
<input type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:
Variance (Non-Residential (\$450) / Residential (\$200): **Variance for additional exterior signage**

Conditional Use Permit (\$350): **Conditional Use Permit for drive-thru window**

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: _____ Date: **6-29-2022**
*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

Additional Notes:	**OFFICE USE ONLY**	
	<u>Zoning Information</u>	
	Zoning District: _____ <input type="checkbox"/> Historic District	
	<u>Add'l Approvals Req'd</u> <input type="checkbox"/> Planning Commission <input type="checkbox"/> Other: _____	
		<u>BZBA Meeting</u> Date: _____ <input type="checkbox"/> Approved as Submitted <input type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Tabled <input type="checkbox"/> Denied
		P&Z Admin.: _____ Date: _____

Attachment: Caribou Coffee -Setbacks Variance Application Review (App# 2022-5271 (Setbacks), Briarcliff and Main, Schatz)

Section 1109.15

CONDITIONAL USES

Initiating a Conditional Use

An application for a Conditional Use Permit shall be submitted to the Planning & Zoning Administrator thirty (30) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals.

The Board may determine that additional studies or expert advice are necessary to evaluate a proposed Special Exception relative to the requirements of the Code. *See next page for more details.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What information must be provided with a Conditional Use ?

An application for a Conditional Use shall be submitted using the attached form and shall include the following:

- (a) Description of the existing use of the lot and of adjacent lots;
- (b) A statement of the conditional use for which the application is submitted.
- (c) The application shall also include a description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts;
- (d) A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping, and other relevant features;
- (e) A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects;

(f) A narrative addressing each of the applicable criteria set forth in section 1145.09; and

(g) Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations. Such additional information may include, but shall not be limited to:

- Traffic impact analysis;
- Storm water impact analysis;
- Utility impact analysis.

How much will a Conditional Use cost?

The fee for a Conditional Use Permit is three hundred and fifty dollars (\$350).

What is the time frame for review of a Conditional Use Permit?

An application for a Conditional Use Permit will take approximately one to two months. The Planning and Zoning Administrator will review the application and determine if it warrants public review. If it is determined it needs public review, the application will then be placed on the next Board of Zoning and Building Appeals agenda.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.15

STANDARDS FOR ALL CONDITIONAL USES

In review of a Conditional Use application, the Board shall consider whether the application is complete and whether it provides adequate evidence that the proposed special exception is consistent with the following standards:

- (a) The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;
- (b) The proposed use shall not adversely affect the use of adjacent property;
- (c) The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
- (d) The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
- (e) The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;
- (f) The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
- (g) The proposed use complies with the applicable specific provisions and standards of this Code;
- (h) The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

In approving a Conditional Use, the Planning and Zoning Administrator or the BZBA may impose such conditions as deemed necessary to protect the public welfare, preserve the purpose and intent of the Code. Such conditions may include:

- (a) Locations, setbacks, and configurations of structures and of uses of interior and exterior spaces;
- (b) Screening comprised of landscaping, walls, fencing or other materials or construction;
- (c) Access points and traffic management provisions, including those impacting vehicular and pedestrian access and the locations and design of parking facilities;
- (d) Noise control measures, including those regulating loudspeakers or irregular vehicular or equipment noise;
- (e) Other features of construction, including but not limited to paving and parking, signs, and landscaping;
- (f) Hours and method of operation
- (g) Maintenance of the site, structures, landscaping;
- (h) Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; and
- (i) A time limit for operation of the use.

Section 1109.13 VARIANCES

Initiating a Variance Request

A variance application shall be submitted to the Planning & Zoning Administrator at least thirty (21) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals. The Board meets the third Thursday of each month except December.

What information must be provided for a Variance?

A property owner seeking a Variance shall submit a written request for Variance on forms provided by the Planning & Zoning Administrator. Such request shall include the following:

- (a) Name, address, and telephone number of the property owner(s) and owner's agent(s);
- (b) Legal description, address, tax district and parcel number of the property;
- (c) Description of the nature of the variance requested and a statement address each of the standards for variance in the Code (see section 1109.13);
- (d) Statement of the hardship;
- (e) Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

***Note: The application must be signed by the property owner for the property which pertains to the variance.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What is the time frame for a variance request?

In general the application process takes 30-45 days. Once a variance application is submitted, it will be placed on the next BZBA agenda. The BZBA can hold the application but a decision must be reached by the Board within sixty (60) days.

Why might you request a Variance?

To allow development of property prohibited by current zoning if such development will not adversely affect the surrounding property or neighborhood and if the BZBA is satisfied that it will alleviate some hardship or difficulty.

How much will a Variance cost?

The fee for a variance is two hundred dollars (\$200) for a residential variance, and four hundred and fifty dollars (\$450) for all other variance requests.

What are the next steps after a Variance approval?

The approved variance will need to be officially documented through the issuance of a zoning certificate or a zoning sign permit depending on the type of variance. Any action of the BZBA granted a variance shall be valid for a period of 12 months.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.13 (D)

STANDARDS FOR VARIANCE

No variance in the strict application of the provisions of this Code shall be granted unless the Board makes specific findings of fact, based on the evidence presented to it, which supports conclusions that the variance conforms to the following standards. Such findings shall be stated for the record and reported in the Board's minutes.

- (a) The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- (b) The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)
- (c) There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures. There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.
- (d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
- (e) The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
- (f) The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- (g) The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
- (h) No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
- (i) The variance is not a matter of convenience when other remedies are available within the provisions of this Code.

PRELIMINARY PLANS

FOR EXISTING CONDITIONS, REMOVALS, SITE, GRADING, EROSION CONTROL, AND UTILITIES FOR CARIBOU CABIN

REYNOLDSBURG, OH

PREPARED FOR:

REPRISE DESIGN, INC.

12400 PORTLAND AVENUE SOUTH

BURNSVILLE, MN 55337

CONTACT: CHARLES SCHATZ

PHONE: 952-252-4042

EMAIL: CSCHATZ@REPRISEDESIGN.COM

PREPARED BY:

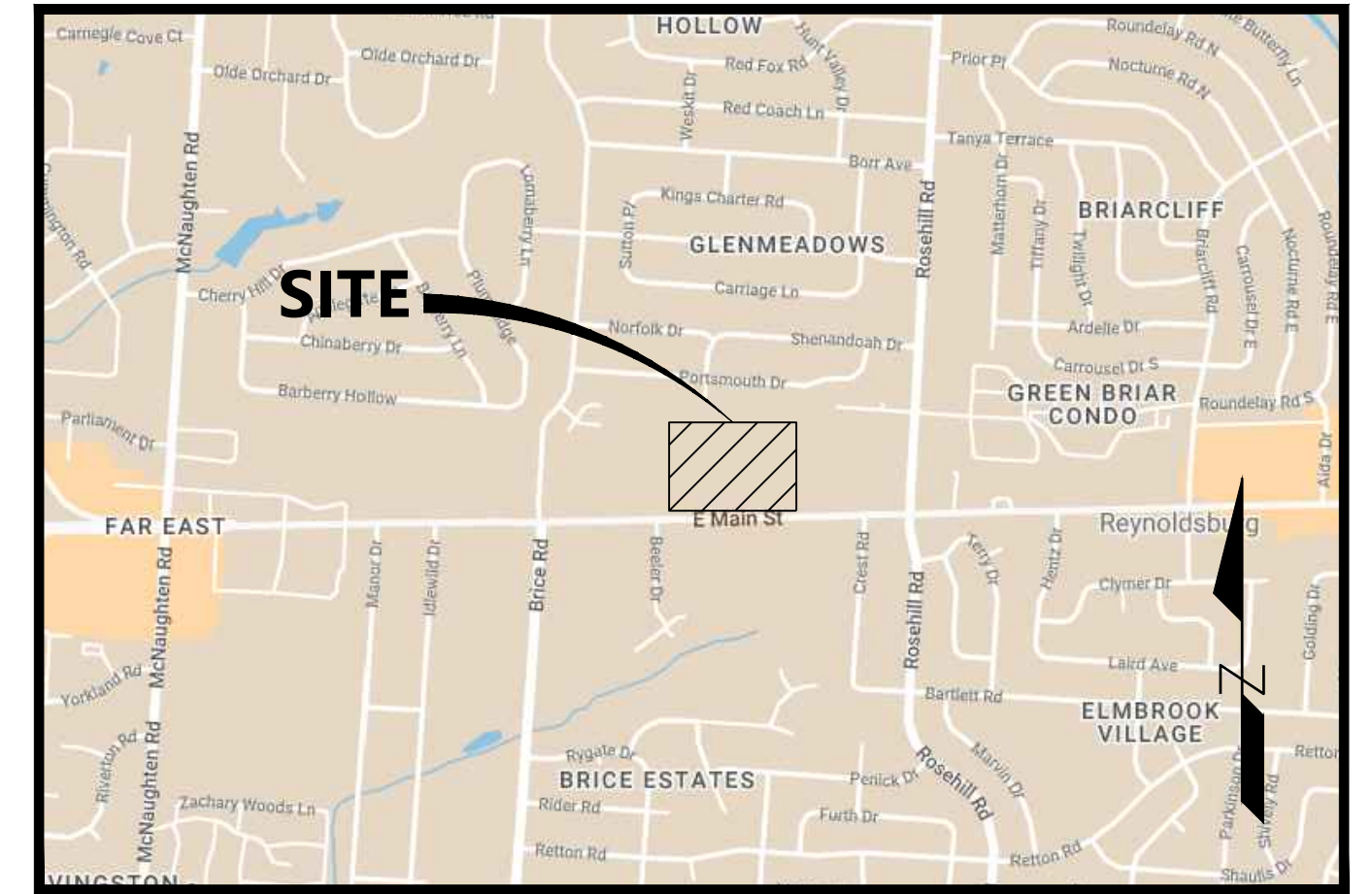
Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
TollFree (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0035937.00

CONTACT: JEFF WESTENDORF



Vicinity Map
(NOT TO SCALE)

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS & REMOVALS
C200	SITE PLAN
C300	GRADING AND EROSION CONTROL PLAN
C500	UTILITY PLAN

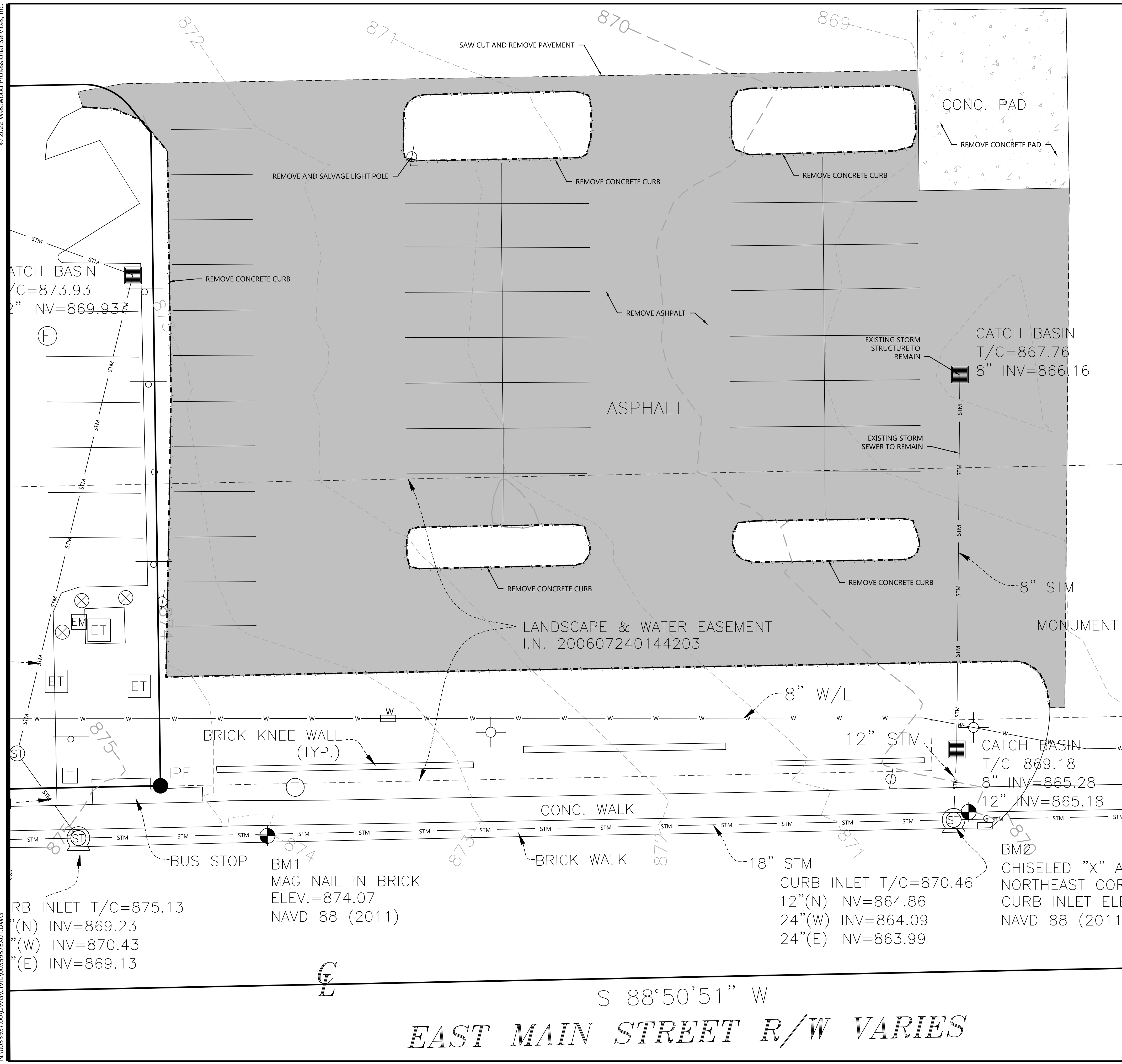
NO.	DATE	REVISION	SHEETS

PRELIMINARY PLANS
FOR
EXISTING CONDITIONS, REMOVALS,
SITE, GRADING, EROSION CONTROL,
AND UTILITIES
FOR
CARIBOU CABIN
REYNOLDSBURG, OH

INITIAL SUBMITTAL DATE: 06/30/22 SHEET: C001 OF 5

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REMOVAL LEGEND

EXISTING	PROPOSED	PROPERTY LINE
— SAN	— REMOVALS	SAW CUT PAVEMENT
— WAT	— REMOVALS	CURB & GUTTER
— WAT	— REMOVALS	SANITARY SEWER
— STO	— REMOVALS	WATER MAIN
— GAS	— REMOVALS	HYDRANT
— PUG	— REMOVALS	STORM SEWER
— POH	— REMOVALS	GAS
— TUG	— REMOVALS	UNDERGROUND ELECTRIC
— TOH	— REMOVALS	OVERHEAD ELECTRIC
— FO	— REMOVALS	UNDERGROUND TELEPHONE
— CTV	— REMOVALS	OVERHEAD TELEPHONE
—	— REMOVALS	TELEPHONE FIBER OPTIC
—	— REMOVALS	CABLE TELEVISION
—	— REMOVALS	RETAINING WALL
—	— REMOVALS	FENCE
—	— REMOVALS	CONCRETE
—	— REMOVALS	BITUMINOUS
—	— REMOVALS	BUILDING
—	— REMOVALS	TREE
—	— REMOVALS	LIGHT POLE
—	— REMOVALS	TRAFFIC SIGN
—	— REMOVALS	CONSTRUCTION BARRICADE
—	— REMOVALS	SOIL BORING LOCATION

REMOVAL NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

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DESIGNED:	06/30/22
CHECKED:	
DRAWN:	
HORIZONTAL SCALE#/#:	
VERTICAL SCALE#/#:	

PREPARED FOR:
REPRISE DESIGN, INC.
12400 PORTLAND AVENUE SOUTH
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF OHIO.
DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

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Minnnetonka, MN 55343
WestwoodProfessionalServices.com
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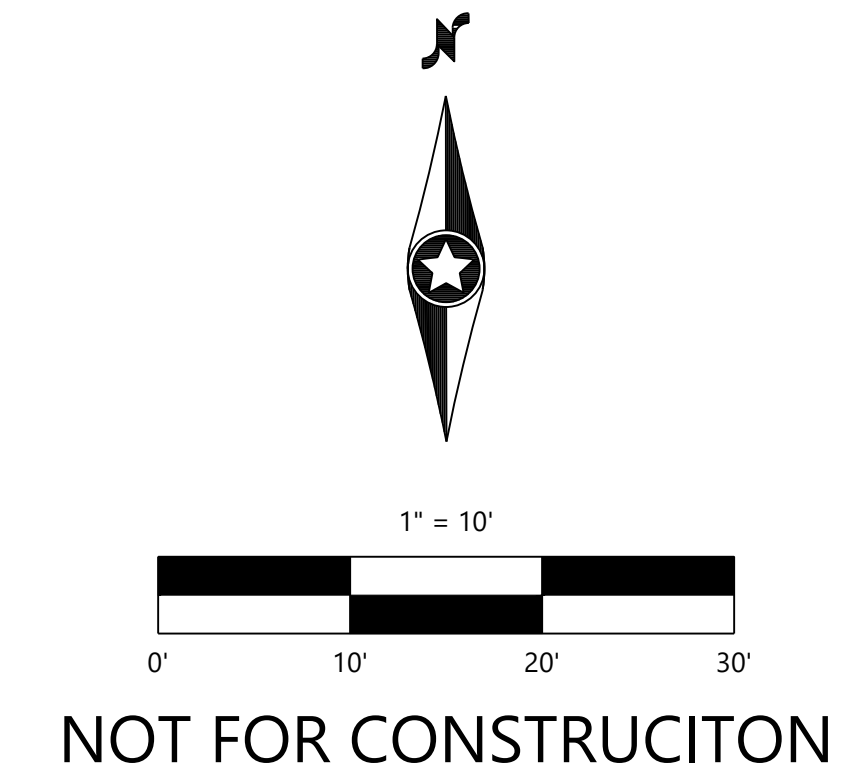
**EXISTING
CONDITIONS
& REMOVALS**

SHEET NUMBER:

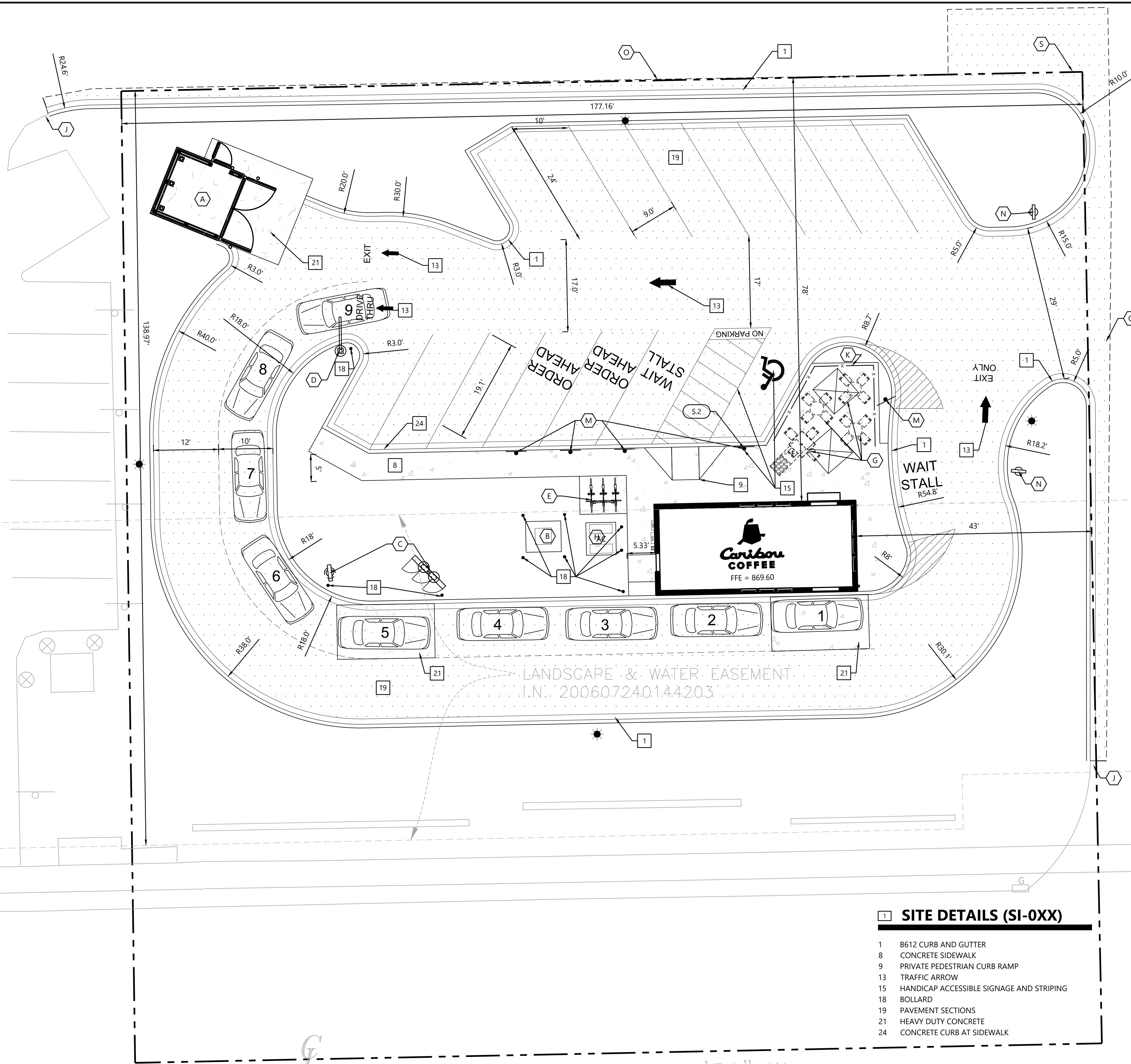
C100

DATE: 06/30/22

PROJECT NUMBER: 00 Packet Pg. 31



S 88°50'51" W
EAST MAIN STREET R/W VARIES



LANDSCAPE & WATER EASEMENT
I.N. 200607240.144203

S 88°50'51" W
EAST MAIN STREET R/W VARIES

- 1 SITE DETAILS (SI-0XX)**
- 1 B612 CURB AND GUTTER
 - 8 CONCRETE SIDEWALK
 - 9 PRIVATE PEDESTRIAN CURB RAMP
 - 13 TRAFFIC ARROW
 - 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
 - 18 BOLLARD
 - 19 PAVEMENT SECTIONS
 - 21 HEAVY DUTY CONCRETE
 - 24 CONCRETE CURB AT SIDEWALK

SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY LANDMARK SURVEY GROUP, INCORPORATED, 06-03-2022.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE TYPE 2 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

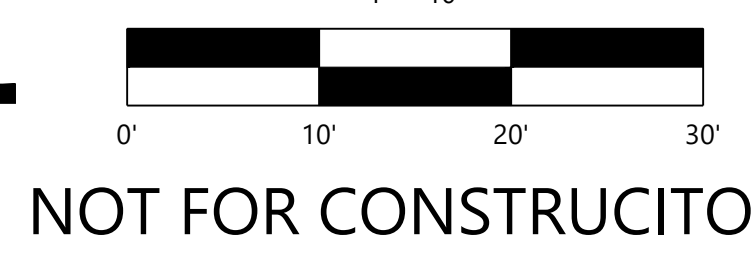
EXISTING ZONING:	CC - COMMUNITY COMMERCIAL
PROPOSED ZONING:	SAME
BUILDING GROSS SIZE:	625 SF
DISTURBED AREA:	23,376 SF
BUILDING SETBACK PER CODE:	10'=FRONT 10'=SIDE 20'=REAR
PARKING SPACE/DRIVE AISLE:	9' WIDE X 19' LONG, 17' AISLE
PARKING PROVIDED:	15

A SITE KEYNOTES

- A TRASH ENCLOSURE - SEE ARCH PLANS
- B TRANSFORMER LOCATION
- C DRIVE THRU MENU BOARDS - SEE ARCH PLANS
- D DRIVE THRU CLEARANCE BAR - SEE ARCH PLANS
- E BIKE RACKS - SEE ARCH PLANS
- F TIP OUT CURB AND GUTTER
- G PATIO FURNITURE - SEE ARCH PLANS
- H AIR CONDITIONING UNIT - SEE ARCH PLANS
- J MATCH EXISTING CURB
- K FENCE - SEE ARCH PLANS
- M WAIT STALL SIGN - SEE SIGNAGE PLANS
- N DRIVE THRU DIRECTIONAL SIGNAGE - SEE SIGNAGE PLANS
- O SAW CUT LINE

SIGN LEGEND

REFERENCE	SIZE
S.2	HANDICAP ACCESSIBLE 12" X 18"



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C.1.a

DESIGNED:	06/30/22
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 1" = 10'	
VERTICAL SCALE: 2" = 1'	

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BURNSVILLE, MN 55337

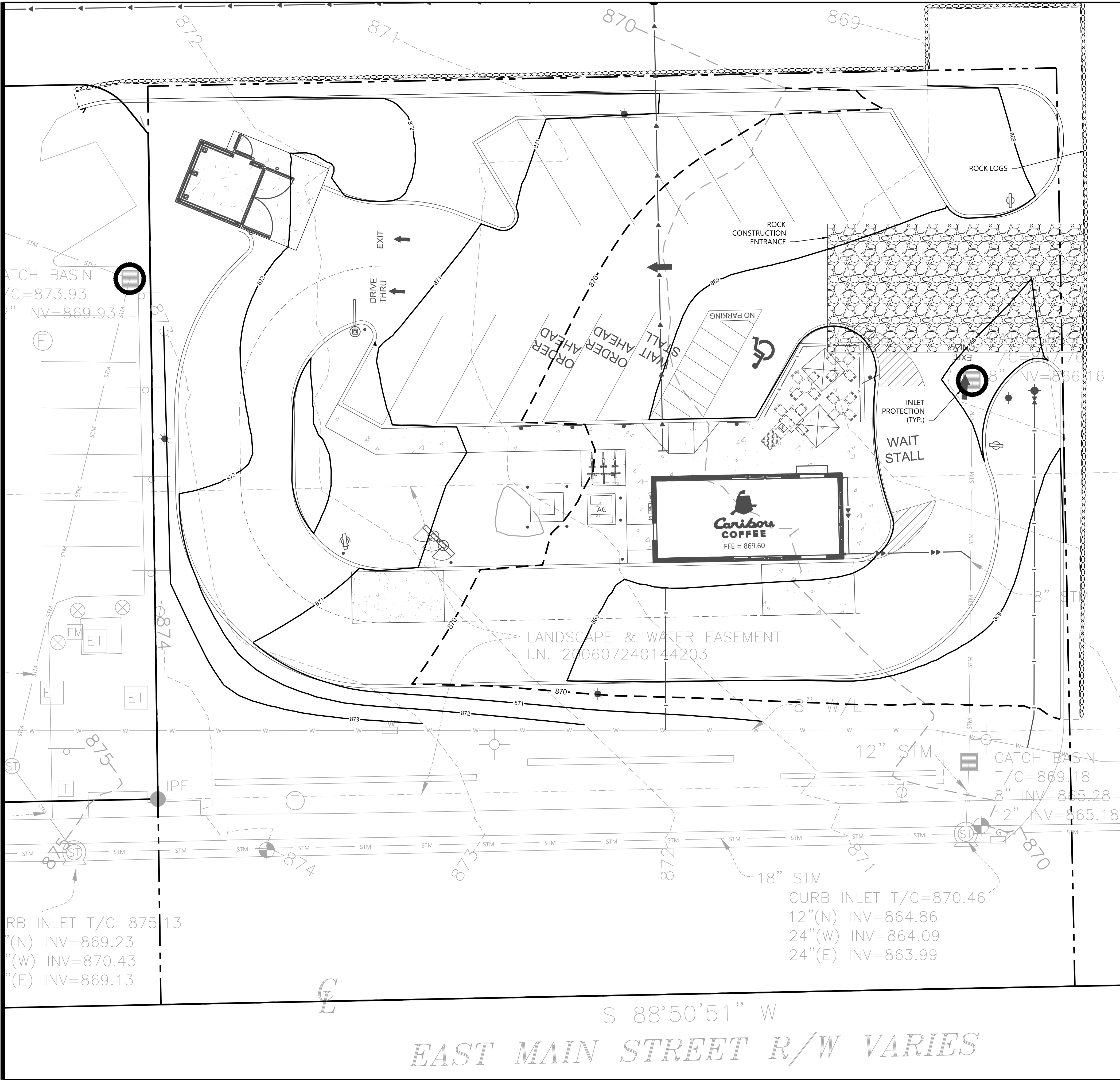
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

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17201 Winthrop Drive, Suite #200
Mimontons, MN 55343
westwoodps.com
Phone: (888) 837-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

SITE PLAN

SHEET NUMBER:
C200



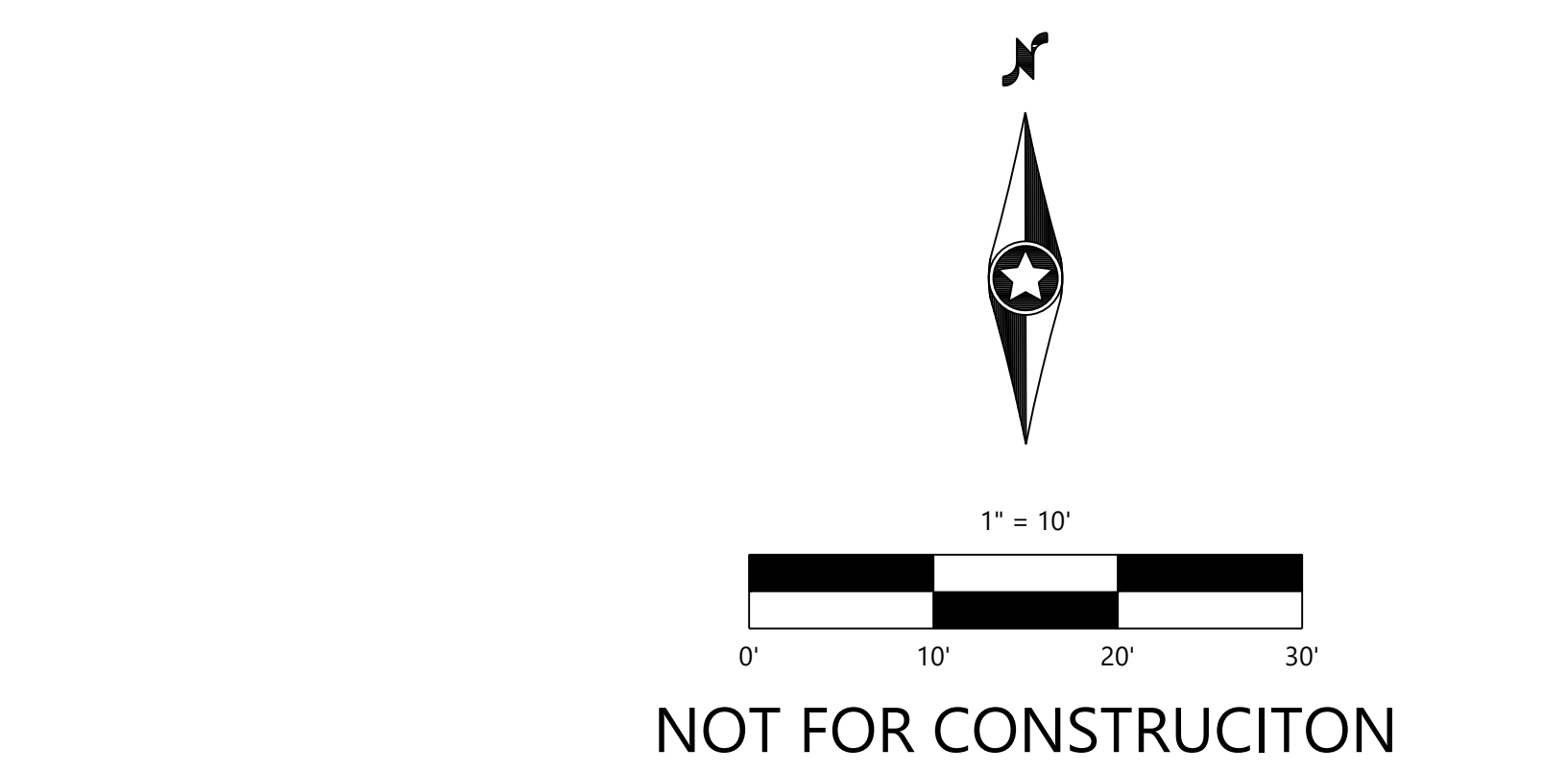
GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		SPOT ELEVATION
		FLOW DIRECTION
		TW=XXX.XX BW=XXX.XX
		E.O.F. →
		SB-19
		SB-19
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION
		ROCK CONSTRUCTION ENTRANCE
		INLET PROTECTION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE OHIO DOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH OHIO DOT REQUIREMENTS.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

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BURNSVILLE, MN 55337

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DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

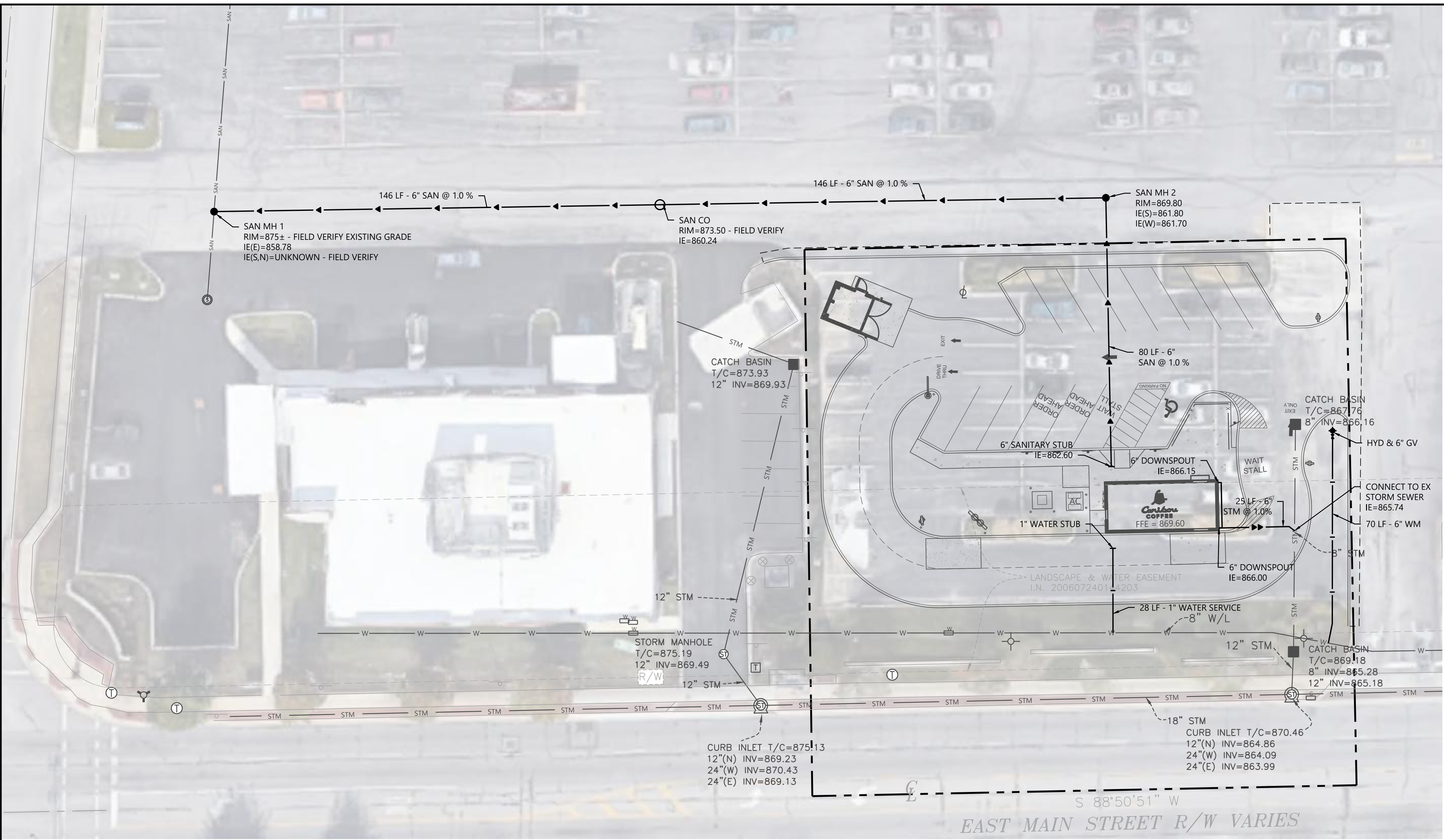
Westwood
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Mimontok, MN 55343
westwoodps.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:

C300

DATE: 06/30/22



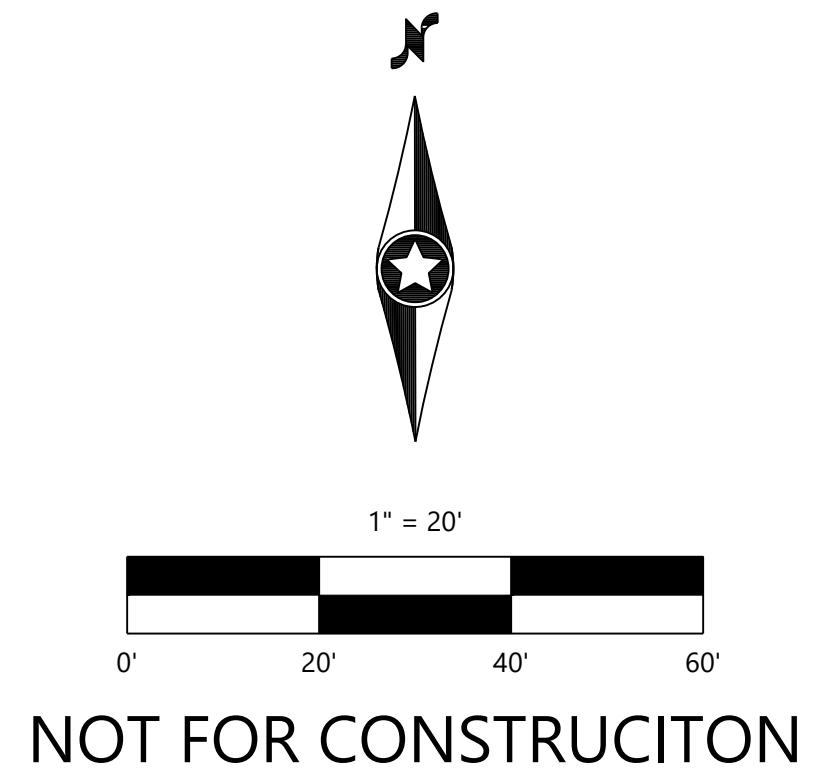
UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

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GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS AND OHIO PLUMBING CODE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 7' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO OHIO PLUMBING CODE.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10-FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY OHIO PLUMBING CODE. STORM SEWER LOCATED WITHIN 10-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER OHIO PLUMBING CODE.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER OHIO RULES.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'
INITIAL ISSUE:	
REVISIONS:	
	06/30/22

PREPARED FOR:
REPRISE DESIGN, INC.
 12400 PORTLAND AVENUE SOUTH
 BURNSVILLE, MN 55337

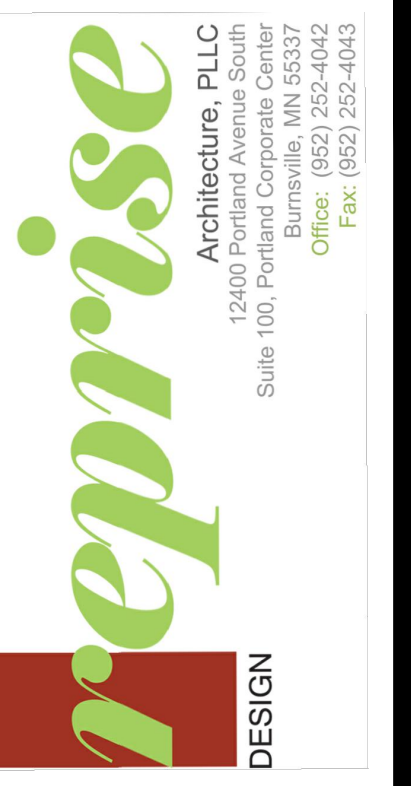
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR BY A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.
DAN BECKMANN
 DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
 REYNOLDSBURG, OH

Westwood
 (882) 937-5150 12701 Winthrop Drive, Suite #200
 (882) 937-5922 Minneapolis, MN 55343
 (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

UTILITY PLAN

SHEET NUMBER:
C500



MALEAH M. MILLER
LANDSCAPE ARCHITECT
I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.
MALEAH MILLER, PLA
Date: 19507 License No.

NOT FOR CONSTRUCTION
PRELIMINARY
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT LEFT CABIN
MAIN & BRIARCLIFF, REYNOLDSBURG, OH 43068
LANDSCAPE PLAN

Caribou COFFEE
Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429
DATE ISSUED:
SITE PLAN APPROVAL 06-30-2022
DRAWN BY: MM
CHECKED BY: MM
JOB NO. 22065
PROJECT LOCATION:
REYNOLDSBURG, OH
L-1

LANDSCAPE REQUIREMENTS

- PER CITY OF REYNOLDSBURG, OH - SECTION 1105.07, LANDSCAPING & BUFFERING REQUIREMENTS
- G - STREET TREE REQUIREMENTS**
- N/A - STREET TREES EXIST ALONG E. MAIN STREET
- H - INTERIOR LOT LANDSCAPING**
- ALL COMMERCIAL IMPERVIOUS AREA UP TO 20,000 SF: ONE INCH TRUNK DIAMETER PER 2,000 SF WITH A MINIMUM OF 2" DIA.
- I - PROPERTY BUFFER REQUIREMENTS**
- N/A - ADJACENT PROPERTY IS THE SAME ZONING
- J - PARKING AREA LANDSCAPE STANDARDS**
- FOR EVERY 10 PARKING SPACES A 200 SF MIN. LANDSCAPE ISLANDS REQUIRED.
 - PERIMETER LANDSCAPING SHALL CONSIST OF A CONTINUOUS EVERGREEN HEDGE TO PROVIDE A CONTINUOUS OPAQUE SCREEN, 36" HT MIN; AND 1 DECIDUOUS TREE PER 50 LF OF PARKING PERIMETER.

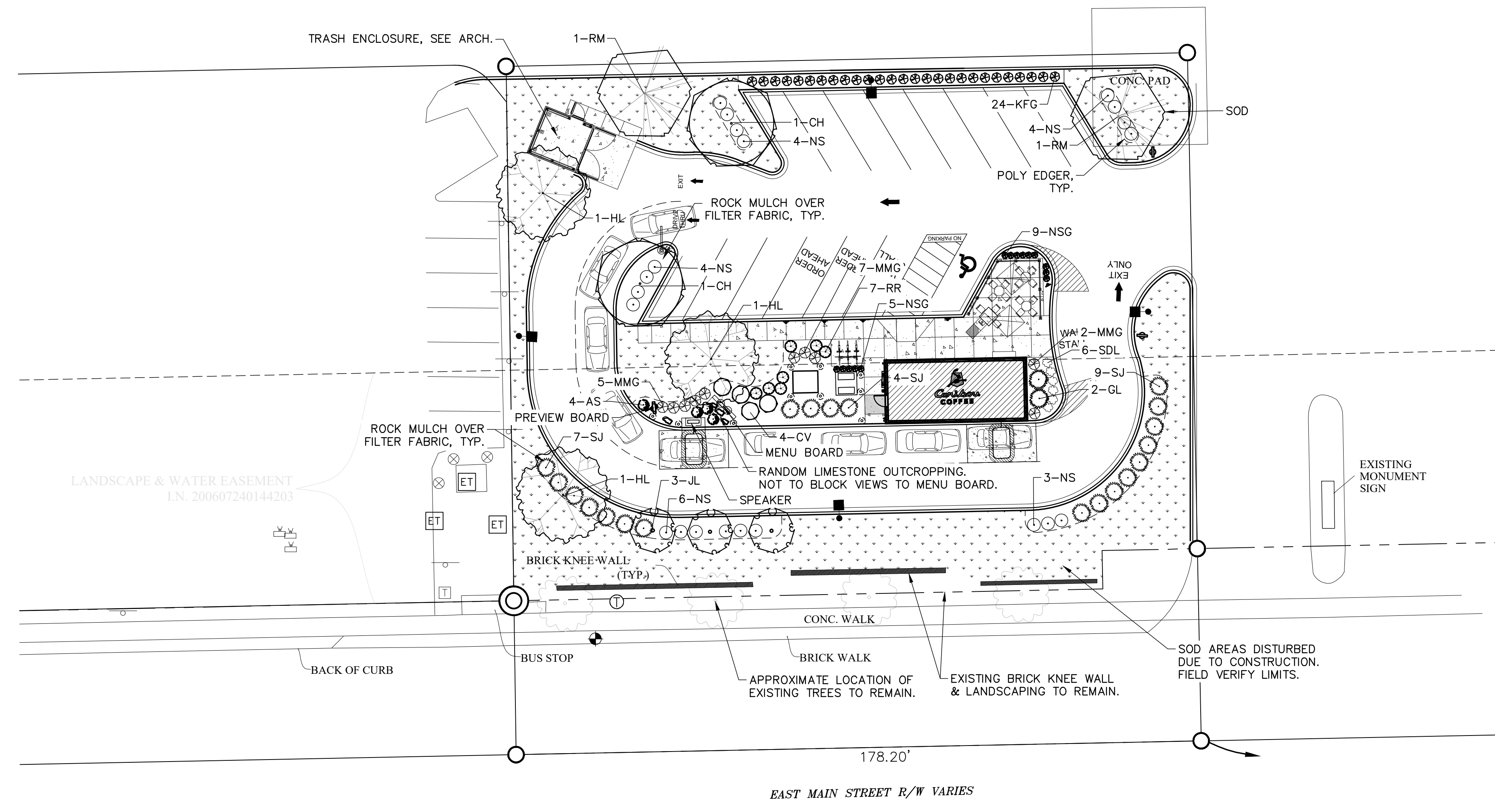
SITE DATA

ZONING	= EMD (E. MAIN ST. DISTRICT)
BUILDING GFA	= 605 SF
E. MAIN STREET	= 178.20 LF
PARKING STALLS	= 15

REQUIRED LANDSCAPE:	REQ	PROV
INTERIOR LOT LANDSCAPING		
• 15,000 SF / 2,000 SF = 7.5'; 7.5' / 2.5 = 3	3	3*
• SHADE TREE		
PARKING AREA LANDSCAPE ISLANDS 200 SF MIN.		
• ONE TREE, 2" DIA. / ISLAND	2	2
• 4 SHRUBS / ISLAND	8	8
PARKING LOT PERIMETER LANDSCAPE		
• 1 DECIDUOUS TREE / 50 LF (NORTH: 85' / 50= 1.7)	2	2
(SOUTH 150' / 50=3)	3	3

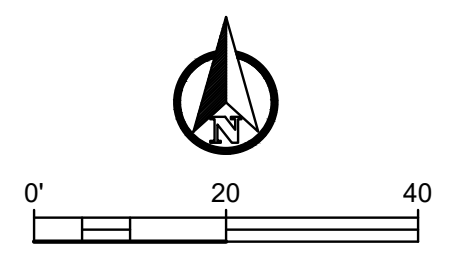
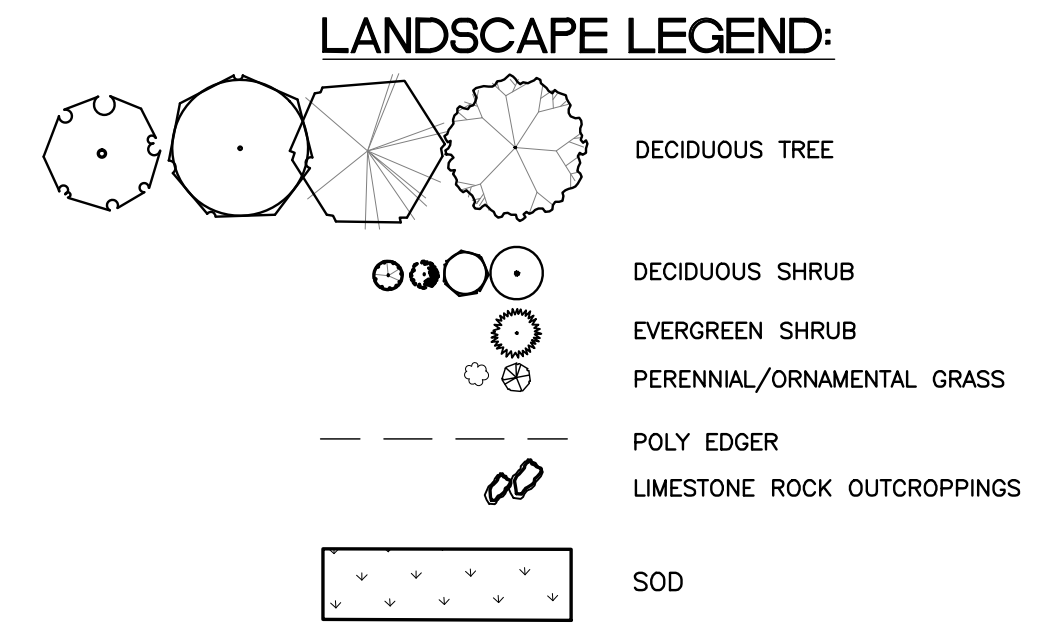
NOTE:
2.5" DIA. TREE PROVIDED.

REYNOLDSBURG CENTER
LIMITED PARTNERSHIP
PARCEL 1
11.464 ACRES
I.N. 201206290093504



LANDSCAPE SCHEDULE:

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE / ROOT TYPE	MATURE HEIGHT & WIDTH	NOTES
DECIDUOUS TREES					
2	CH Common Haackberry	Celtis occidentalis	2" cal. B&B	50'-75' x 50'	Straight Trunk, No V-Crotch
2	RM Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" cal. B&B	50' x 40'	Straight Trunk, No V-Crotch
3	HL Imperial Honeylocust	Gleditsia triacanthos var. inermis	2.5" cal. B&B	30' x 30'	Straight Trunk, No V-Crotch
3	JL Snow Cap Japanese Tree Lilac	Syringa reticulata 'Snow Cap'	2" cal. B&B	25' x 25'	Straight Trunk, No V-Crotch
10	TOTAL				
SHRUBS					
7	RR Carefree Wonder Shrub Rose	Rosa 'MEIpatac'	3 gal. cont. (18" ht min)	3'-4' x 3'-4'	Min. 5 canes at ht. spec.
4	AS Alpine Spiraea	Spiraea japonica 'Alpine'	3 gal. cont. (9"-12" ht)	12-15" x 2'-3'	Min. 5 canes at ht. spec.
21	NF Neon Flash Spiraea	Spiraea japonica 'Neon Flash'	3 gal. cont. (24" ht)		Min. 5 canes at ht. spec.
4	CV Compact European Viburnum	Viburnum opulus 'Compactum'	5 gal. cont. (24")	5'-6" x 5'-6"	Min. 5 canes at ht. spec.
2	GL Gold Lace Juniper	Juniperus chinensis 'Gold Lace'	5 gal. cont. (2' min)	4' x 6'	Min. 5 canes at ht. spec.
20	SJ Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 gal. cont. (24")	4'-6" x 4'-6"	Min. 5 canes at ht. spec.
58	TOTAL				
ORNAMENTAL GRASSES					
14	NSG Northwind Switch Grass	Panicum virgatum 'Norhtwind'	1 gal. cont. (12" ht x 12")	48" x 18"	
24	KFG Karl Foerster Grass	C. x acutiflora 'Karl Foerster'	1 gal. cont.	48" x 30"	
8	MMG Maiden grass	Miscanthus sinensis 'Graziella'	1 gal. cont.	60" x 36"	
6	SDL Stella De Oro Daylily	Hemerocallis 'Stella de Oro'	1 gal. cont.		
52	TOTAL				



C:\MALEAH\CARIBOU\REYNOLDSBURG, OH\LANDSCAPE PLAN\REYNOLDSBURG, OH\LANDSCAPE PLAN-2436.DWG ### 6/27/2022

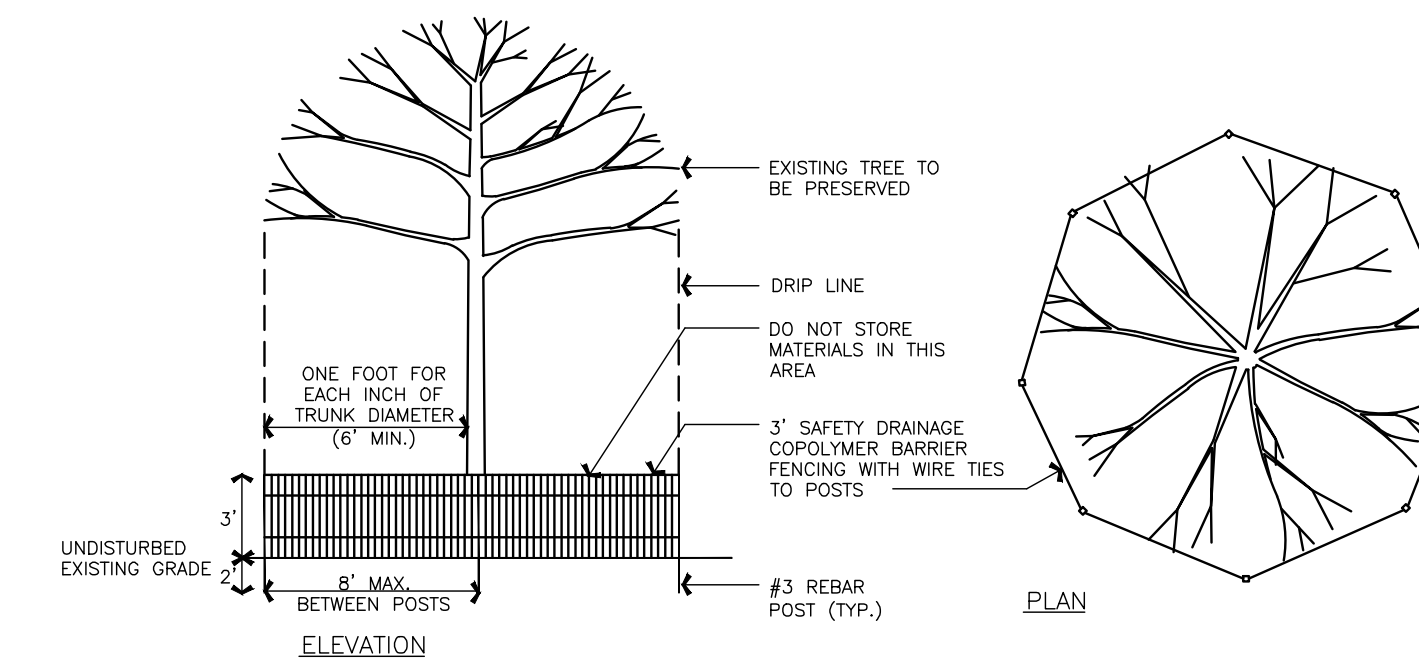
811
Know what's below.
Call before you dig.
Dial 811

LANDSCAPE NOTES

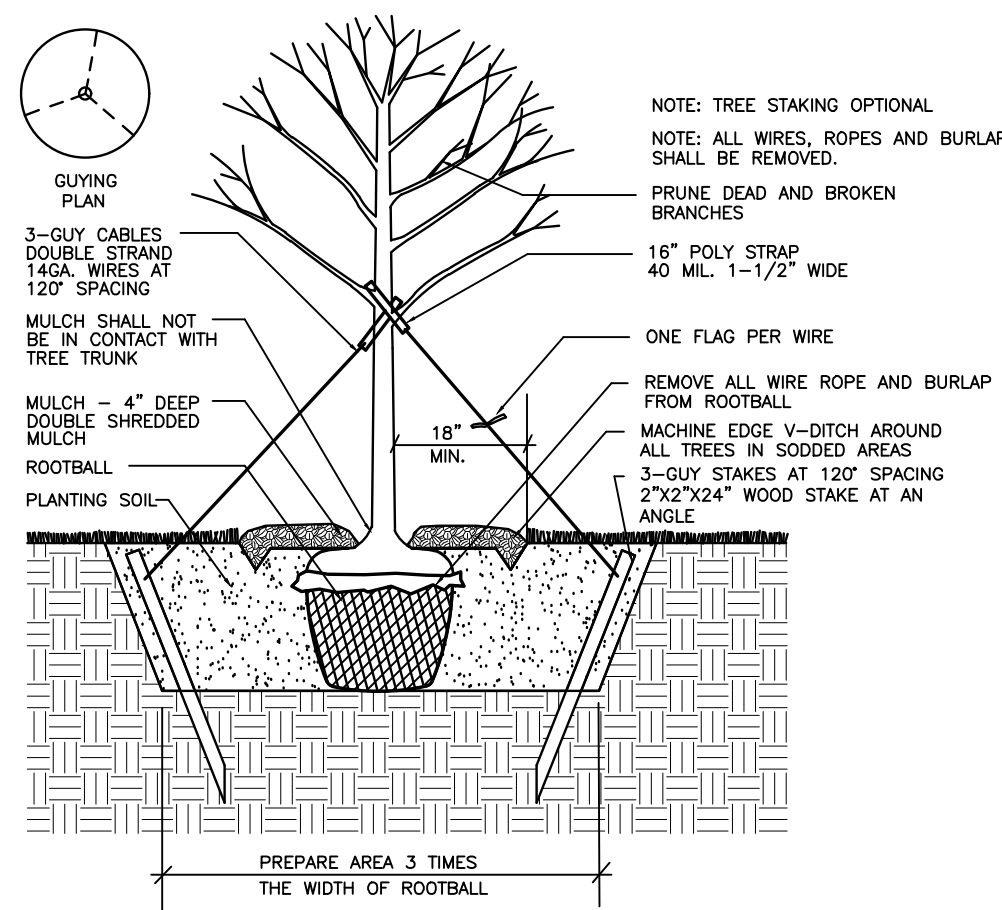
- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UNDERGROUND FACILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTACT STATE ONE, DIAL 811 OR (800) 242-8511 TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
- INSTALL 4" MIN. BLACK DIRT TO ALL SOD AND SHRUB AREAS. CONTRACTOR RESPONSIBLE FOR FINE GRADING OF SOD AREAS. PROVIDE 12" PLANTING SOIL FOR ALL PERENNIAL AREAS.
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF BUFF LIMESTONE ROCK MULCH, OVER FILTER FABRIC. POLY-EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
- INSTALL 4-6" DEPTH DOUBLE SHREDDED HARDWOOD MULCH, 3"-6" FROM BASE OF THE TREES THAT ARE ISOLATED FROM PLANT BEDS. DO NOT PILE MULCH AGAINST THE BASE OF A PLANT OR TREE TRUNK; PULL THE MULCH AWAY FROM THE BASE ONE TO TWO INCHES.
- PLANTING SOIL SHALL CONSIST 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR (12 MONTHS) BEGINNING AT THE DATE OF BUILDING PERMIT WAS APPROVED PER CITY REQUIREMENT. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN ALL PLANT MATERIALS AND SOD UNTIL INITIAL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL.
- CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL LANDSCAPE AREAS PRIOR TO ANY PLANT INSTALLATION.
- LANDSCAPE CONTRACTORS TO COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUYING OF TREES OPTIONAL: LANDSCAPE CONTRACTOR SHALL MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR SHRUB BEDS, SOD, PLANTING AREAS AND ALL GREEN SPACE. THE SOD AND PLANTING AREAS TO BE ON SEPARATE ZONES WITH RAIN SENSORS. USE RAINBIRD OR APPROVED EQUAL. COORDINATE WITH PROPERTY OWNER. PROVIDE RAIN SENSOR.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN SHALL GOVERN.
- WHEN PLANTING TREES ALL WIRE, ROPES AND BURLAP SHALL BE REMOVED.

SOIL PREPARATION:

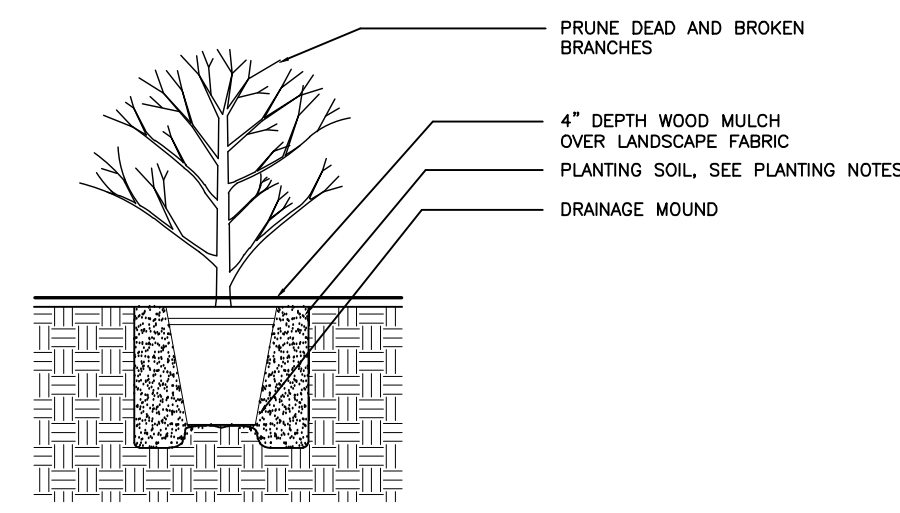
- PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
- CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OR RIPPING TO DEPTH OF 6-8" MINIMUM AND PREFERABLE A DEPTH OF 12-18". DE-COMPACTION OF SMALL PLANTER AREAS, SUCH AS THOSE IN PARKING LOT AREAS, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY WITH REQUIRED AMENDMENTS. ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
- WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER.
- AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SUCH AS FERTILIZER IMPROVE NUTRIENT CONTENT AND SULFUR ADJUSTS THE SOIL PH LEVEL. SULFUR SHALL BE INCORPORATED AT THE RATE OF ONE POUND OF SULFUR PER 100 SQUARE FEET.
- ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.



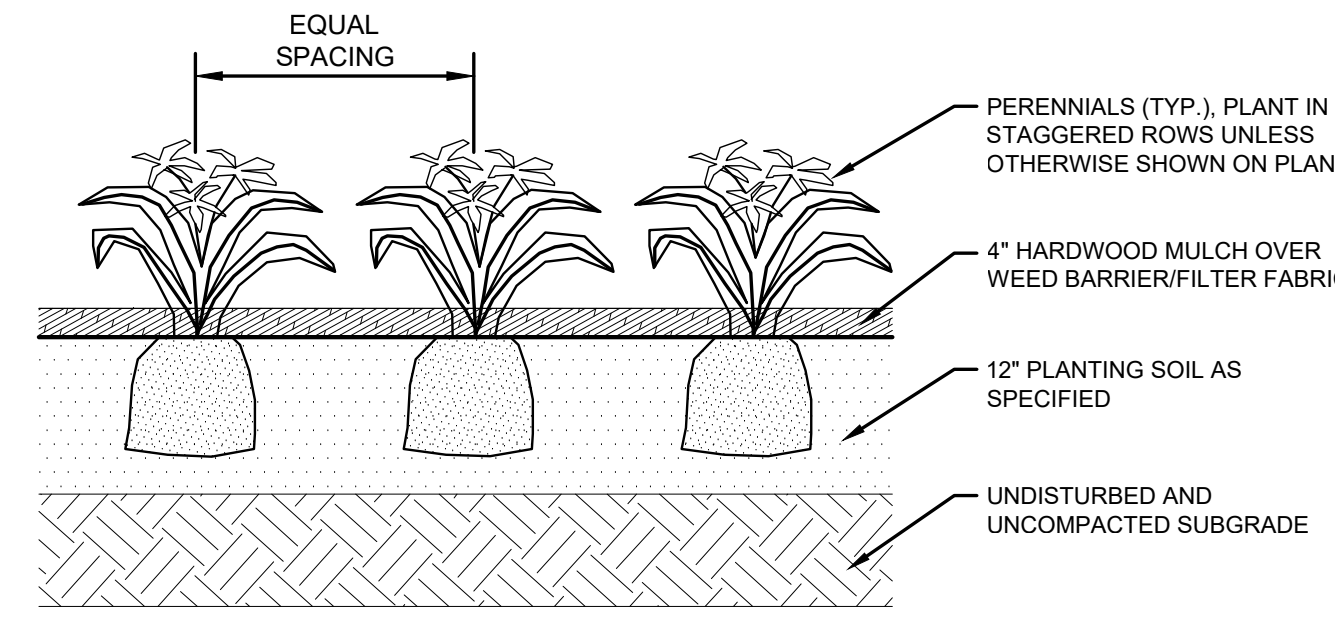
4 TREE PROTECTION DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE



2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 PERENNIAL PLANTING DETAIL
NOT TO SCALE



MALEAH M. MILLER
LANDSCAPE ARCHITECT

I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA.

MALEAH MILLER, PLA
Date 19507 License No.

NOT FOR CONSTRUCTION
PRELIMINARY
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT LEFT CABIN
MAIN & BRIARCLIFF, REYNOLDSBURG, OH 43068
DETAILS & NOTES



Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429

DATE ISSUED
SITE PLAN APPROVAL 06-30-2022

DRAWN BY MM
CHECKED BY MM
JOB NO. 22065
PROJECT LOCATION:

REYNOLDSBURG, OH



Know what's below.
Call before you dig.
Dial 811

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	BHS		4	Lithonia Lighting	RSX1 LED P3 40K R4 HS	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	1	10322	0.9	109.442	 Max: 6929cd

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking and Drives	✕	2.4 fc	4.5 fc	1.0 fc	4.5:1	2.4:1
Site	+	1.3 fc	4.5 fc	0.0 fc	N/A	N/A

RSX1 LED Area Luminaire

Specifications
 (HxWxD): 0.57 ft (0.05 m)
 Length: 21.8" (55.4 cm) (SPA mount)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 Weight: 7.2" (18.4 cm) Arm
 (SPA mount): 22.0 lbs (10.0 kg)

Introduction
 The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.
 The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral splitter and other mounting configurations are available.

Ordering Information **EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD**

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	300K	R2	Type 2 Wall
	P2	40K	300K	R2	Type 2 Wall
	P3	50K	300K	R2	Type 2 Wall
	P4	50K	300K	R2	Type 2 Wall

Options	Shipped Installed	Finish	
IS	House side shield	3030	Dark Bronze
PI	Phosphor color temp	3030	Black
PL	Phosphor color temp, adjustable	3030	Neutral Titanium
PRZ	Shim wire mesh (not required only for canopy)	3030	White
Q34	Castalux 30° SPD (Daylight)	3030	Sealed Dark Bronze
S	Single fan (100, 175, 345)	3030	Sealed Black
SP	Shield fan (100, 175, 345)	3030	Sealed White
SP200V	200V Sump pad (200V only)	3030	Sealed White
ISO	ISO adjustable output	3030	Sealed White
SMC	30° beam spread (not included if housing for external control control ordered separate)	3030	Sealed White

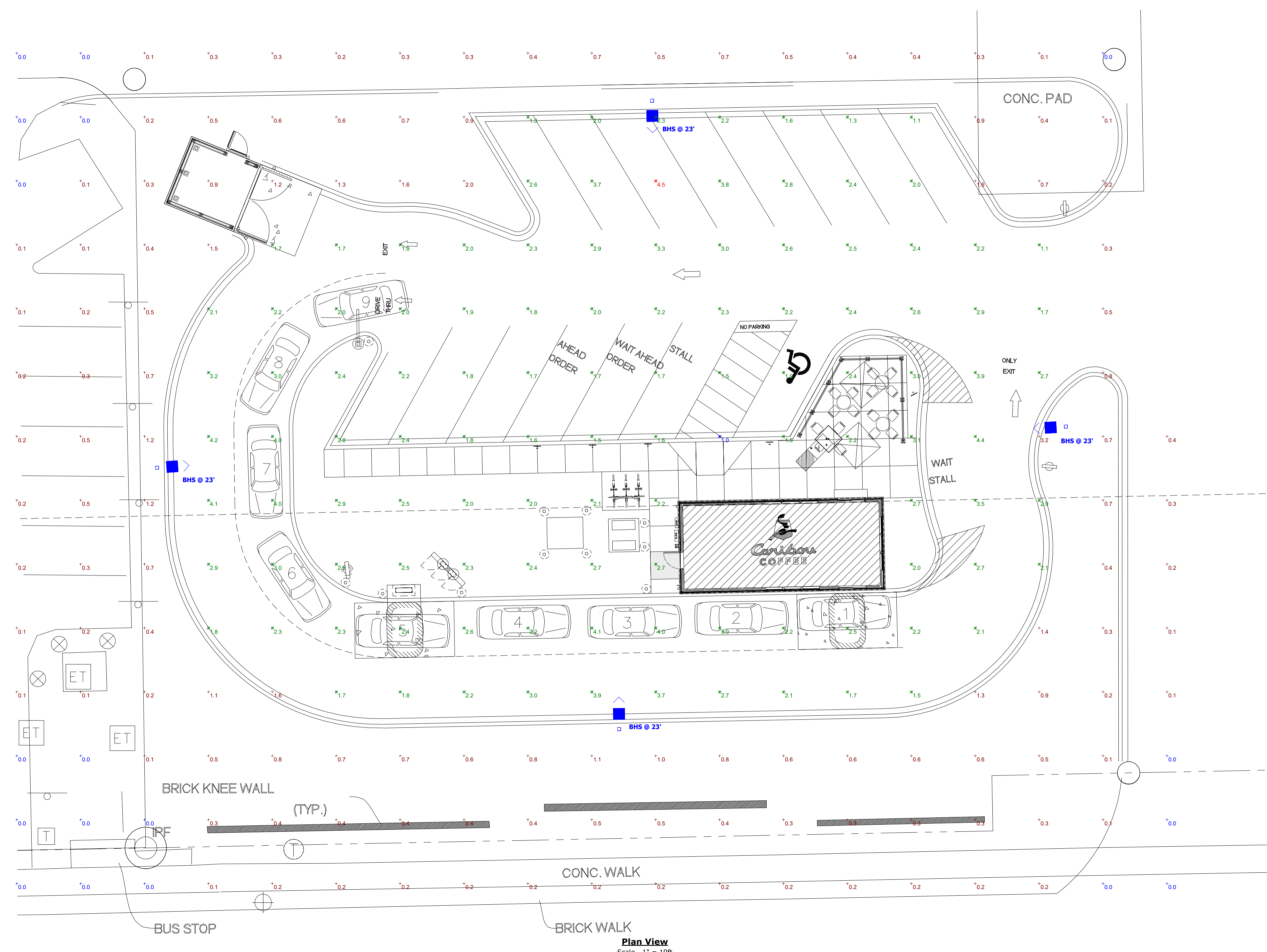
Note: *House, PRZ and ISO can be used as a standalone or retrofitted solution. Sensor coverage pattern is affected when retrofitted.

Shipped Separately (requires some field assembly):
 R3C External gear shield
 B3V External gear shield (not used for external control control ordered separate)
 B3 External gear shield (not used for external control control ordered separate)
 B3 External gear shield (not used for external control control ordered separate)

Lithonia Lighting, One Lithonia Way • Conley, Georgia 30012 • Phone: 1-800-705-5676 (7/2018) • www.graybar.com
 © 2018 Lithonia Lighting, Inc. All rights reserved.

Note

1. Graybar Electric does not assume responsibility for the interpretation of this calculation, or State and City codes.
2. Calculation Points are taken A.F.G.
3. Fixtures are mounted on a pole with a 3'-0" base.
4. Fixture Type E is an assumption of wattage, type and life cycle.



PRELIMINARY
NOT FOR CONSTRUCTION

PRELIMINARY

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT LEFT CABIN
MAIN AND BRIARCLIFF, REYNOLDSBURG, OH 43068

FLOOR PLAN



Caribou Coffee Company
3900 Laketree Ave N
Brooklyn Center, MN 55429

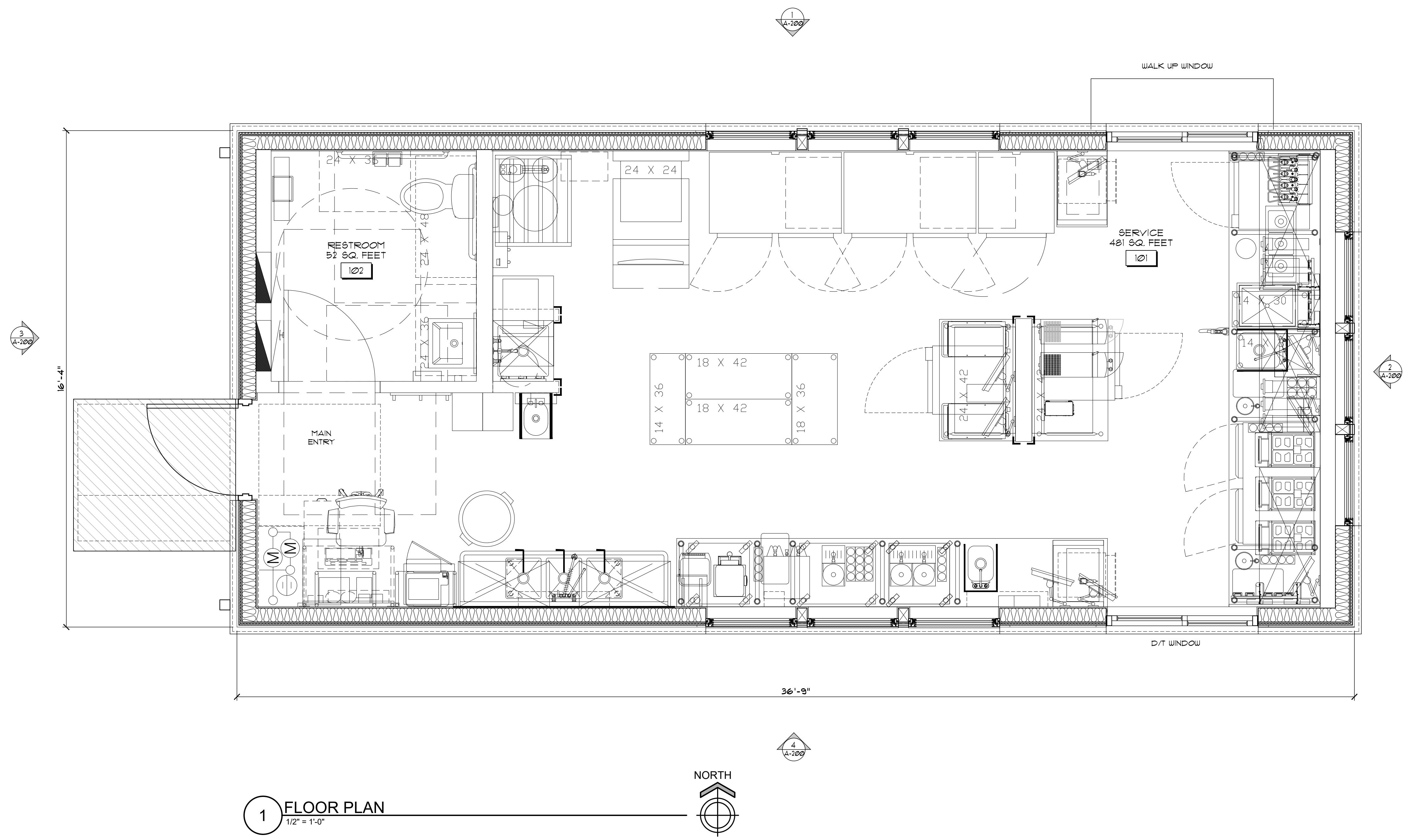
DATE ISSUED
SITE PLAN APPROVAL 06-30-2022

DRAWN BY TB
CHECKED BY CE

JOB NO. 22065
PROJECT LOCATION:

REYNOLDSBURG, OH

A-100



1 FLOOR PLAN
1/2" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY

CARIBOU COFFEE COMPANY
 DRIVE-THRU ONLY STORE
 DT LEFT CABIN
 MAIN AND BRIARCLIFF, REYNOLDSBURG, OH 43068



Caribou COFFEE
 Caribou Coffee Company
 3900 Lakebreeze Ave N
 Brooklyn Center, MN 55429

DATE ISSUED
 SITE PLAN APPROVAL 06-30-2022

DRAWN BY TB
 CHECKED BY CE
 JOB NO. 22065
 PROJECT LOCATION:
 REYNOLDSBURG, OH

A-200

Attachment: Caribou Coffee - Seibacks Variances Application Review (App# 2022-5271 (Seibacks), Briarcliff and Main, Schatz)

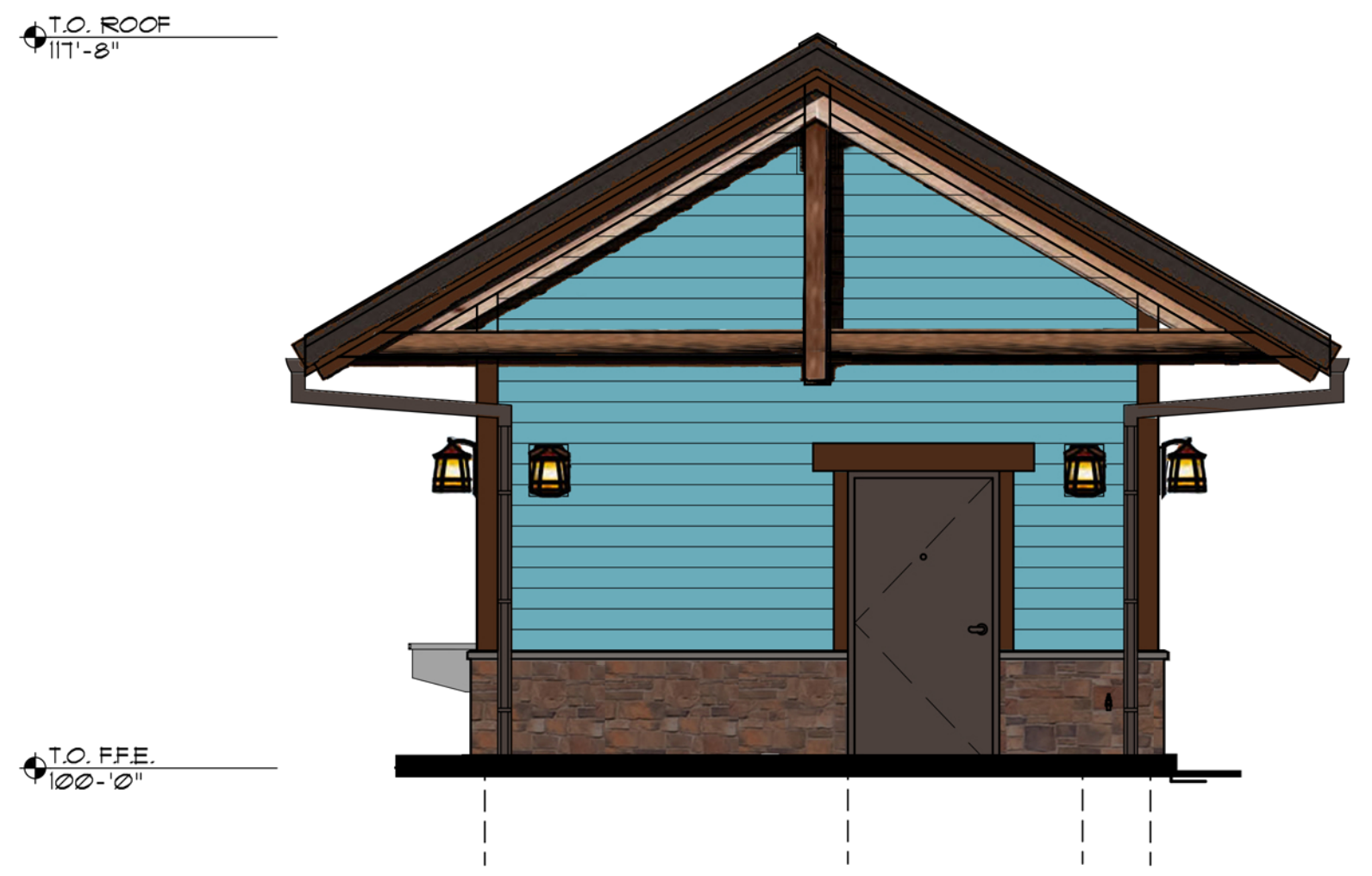


1 SIDE ELEVATION (NORTH)
 1/4" = 1'-0"

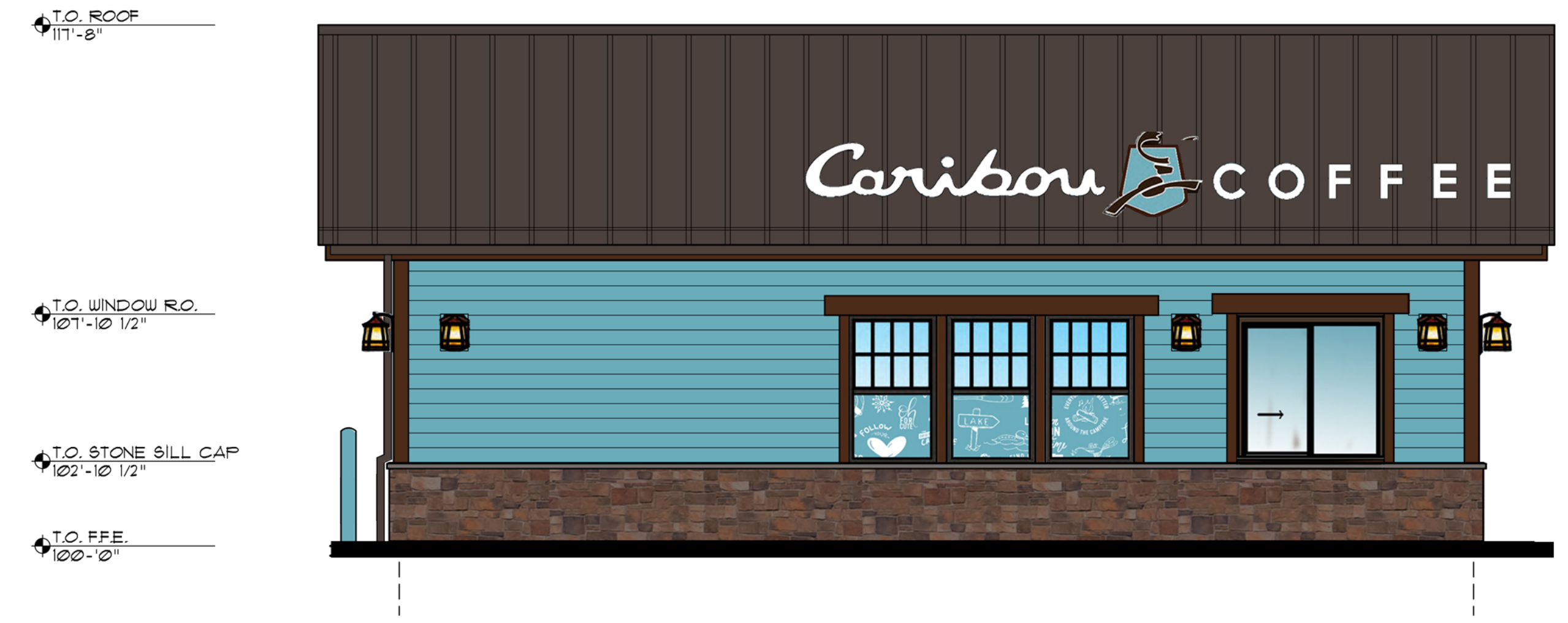


2 FRONT ELEVATION (EAST)
 1/4" = 1'-0"

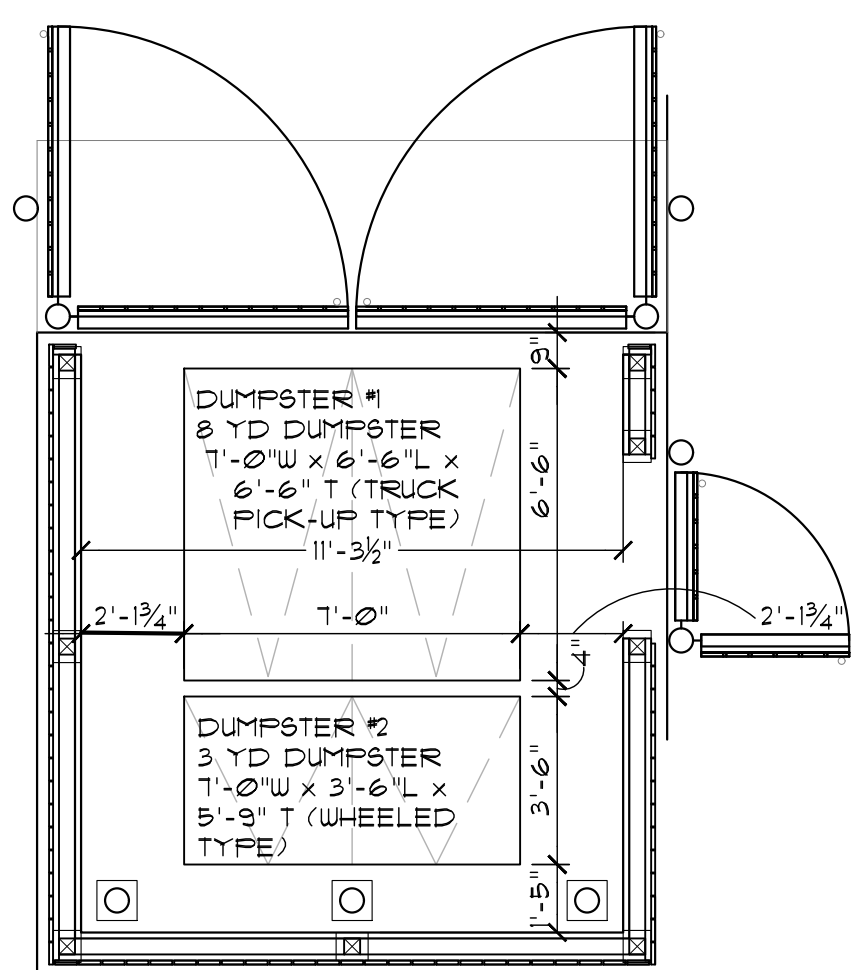
BUILDING MATERIALS LEGEND	
	STONE - CULTURED/MANUFACTURED STONE; ENVIRONMENTAL STONEWORKS STYLE: TUSCAN LEDGESTONE, COLOR: LANTANA, SILL CAP; ENVIRONMENTAL STONEWORKS DRIP LEDGE COLOR: KODIAK
	HARDIE PLANK SIDING - PAINTED 'CLOUDBURST' HARDIE TRIM BOARD AT HORIZONTAL TRANSITION TO SIDING AND SURROUNDING WINDOWS AND DOORS - PAINTED 'BITTERSWEET CHOCOLATE'
	STANDING SEAM METAL ROOFING - COLOR: DARK BRONZE.
	DARK BRONZE STOREFRONT DOORS, WINDOWS, AND HM SERVICE DOORS.
	LIGHT FIXTURES - PROGRESS P5164-86 BURNISHED CHESTNUT WALL LAMPS



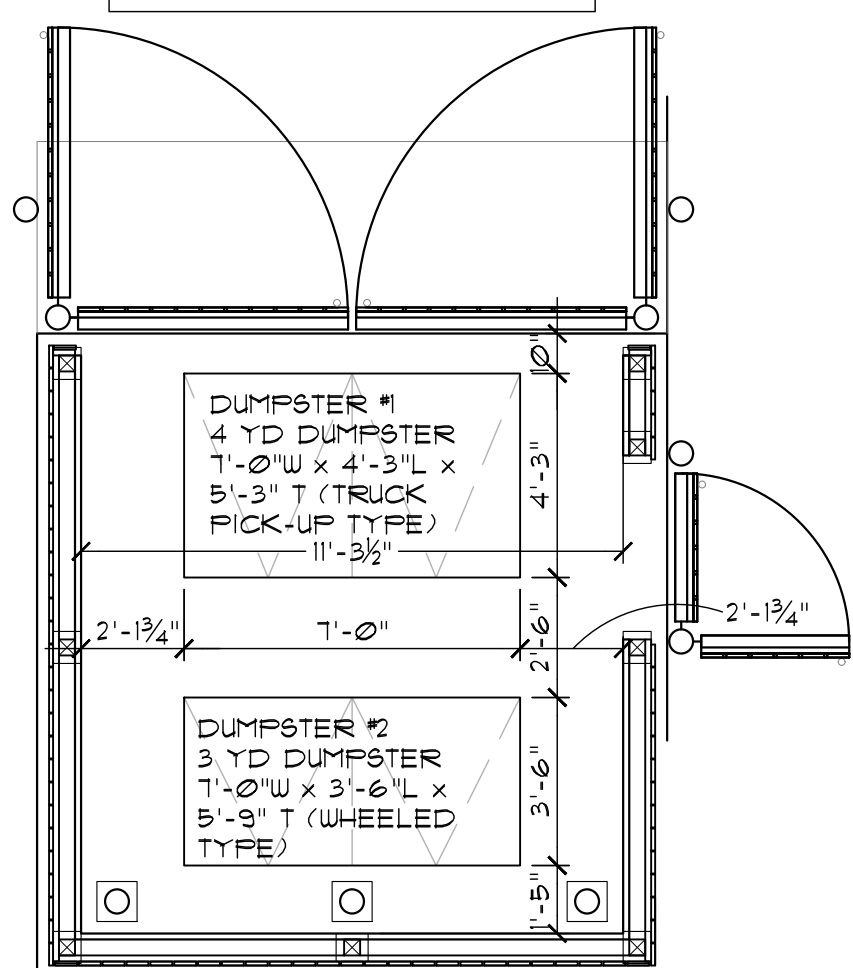
3 REAR ELEVATION (WEST)
 1/4" = 1'-0"



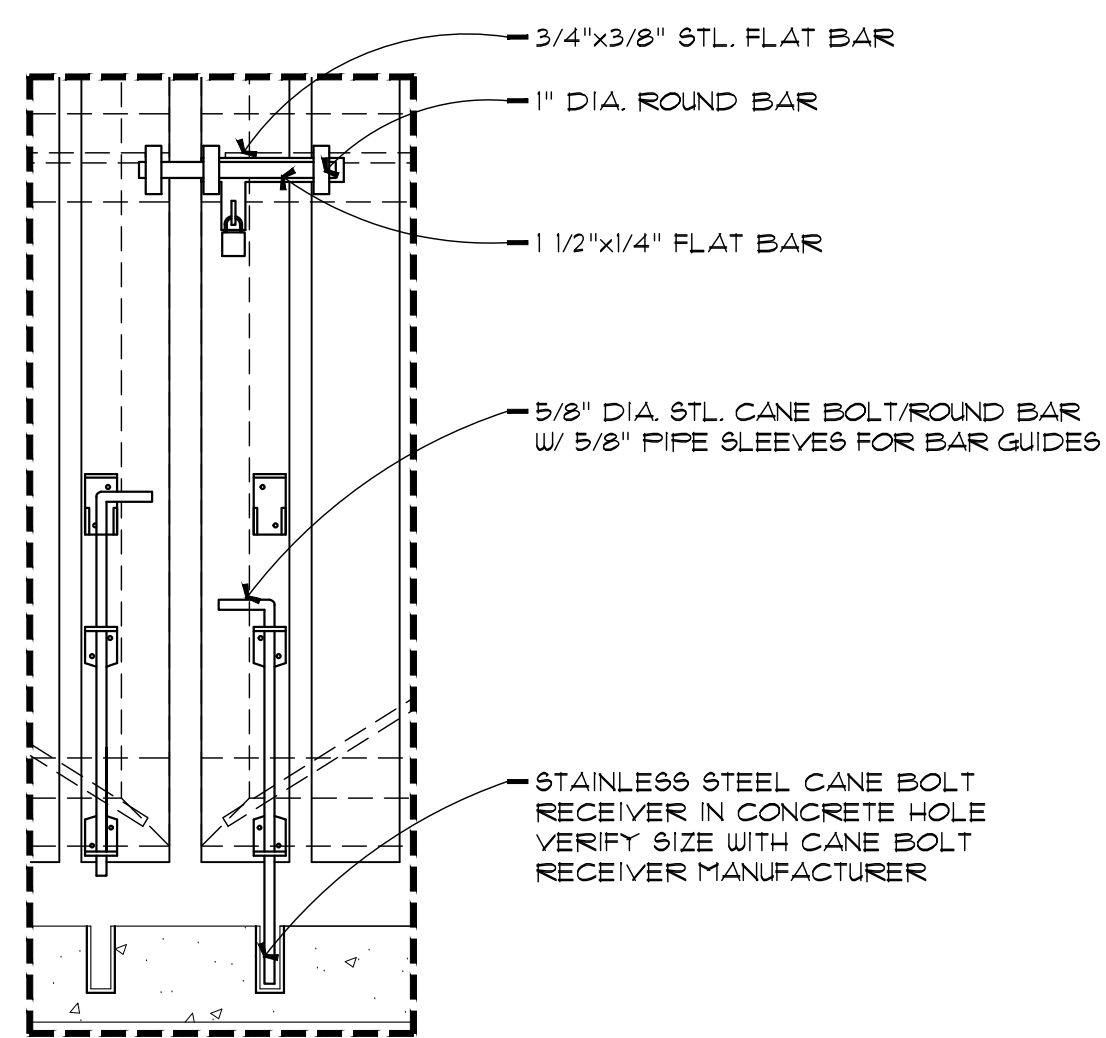
4 SIDE ELEVATION (SOUTH)
 1/4" = 1'-0"



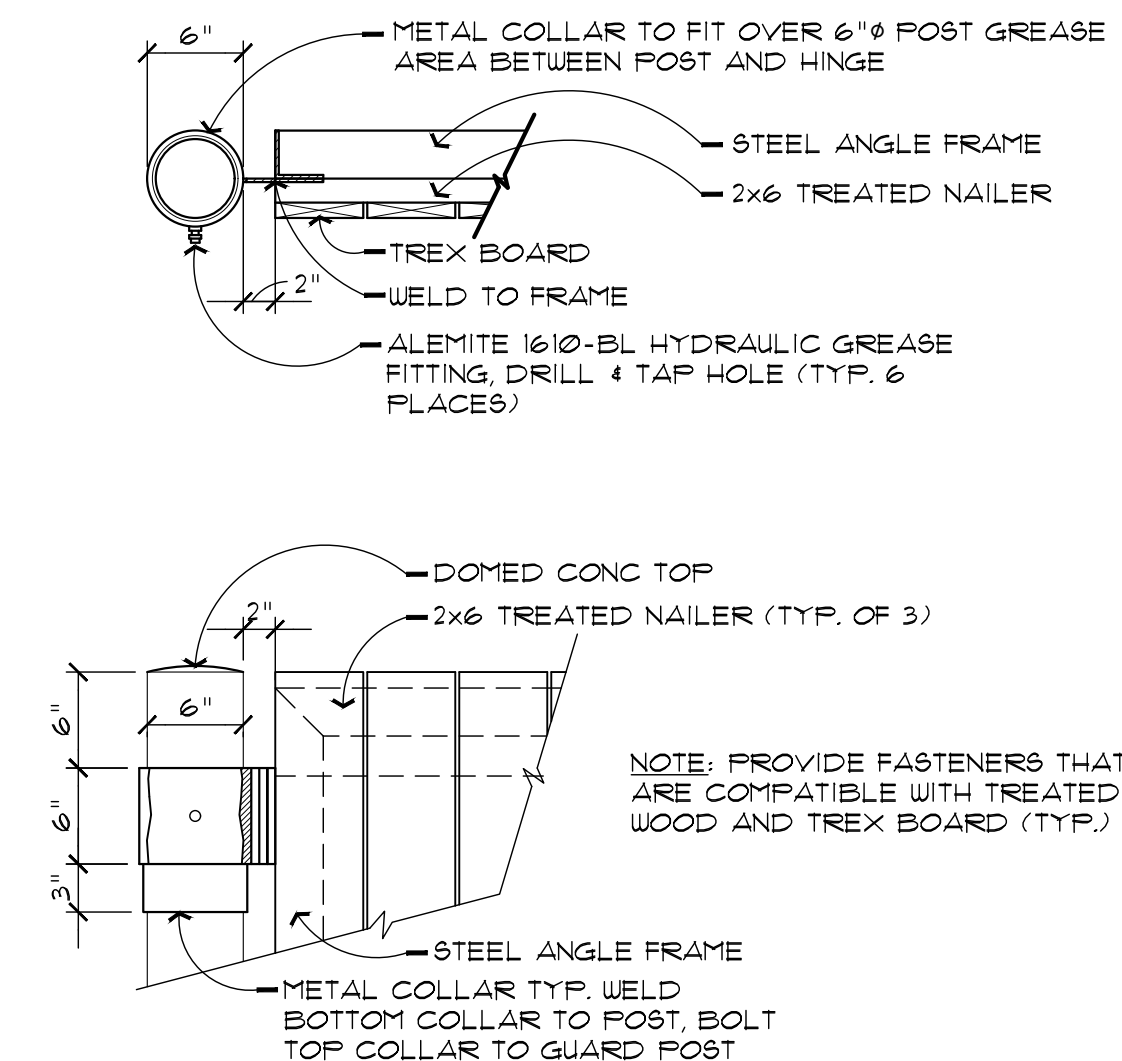
FINAL DUMPSTER TYPE, SIZING AND LAYOUT TO BE DETERMINED WITH OWNER IN COORDINATION WITH LOCAL WASTE COLLECTION COMPANY



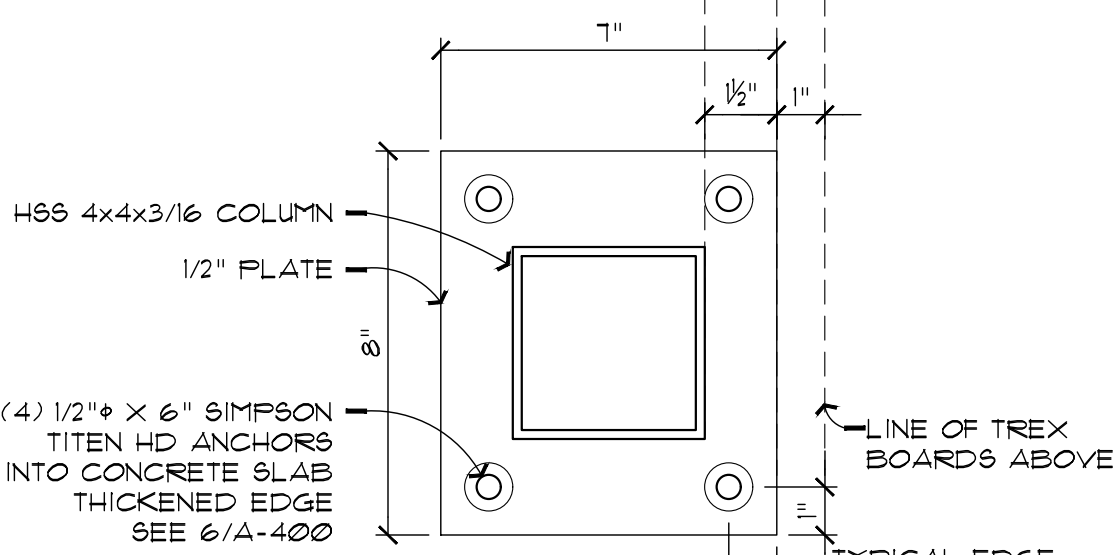
10 EXAMPLE DUMPSTER LAYOUTS
1/4"=1'-0"



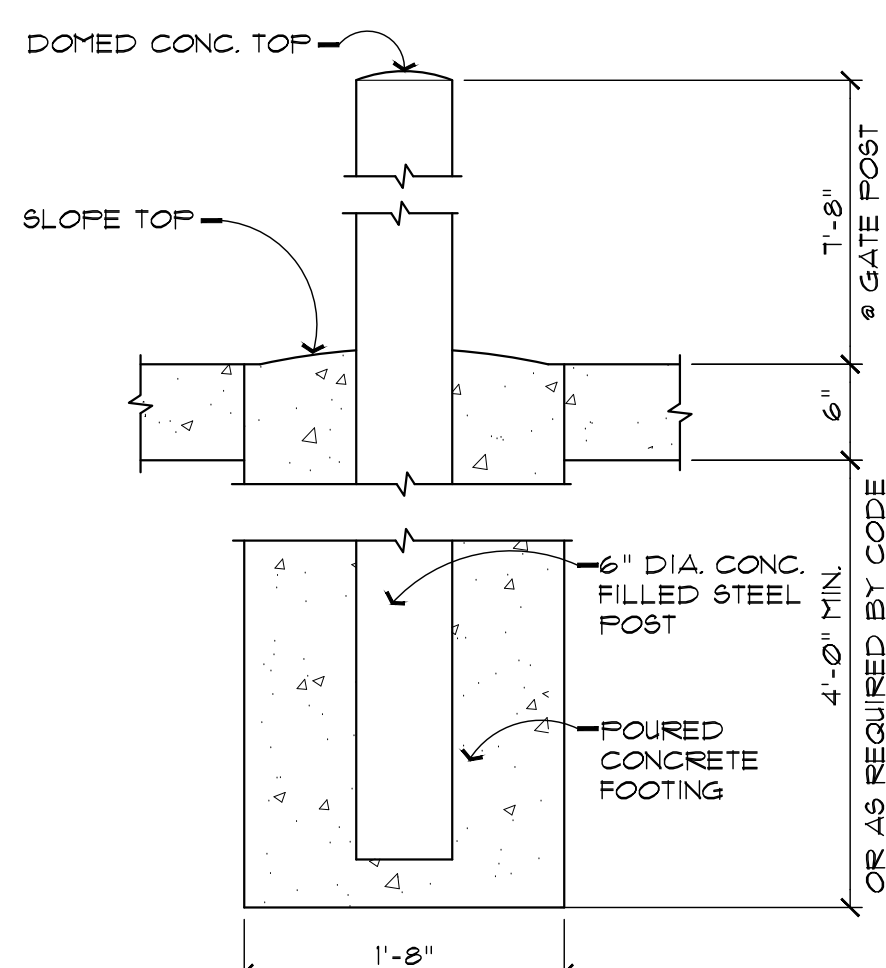
7 LATCH DETAIL
1"=1'-0"



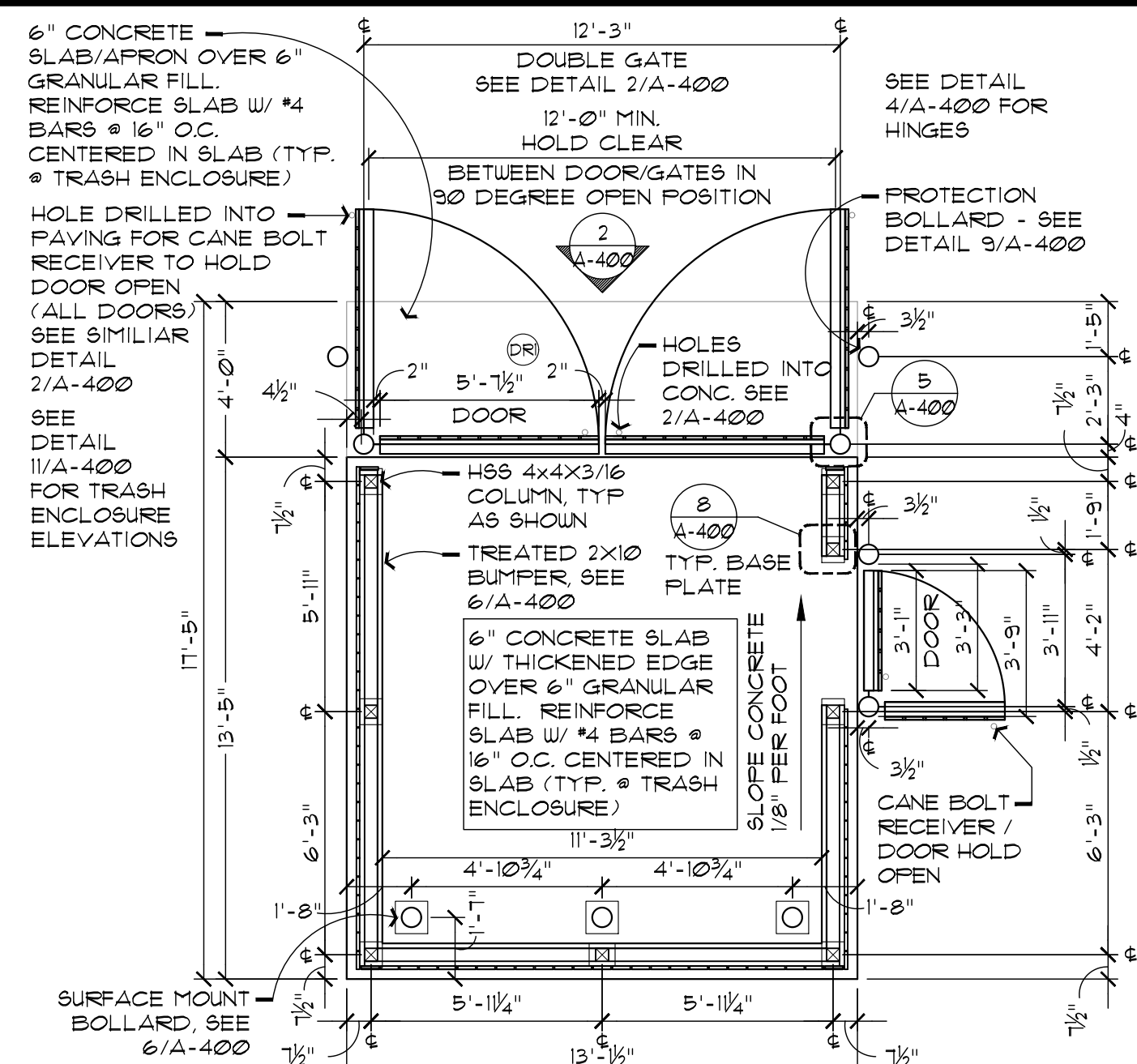
4 HINGE DETAILS
1"=1'-0"



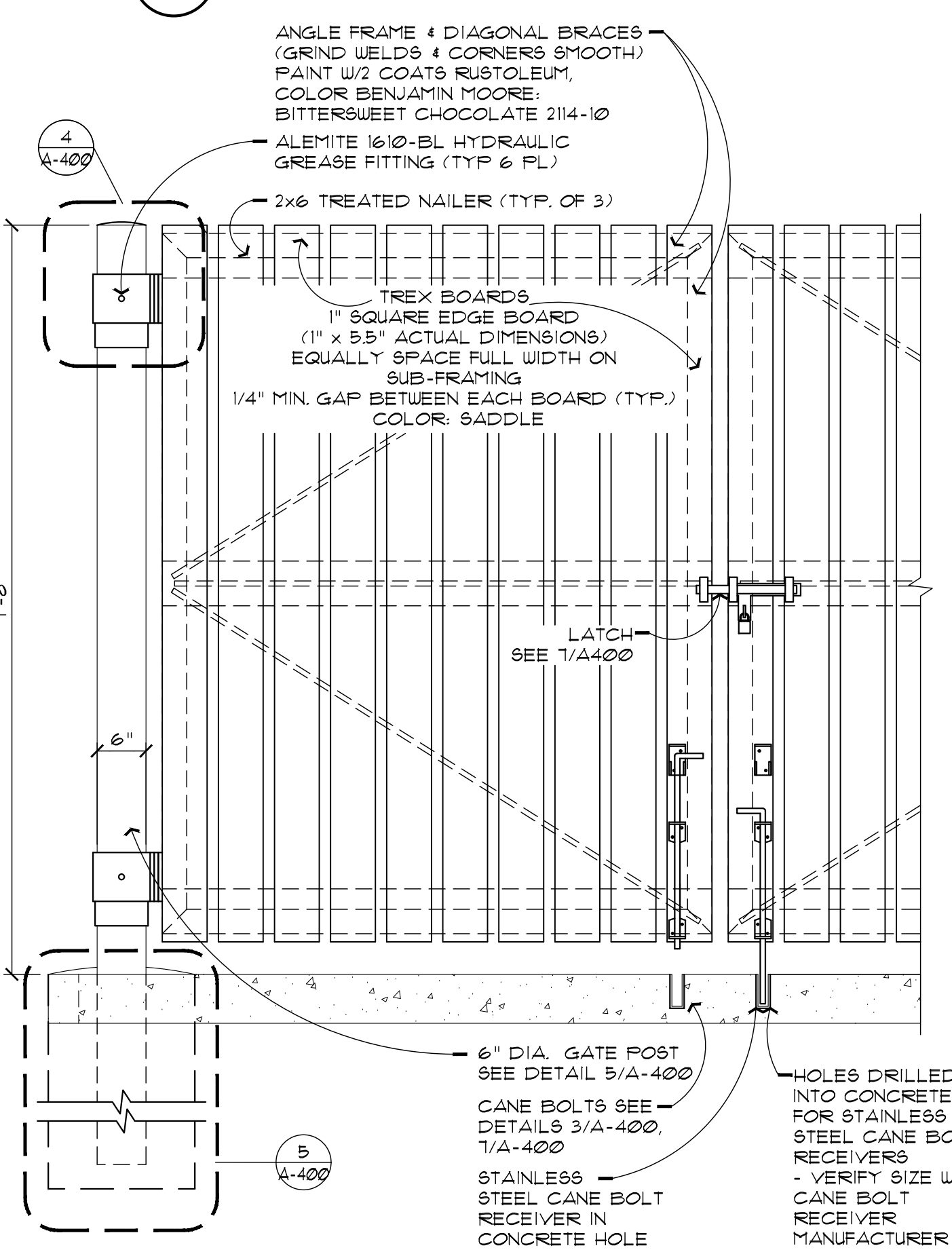
8 BASE PLATE
3"=1'-0"



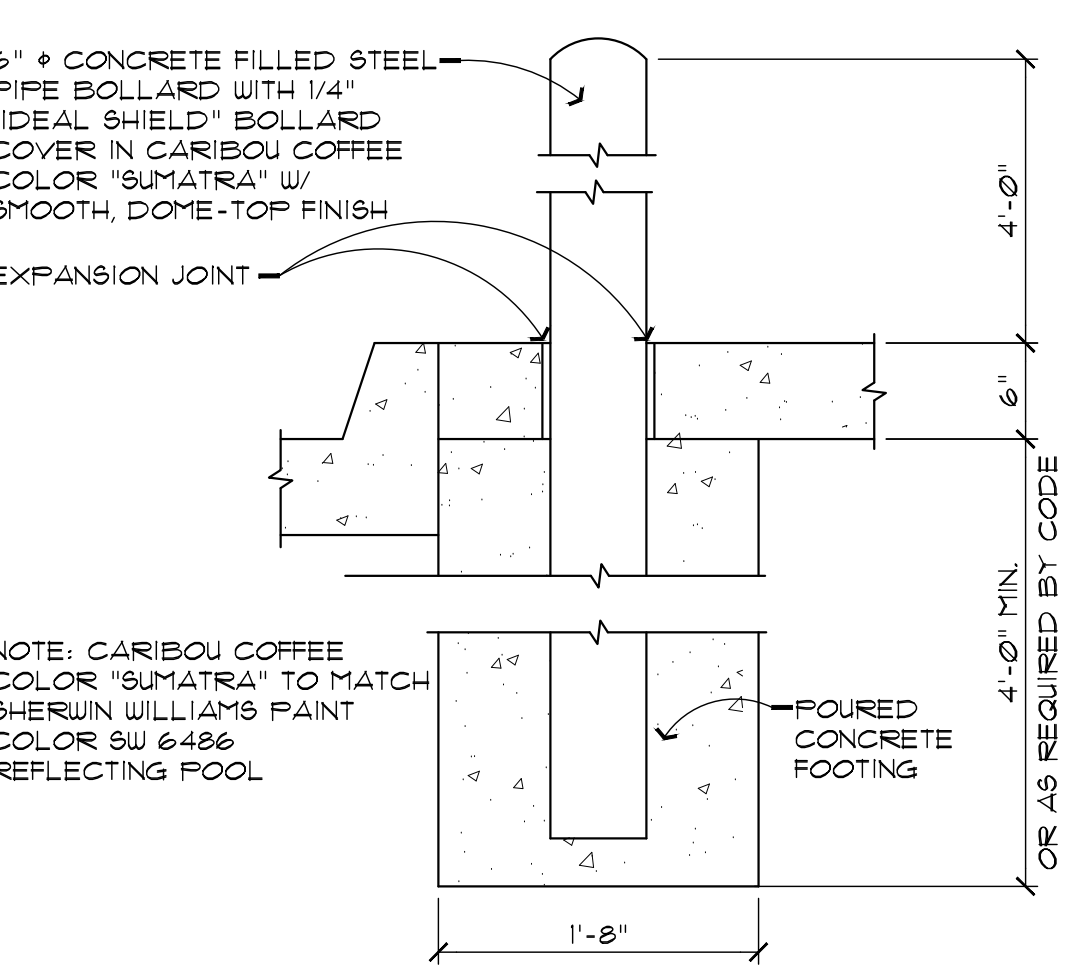
5 TYP. GATE POST DETAIL
1"=1'-0"



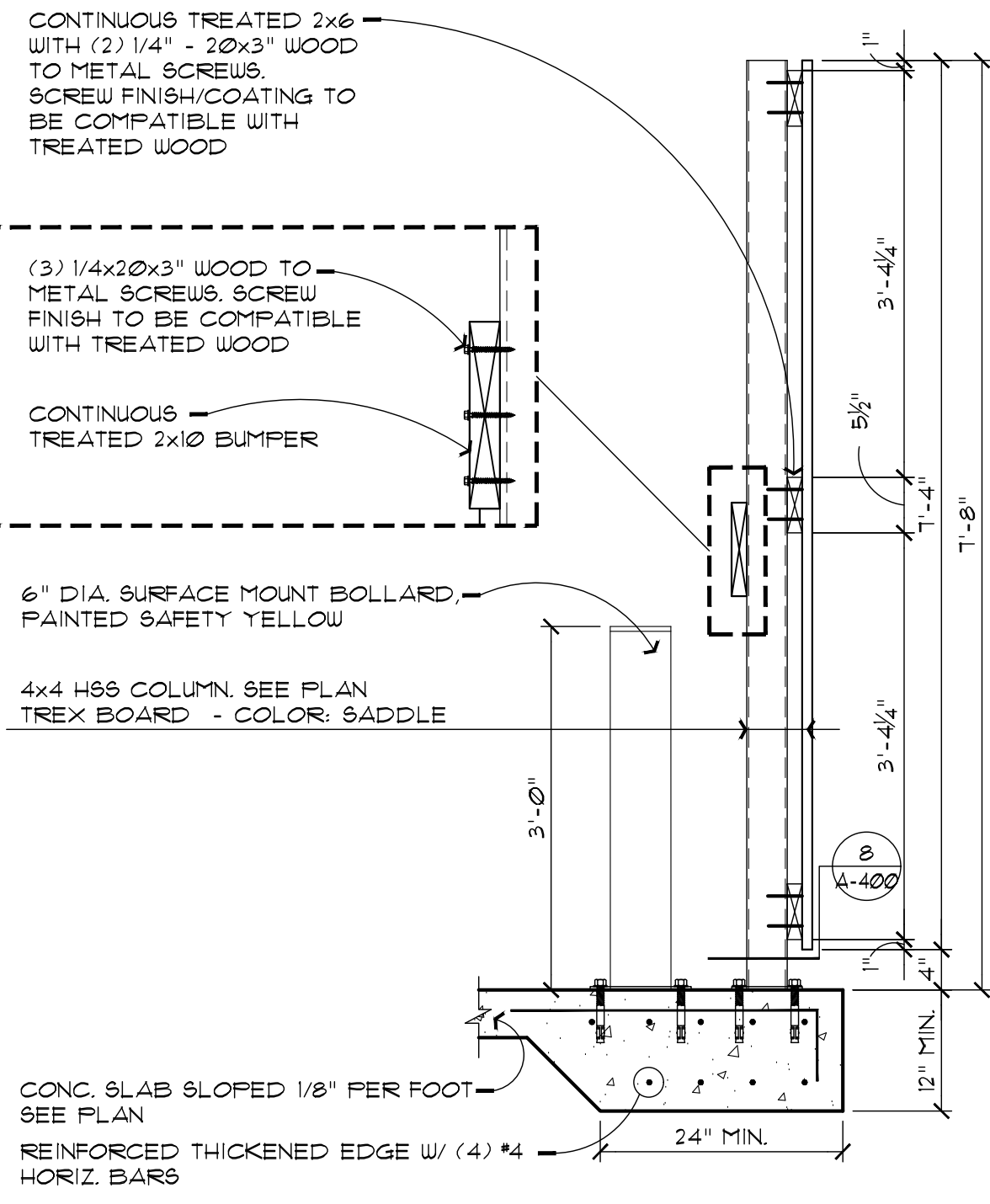
1 TRASH ENCLOSURE PLAN
1/4"=1'-0"



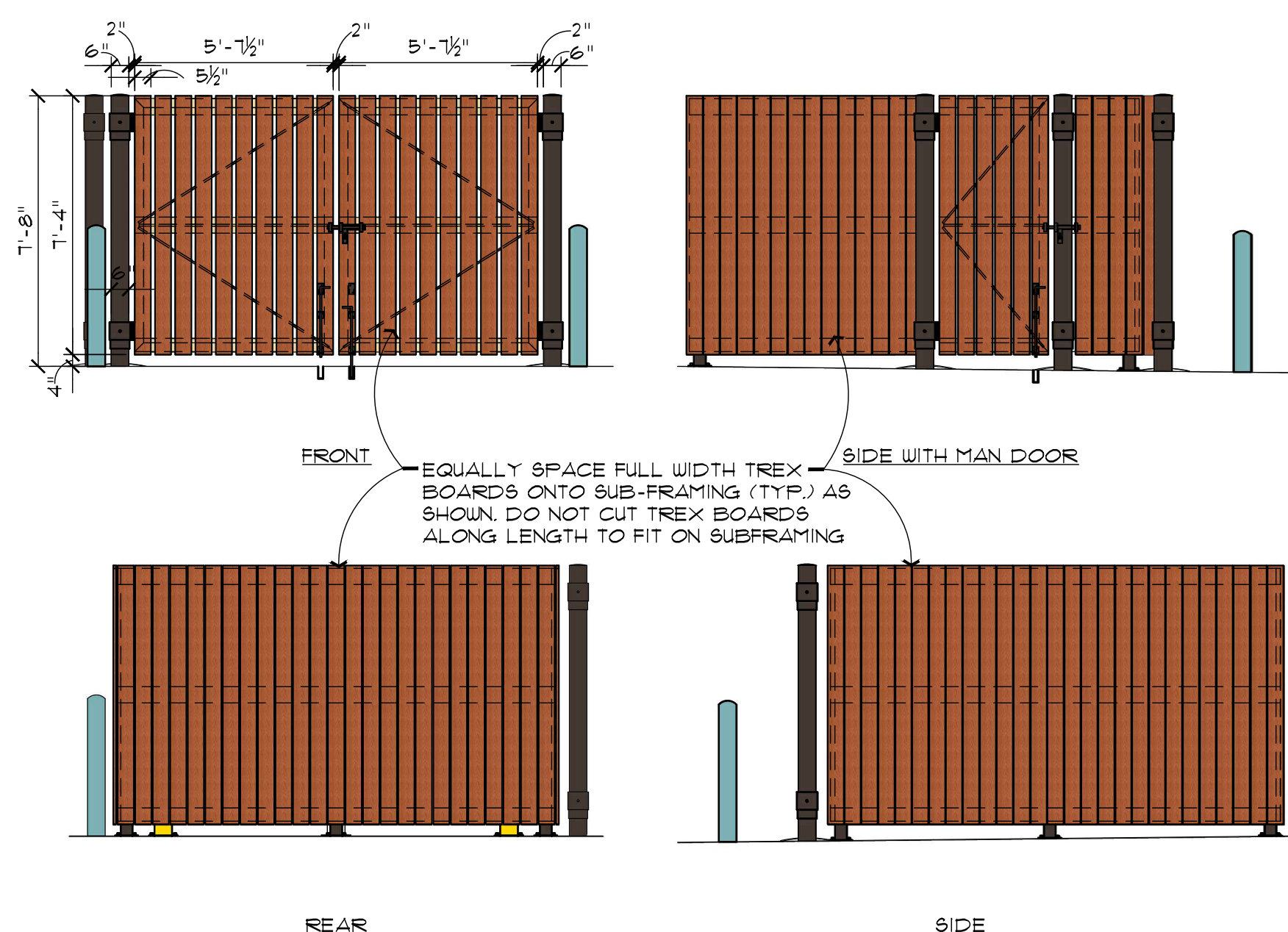
2 TYP. GATE DETAIL
3/4"=1'-0"



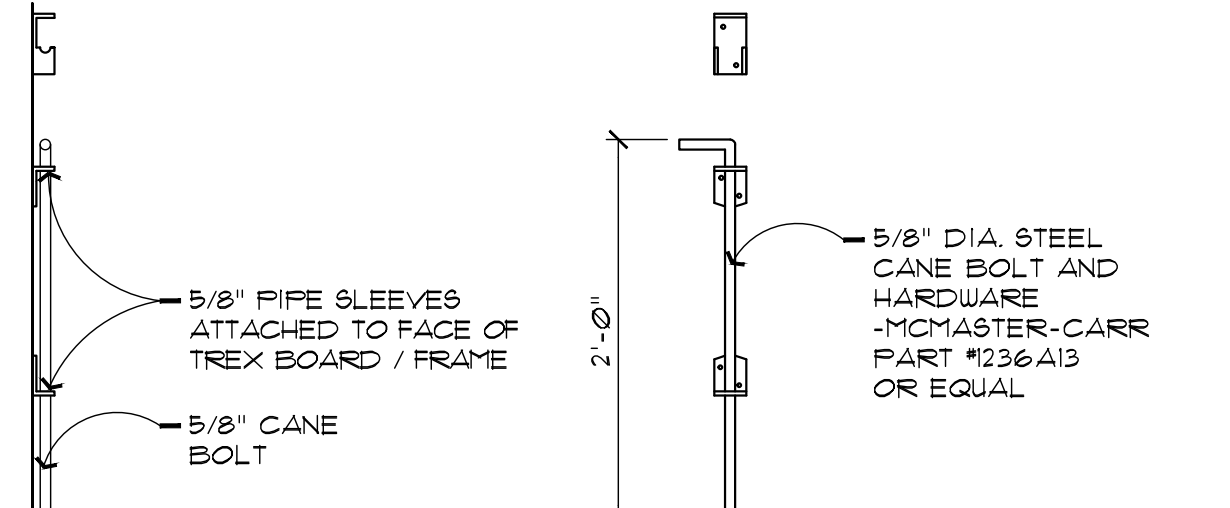
9 BOLLARD DETAIL
1"=1'-0"



6 TYP. SECTION
3/4"=1'-0"



11 TRASH ENCLOSURE ELEVATIONS
1/4"=1'-0"



3 CANE BOLT DETAILS
1"=1'-0"



Engineers, Surveyors, Planners, Scientists

MEMO

Date: July 11, 2022; Revised August 9, 2022

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: Caribou Coffee

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the private development plan for the proposed Caribou Coffee located on the north side of East Main Street, east of Briarcliff Road. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site will be accessed from an existing commercial drive which connects to East Main Street. The access point is located in the northeast corner of the site.
 - a. The drive will be 29 feet wide at the connection to the existing drive, which is adequate.
 - b. The interior drive aisles will be one way in a counter clockwise direction and will be 17 feet wide adjacent to the parking spaces, which are angled. The one way drive aisle is acceptable.
 - c. There will be a drive thru lane and window and an escape lane on the site. Each are adequate.
2. The site is currently an existing asphalt parking lot. This will be removed to construct the proposed project.
3. Signage will be needed at the access points and internally to the site to ensure the one way nature of some of the traffic flow is conveyed to the customers.
4. The plan shows that 9 vehicles can queue from the pickup window to the ordering station.
5. A sidewalk connection from the right-of-way to the site has been provided in the updated site plan. The final connection point at the right-of-way is to be determined with the PGU plan.
6. The site plan proposes 15 parking spaces, which is adequate for the site.
7. The applicant provided an estimate of 350 trips (average daily traffic) for the facility. Although the traffic data requested to determine if a project requires a traffic study references peak hour counts, the provided ADT information is adequate. Since the project is planned to be constructed within an existing commercial center, and with the provided ADT information, a traffic study is not required.
8. An existing Landscape and Water easement is in place across the frontage of the site and encumbers approximately 40 feet of the frontage. Staff and Engineering have worked with the applicant and agreed to reduce the existing easement area to have limits from the right-of-way to the proposed back of curb of the drive thru lane. This will result in a remaining easement of approximately 21 feet in width and will allow the City to maintain an existing watermain and landscaping in this area. The City will coordinate with the applicant to vacate the remaining easement area on the site.

UTILITIES

9. For the proposed water service tap and meter, please review and reference the applicable Reynoldsburg Standard Drawings with the PGU submission.
10. The provided utility plan shows a 6-inch sanitary service lateral being extended to the building from the west from an existing 8-inch sanitary sewer (P00345). The lateral shows a slope of 1.0%, which does not meet the required minimum slope of 2.08% for a service lateral. If the required steeper slope cannot be met, a mainline sewer extension to the site may be necessary. In addition, a service lateral or a mainline extension will require an easement to be dedicated.
 - a. In addition, the plan is currently showing a manhole on a 6-inch service line which is not allowed. If this remains a service lateral, a cleanout should be placed in the location where the manhole is shown.
 - b. The sanitary lateral also appears to leave the site, extending onto the adjacent property to the north and west. This would require a legal agreement and easement.
11. As shown, the site will be served with water via a new 1-inch tap on the existing 8-inch watermain located on the north side of Main Street (R02479).
12. A proposed fire hydrant is shown to be installed along the east property line, south of the proposed driveway. This would be a private hydrant and a valve is required at the tee from the existing main.
13. For lighting, the site is utilizing four light poles with LED lights. Based on photometrics provided, the lighting is adequate for a commercial site.

STORMWATER

14. The plan shows the site grading from west to east. An existing catch basin and existing storm sewer will accept the site runoff and exit the site near the southwest corner of the site.
15. The plan currently does not show water quality or quantity control features. Since the disturbed area is less than one acre, water quality treatment would not be necessary. Detailed calculations and/or report are to be submitted with the PGU plan to document the pre-and post-developed impervious areas to show if quantity controls are required.
16. The PGU plan will need to show more detailed grading and flood routing information. Storm sewer profile(s) information should also be included.

DETAILS / SPECIFICATIONS

17. Please provide the details for the curb and pavement compositions so they can be reviewed against the City of Reynoldsburg standards. Additionally, the sidewalk that connects to the public walk along East Main Street should be per the Reynoldsburg Standard Drawing R-9.
18. Where applicable, refer to Reynoldsburg Standard Construction Drawings.



ARCHITECTS. ENGINEERS. PLANNERS.

August 9, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: Caribou Coffee, E. Main St. & Briarcliff: Variances

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. *Project Summary*

- a. The subject property is located approximately 360 feet east of the East Main St. & Briarcliff Road intersection and lies between two outparcels along East Main Street. The site is zoned East Main Street District (MSD).
- b. All four quadrants of the East Main St. & Briarcliff Road intersection are adjacent to the site and are zoned MSD-East Main Street District.
- c. The site currently contains a 44-space parking lot that is part of the Aaron's (old Kroger) shopping center. The building is set back approximately 44 feet from the right-of-way. Within that setback is a 22.8-foot drive thru lane and a portion of a 60-foot +/- easement that contains underground sprinkler systems, decorative streetscape and walls, and utilities. The 60-foot +/- easement was reduced to a 20-foot +/- easement by the city to place the drive thru lane outside the easement as well accommodate both the underground and above ground improvements within the easement.
- d. The 2018 Comprehensive Plan, upon which the current zoning code is based, recommends for East Main Street "Attractive streetscapes and walkability should be emphasized to encourage pedestrian and transit activity along the corridors, and to create cohesive character amongst neighboring development. Sidewalk cafes, awnings, and landscaping are encouraged to help define the character of the development." The zoning code was revised to accommodate the Plan's recommendations and, for the MSD and the Brice and Main Street District, to incorporate transit supportive development.
- e. A variance to Section 1103.15 Brice & East Main Street and East Main Street Insight Districts (BMD and EMD and Section 115.03, Signs is being requested.

2. *Zoning Variance Review- MSD-East Main Street District (Section 1109.15, Signs)*

a. Signage

- i. The applicant is providing two wall signs, one on the eastern and one on the southern side of the proposed building. The wall sign on the eastern side of the street measures approximately 180 inches by 22 inches, equaling approximately 27 square feet, 5 feet less than the permitted 32 square feet. The proportionally larger wall sign on the south side of the building measures approximately 283 inches by approximately 34 inches, or 67 square feet which is seven square feet less than the permitted 74 square feet.
- ii. The maximum number of wall signs permitted in the MSD-East Main Street District is one wall sign "on the wall of a building which most nearly parallels a street, parking lot or service drive."



- iii. In addition to the wall sign, one monument sign is permitted with a brick base. The application shows a stone base, matching the building elevation. The 19 square foot sign is five feet less in area than the permitted 24 square feet. The sign is also setback 17 feet from the property line, which is seven feet more than the required 10-foot setback. However, from the signage information that was provided, the total sign height, including the base, is shown at 10 feet. This is 4 feet taller than the required maximum height of 6 feet.

3. Recommendations

a. Zoning Variance - MSD-East Main Street District (Section 1109.15, Sign and 1105.13 Front Yard Setback)

i. Section 1109.15, Sign Variances

1. A variance is required to allow a second wall sign. A second wall sign is not supported because a hardship or practical difficulty does not appear to be present, and the additional sign appears to be a matter of convenience when other remedies (allowance of a ground sign) are available.
2. A variance to the maximum monument sign and the sign base material will be required. The additional sign height is not supported because a hardship or practical difficulty does not appear to be present. The stone base, however, is appropriate in this case to match the stone used on the building elevation, instead of requiring the sign base to be brick.

ii. 1105.13 Front Yard Setback Variance

1. A variance to the 20-foot maximum setback is required. Approval of the variance is supported. Based on the city's proposed easement, there does appear to be a hardship and there is a clear case for the proposed setback variance.

If you have any questions or comment, please feel free to contact us.
 Very truly yours,

Kim Littleton

Kim C. Littleton, AICP
 Senior Planner/Project Manager



Architecture & Plannin
 12400 Portland Avenue South, Suite 10
 Burnsville, MN 5533
 Office: (952) 252-404
 Fax: (952) 252-404

July 14, 2022

Revised August 3, 2022

REQUEST FOR VARIANCE – FRONT YARD SETBACK

PROPOSED CARIBOU COFFEE

Reynoldsburg Center

E. Main Street & Briarcliff

DESCRIPTION OF VARIANCE REQUEST

Based upon Zoning Code Ordinance Section 1103.15 in the East Main Street Insight District (EMD) requires a maximum building setback of 20 feet from the Right of Way. **We are requesting a variance of 15 feet 11 inches** (versus the previously requested 19 feet 6 inches) from that requirement. Our proposed building setback is 39 feet 6 inches. **There are three primary reasons for this request. First**, there is an 8 inch water main that runs through the area in question which would make it infeasible to construct the exterior patio on that portion of the site. **Second**, the resulting site plan would require guests with accessibility issues and in wheelchairs to cross the drive-thru lane traffic to access the building creating a potential life safety issue. **Third** there would be significantly less stacking space for the drive-thru forcing the drive thru queue into the main drive and potentially blocking traffic on that drive lane.

STANDARDS FOR REQUESTED SETBACK VARIANCE AND STATEMENT OF HARDSHIP

(a) **The request for a setback variance** is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.

(b) **The request for a setback variance** will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)

(c) Based upon Section 1103.15 East Main St. Insight Districts the existing special circumstances or conditions, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures. There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.

We are requesting the setback variance because of the establishment of a revision to the existing water and landscape easement would prevent development of the south portion of the site which is a special circumstance unique to this parcel.

(d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question. **The practical difficulty as stated in (c) is the existence of a utility structure that cannot be built upon and is a special circumstance of the site.**

(e) The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose. **The request for an additional 15 feet 11 inches is the minimum distance necessary for the reasonable use of the site based on the nature of the project.**


(f) **The variance request for a setback variance** will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.

(g) **The request for a setback variance** will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district **due to the nature of the location of the existing utility and the overall circulation and safety of the site for pedestrians.**

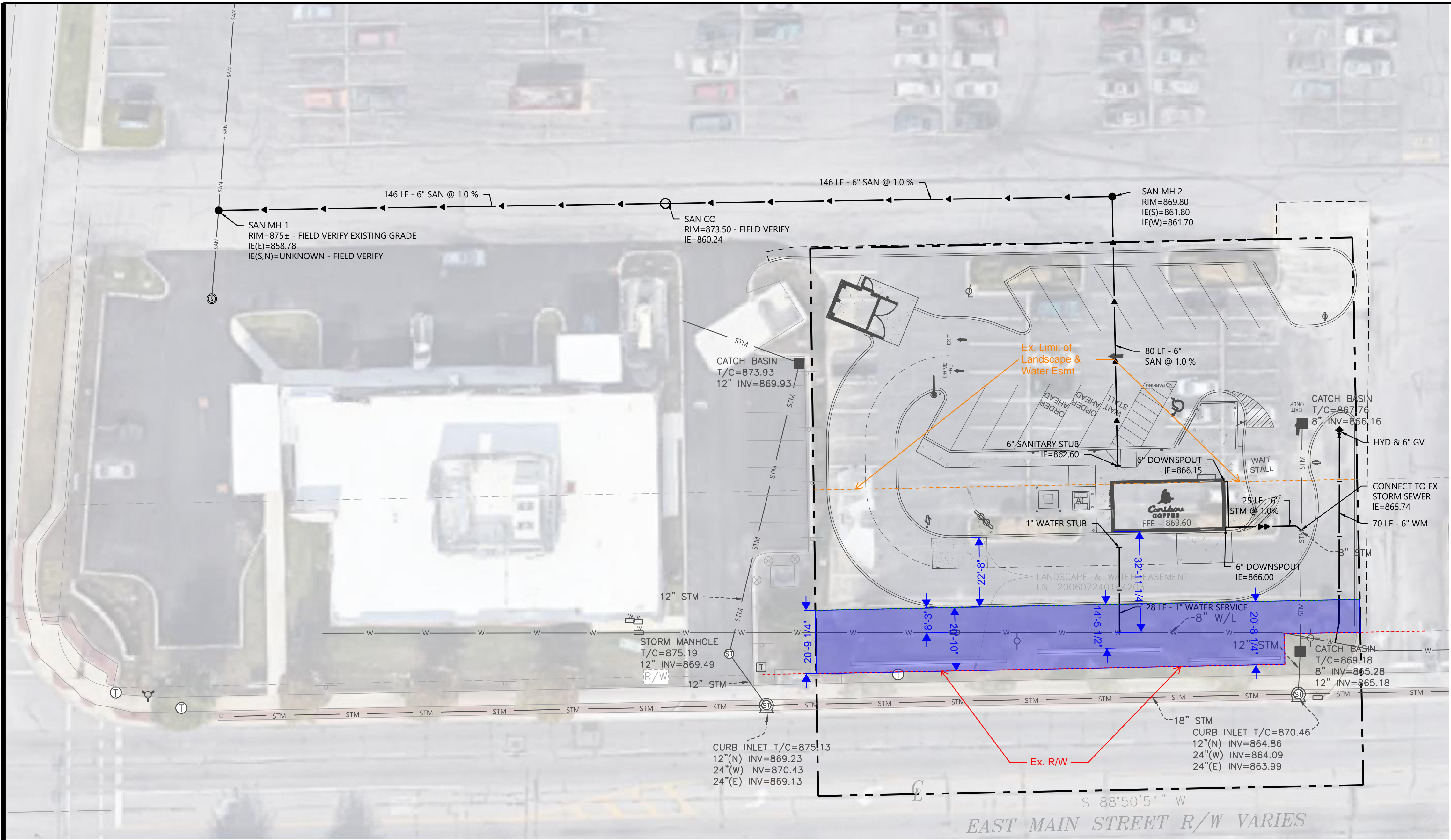
(h) No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance. **No non-conforming use is at issue regarding neighboring land or structures in the same district.**

(i) **The request for a setback variance** is not a matter of convenience when other remedies are available within the provisions of this Code. **The setback variance request is required for the utilization of the site based on the building type and for the safety of pedestrians, accessibility, and traffic flow for the site which utilizes a single curb cut without the need for additional points of access to and from the site. It allows for additional drive thru stacking, eliminating the potential for backups into the main access drive lane. And finally it increases the percentage of pervious landscape on the site.**

Respectfully Submitted,



**Project Manager
Reprise Design**



UTILITY LEGEND

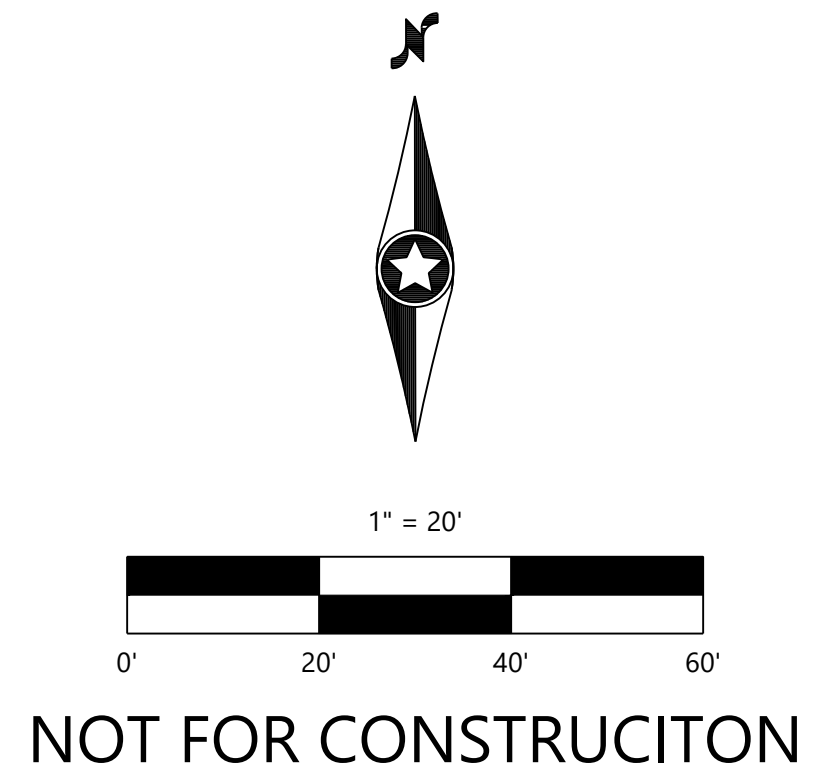
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

Proposed Landscape & Water Easement (20-21 feet) to back of proposed Caribou Coffee curb

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS AND OHIO PLUMBING CODE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 7' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO OHIO PLUMBING CODE.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10-FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY OHIO PLUMBING CODE. STORM SEWER LOCATED WITHIN 10-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER OHIO PLUMBING CODE.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER OHIO RULES.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' OF 2'
INITIAL ISSUE:	
REVISIONS:	
	06/30/22

PREPARED FOR:
REPRISE DESIGN, INC.
12400 PORTLAND AVENUE SOUTH
BURNSVILLE, MN 55337

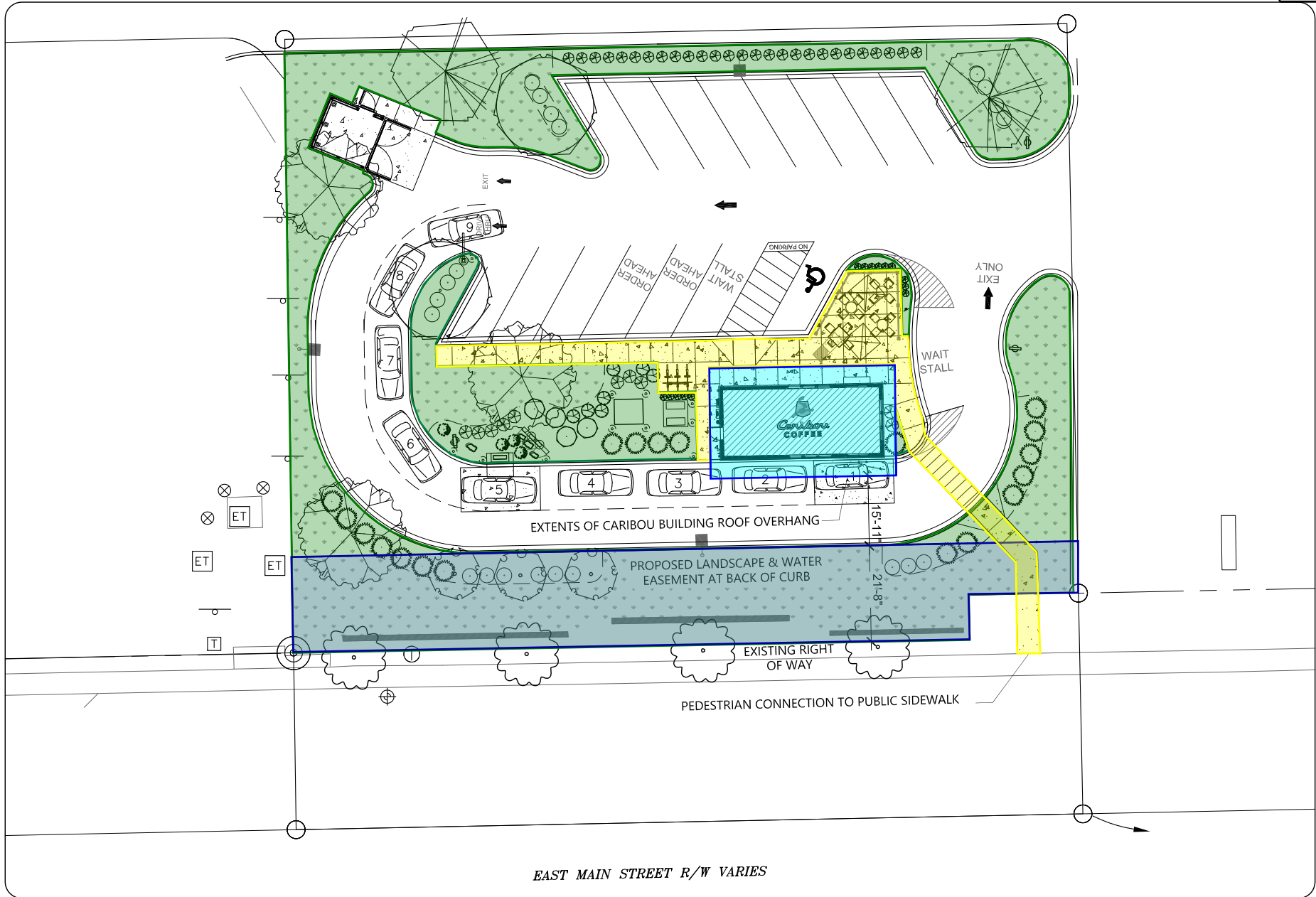
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.
DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

Westwood
Professional Services, Inc.
12701 Winthrop Drive, Suite #300
Miamitown, OH 45343
(614) 897-5150
(888) 937-5150
westwoodps.com

UTILITY PLAN

SHEET NUMBER:
C500
DATE: 06/30/22
PROJECT NUMBER: 00
Packet Pg. 47



Attachment: Easement and Setback Variance Exhibit (App# 2022-5271 (Setbacks), Briarcliff and Main,

reprise
 Architecture, PLLC
 12400 Portland Avenue South
 Suite 100, Portland Corporate Center
 Burnsville, MN 55337
 Office: (952) 252-4042
 Fax: (952) 252-4043

CARIBOU CABIN
 EASEMENT / SETBACK VARIANCE EXHIBIT
 MAIN & BRIARCLIFF, REYNOLDSBURG, OH
 DATE: 08-03-22
 SCALE: 1"=30'-0"



PRELIMINARY PLANS

FOR EXISTING CONDITIONS, REMOVALS, SITE, GRADING, EROSION CONTROL, AND UTILITIES FOR CARIBOU CABIN

REYNOLDSBURG, OH

PREPARED FOR:

REPRISE DESIGN, INC.

12400 PORTLAND AVENUE SOUTH

BURNSVILLE, MN 55337

CONTACT: CHARLES SCHATZ

PHONE: 952-252-4042

EMAIL: CSCHATZ@REPRISEDESIGN.COM

PREPARED BY:

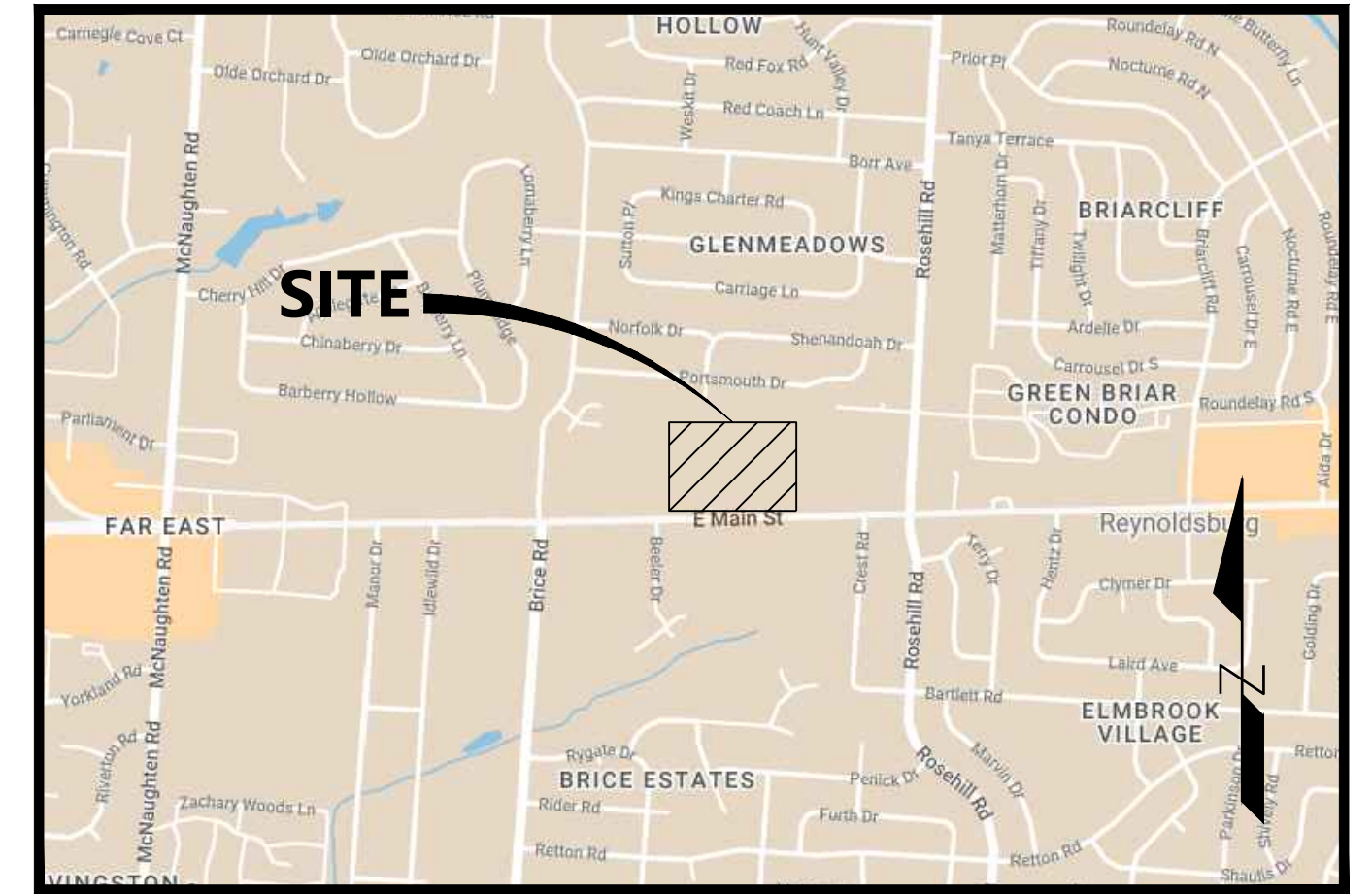
Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 TollFree (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0035937.00

CONTACT: JEFF WESTENDORF



Vicinity Map
(NOT TO SCALE)

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS & REMOVALS
C200	SITE PLAN
C300	GRADING AND EROSION CONTROL PLAN
C500	UTILITY PLAN

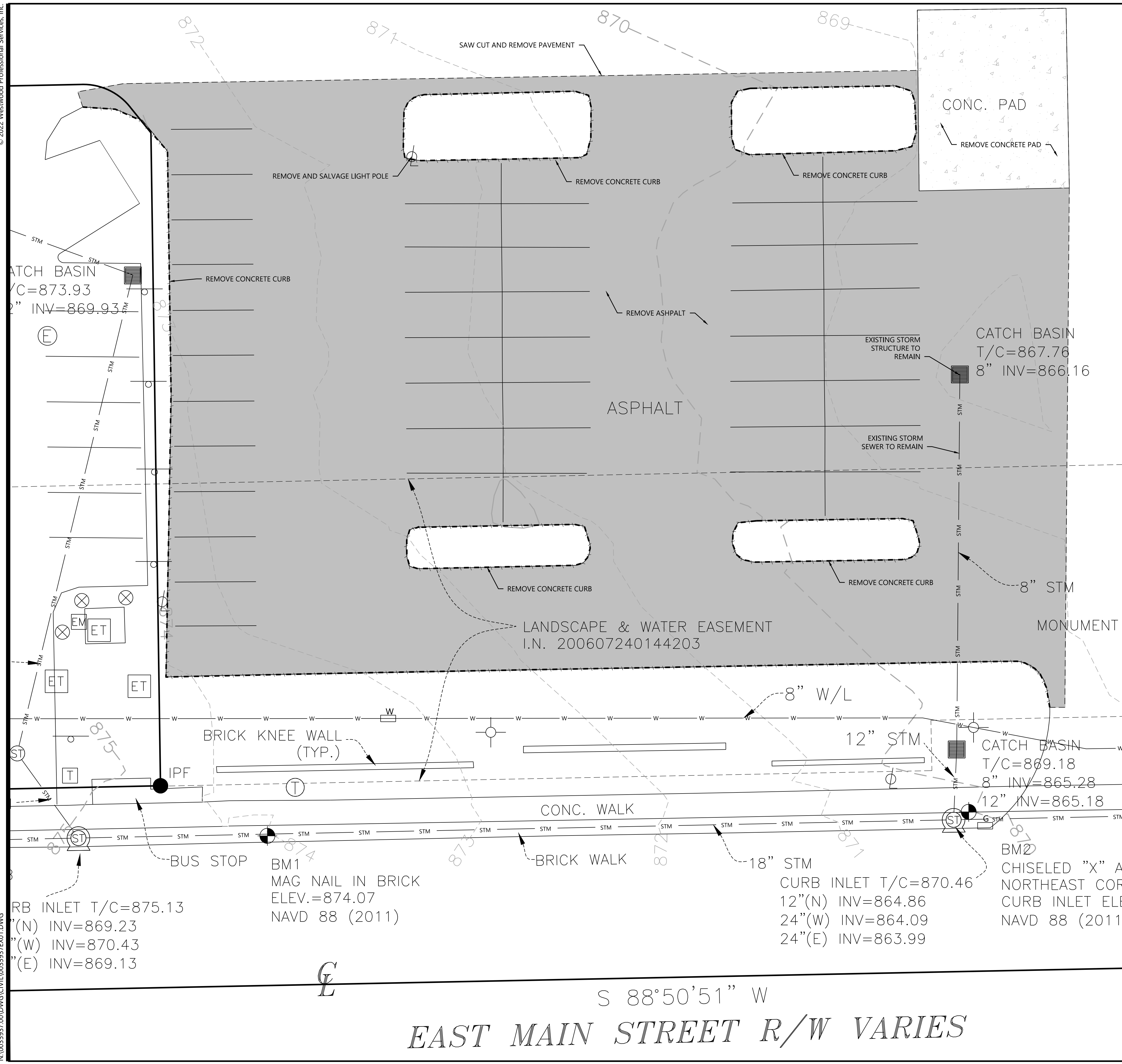
NO.	DATE	REVISION	SHEETS

PRELIMINARY PLANS
 FOR
 EXISTING CONDITIONS, REMOVALS,
 SITE, GRADING, EROSION CONTROL,
 AND UTILITIES
 FOR
CARIBOU CABIN
 REYNOLDSBURG, OH

INITIAL SUBMITTAL DATE: 06/30/22 SHEET: C001 OF 5

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NY0035937.00.DWG\CIVIL\0035937EX01.DWG



REMOVAL LEGEND

EXISTING	PROPOSED	PROPERTY LINE
— SAN	— REMOVALS	— SAW CUT PAVEMENT
— WAT	—	— CURB & GUTTER
— WAT	—	— SANITARY SEWER
— STO	—	— WATER MAIN
— GAS	—	— HYDRANT
— PUG	—	— STORM SEWER
— POH	—	— GAS
— TUG	—	— UNDERGROUND ELECTRIC
— TOH	—	— OVERHEAD ELECTRIC
— FO	—	— UNDERGROUND TELEPHONE
— CTV	—	— OVERHEAD TELEPHONE
—	—	— TELEPHONE FIBER OPTIC
—	—	— CABLE TELEVISION
—	—	— RETAINING WALL
—	—	— FENCE
—	—	— CONCRETE
—	—	— BITUMINOUS
—	—	— BUILDING
—	—	— TREE
—	—	— LIGHT POLE
—	—	— TRAFFIC SIGN
—	—	— CONSTRUCTION BARRICADE
—	—	— SOIL BORING LOCATION

REMOVAL NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

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811 or call811.com
Common Ground Alliance

DESIGNED:	06/30/22
CHECKED:	
DRAWN:	
HORIZONTAL SCALE#/#:	
VERTICAL SCALE#/#:	

PREPARED FOR:
REPRISE DESIGN, INC.
12400 PORTLAND AVENUE SOUTH
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF OHIO.
DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

Westwood
12701 Winthrop Drive, Suite #300
Minnnetonka, MN 55343
Westwood.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

**EXISTING
CONDITIONS
& REMOVALS**

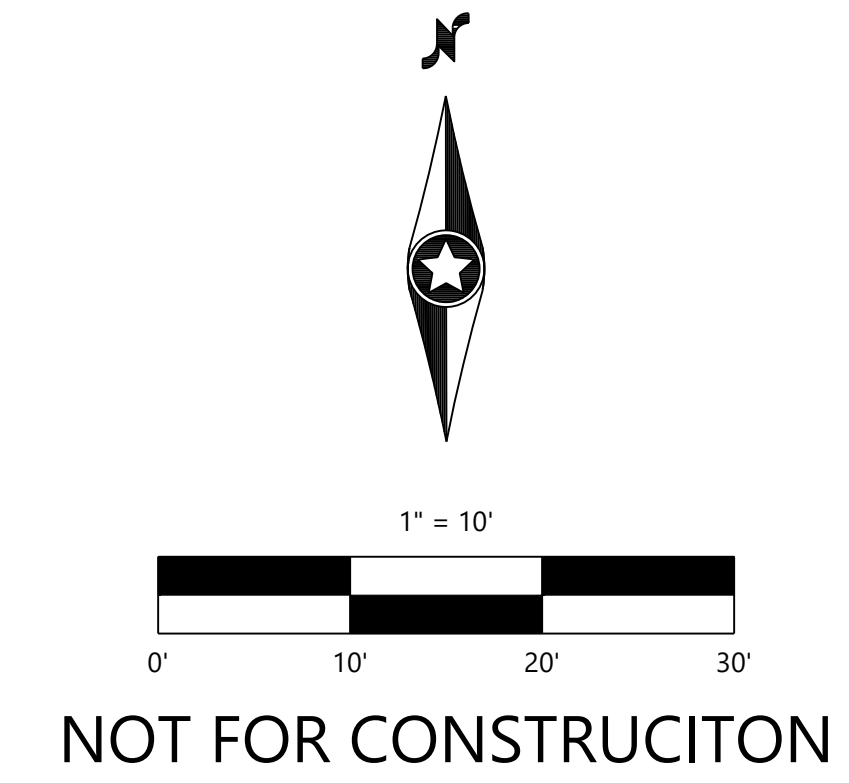
SHEET NUMBER:

C100

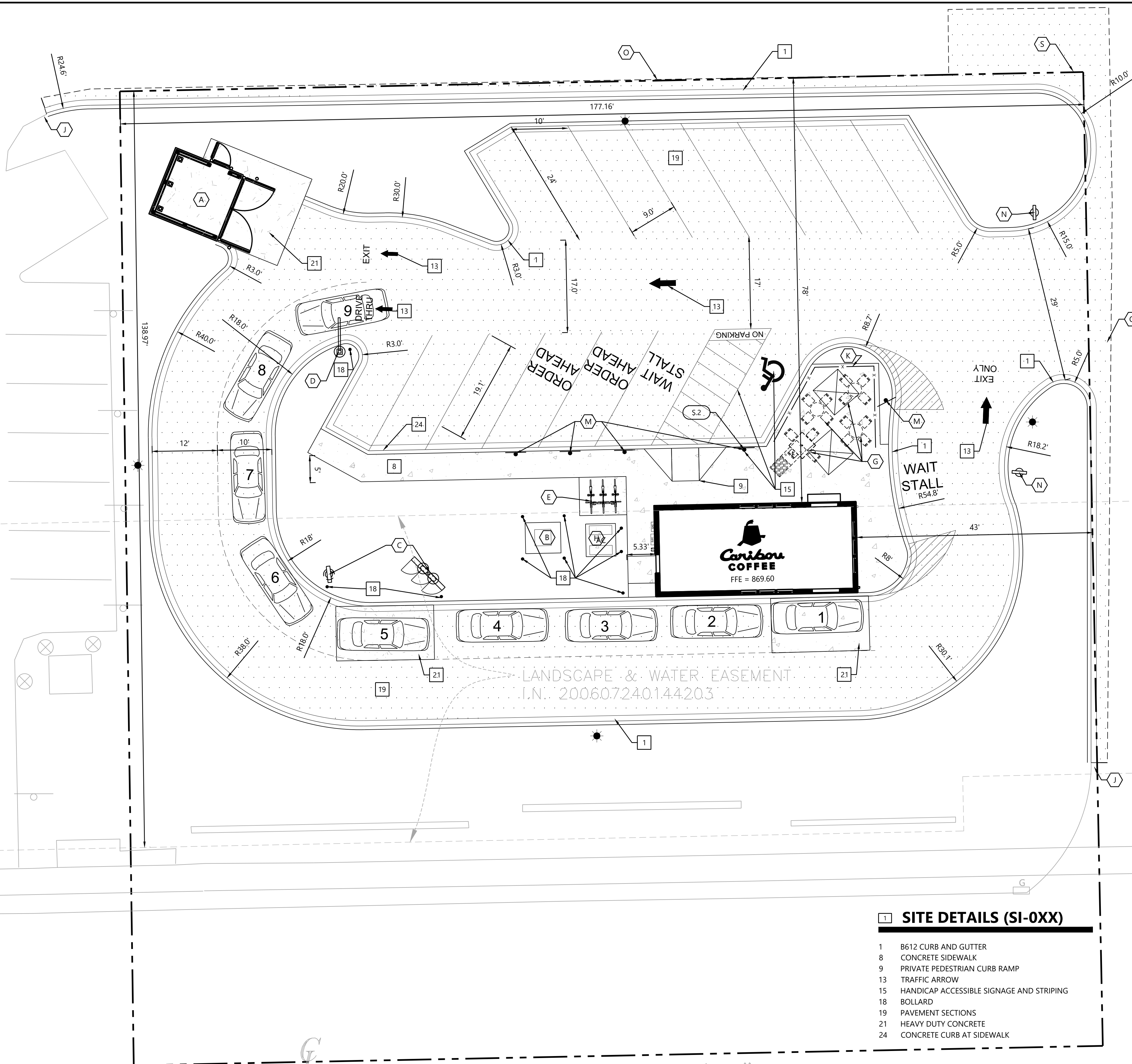
DATE: 06/30/22

PROJECT NUMBER: 00 Packet Pg. 50

S 88°50'51" W
EAST MAIN STREET R/W VARIES



Attachment: Caribou Cabin_Reynoldsburg_Combined SPA Drawings (App# 2022-5271 (Sebacks), Briarcliff and Main, Schatz)



LANDSCAPE & WATER EASEMENT
I.N. 200607240.144203

S 88°50'51" W
EAST MAIN STREET R/W VARIES

SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY LANDMARK SURVEY GROUP, INCORPORATED, 06-03-2022.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE TYPE 2 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

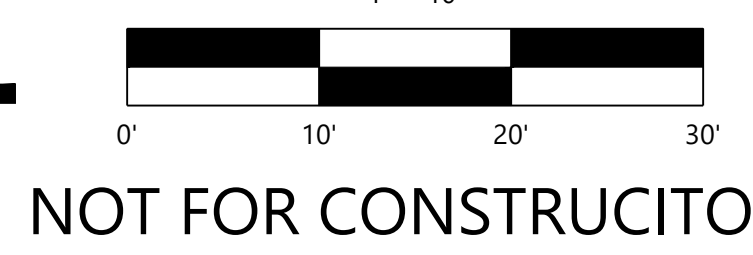
EXISTING ZONING:	CC - COMMUNITY COMMERCIAL
PROPOSED ZONING:	SAME
BUILDING GROSS SIZE:	625 SF
DISTURBED AREA:	23,376 SF
BUILDING SETBACK PER CODE:	10'=FRONT 10'=SIDE 20'=REAR
PARKING SPACE/DRIVE AISLE:	9' WIDE X 19' LONG, 17' AISLE
PARKING PROVIDED:	15

SITE KEYNOTES

- A TRASH ENCLOSURE - SEE ARCH PLANS
- B TRANSFORMER LOCATION
- C DRIVE THRU MENU BOARDS - SEE ARCH PLANS
- D DRIVE THRU CLEARANCE BAR - SEE ARCH PLANS
- E BIKE RACKS - SEE ARCH PLANS
- F TIP OUT CURB AND GUTTER
- G PATIO FURNITURE - SEE ARCH PLANS
- H AIR CONDITIONING UNIT - SEE ARCH PLANS
- J MATCH EXISTING CURB
- K FENCE - SEE ARCH PLANS
- M WAIT STALL SIGN - SEE SIGNAGE PLANS
- N DRIVE THRU DIRECTIONAL SIGNAGE - SEE SIGNAGE PLANS
- O SAW CUT LINE

SIGN LEGEND

REFERENCE	SIZE
S.2	HANDICAP ACCESSIBLE 12" X 18"



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DESIGNED:	06/30/22
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 1" = 10'	
VERTICAL SCALE: 2" = 1'	

PREPARED FOR:
REPRISE DESIGN, INC.
12400 PORTLAND AVENUE SOUTH
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.
DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
REYNOLDSBURG, OH

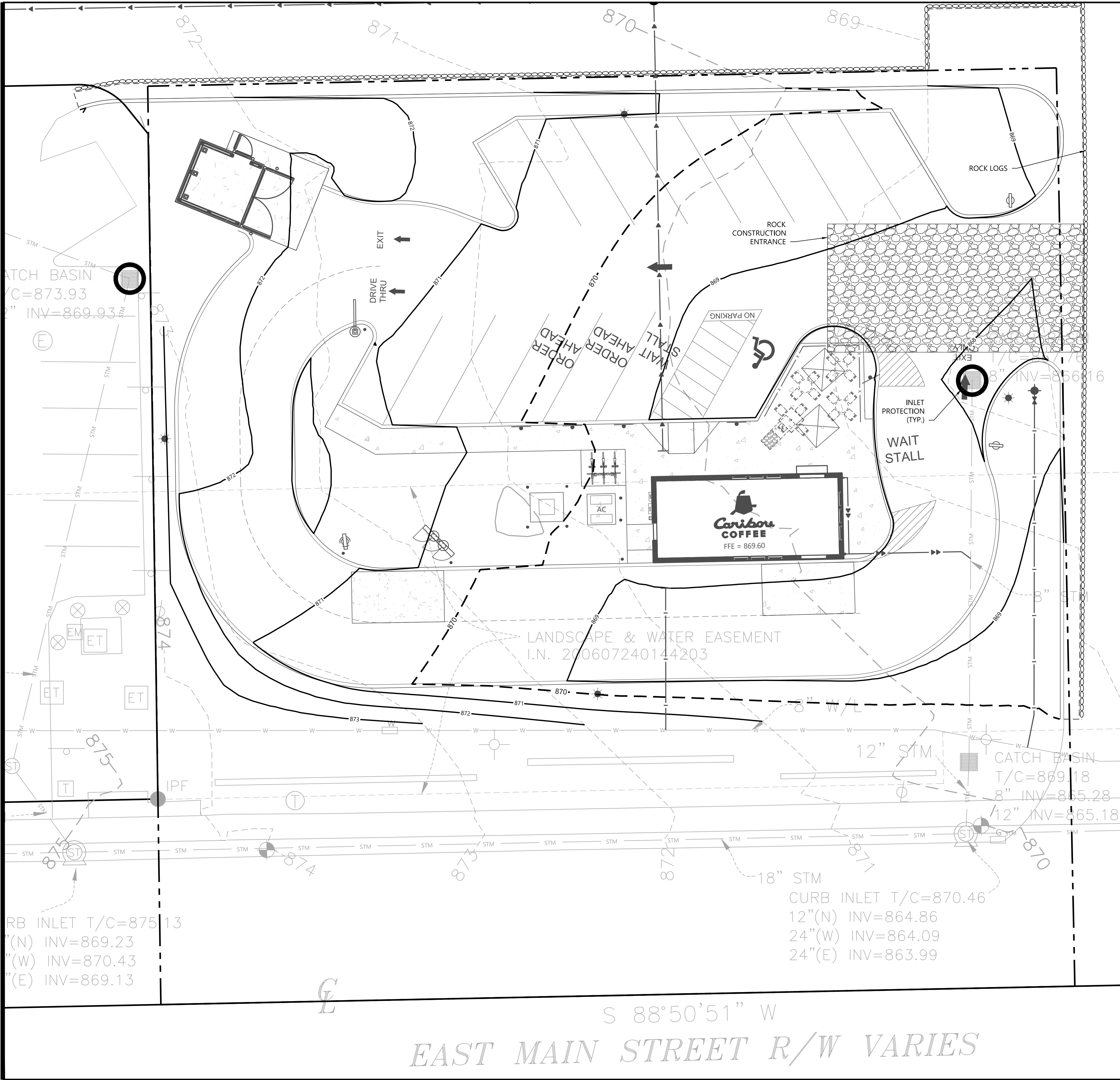
Westwood
12701 Winthrop Drive, Suite #200
Mimontok, MN 55343
westwoodps.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

SITE PLAN

SHEET NUMBER:

C200

DATE: 06/30/22
PROJECT NUMBER: 00 Packet Pg. 51



GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		SPOT ELEVATION
		FLOW DIRECTION
		TW=XXXX.XX BW=XXXX.XX
		E.O.F. — x —>
		SOIL BORING LOCATION
		ROCK CONSTRUCTION ENTRANCE
		INLET PROTECTION

Call 48 Hours before digging:
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Common Ground Alliance

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE OHIO DOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH OHIO DOT REQUIREMENTS.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 1" = 10'	
VERTICAL SCALE: 2" = 1'	

PREPARED FOR:
REPRISE DESIGN, INC.
12400 PORTLAND AVENUE SOUTH
BURNSVILLE, MN 55337

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DAN BECKMANN
DATE: 06/30/22 LICENSE NO. 77712

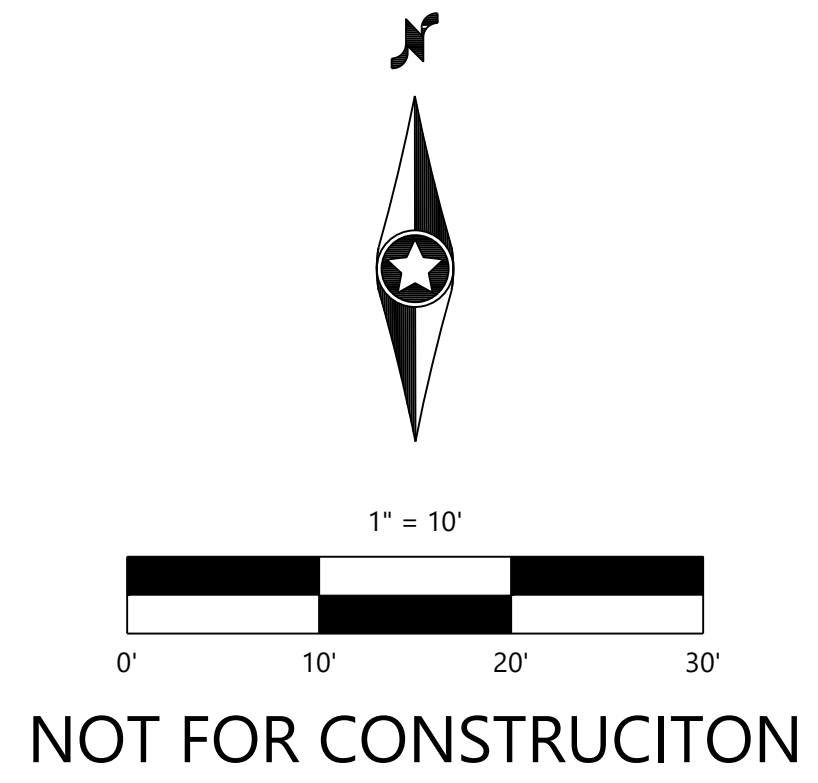
CARIBOU COFFEE
REYNOLDSBURG, OH

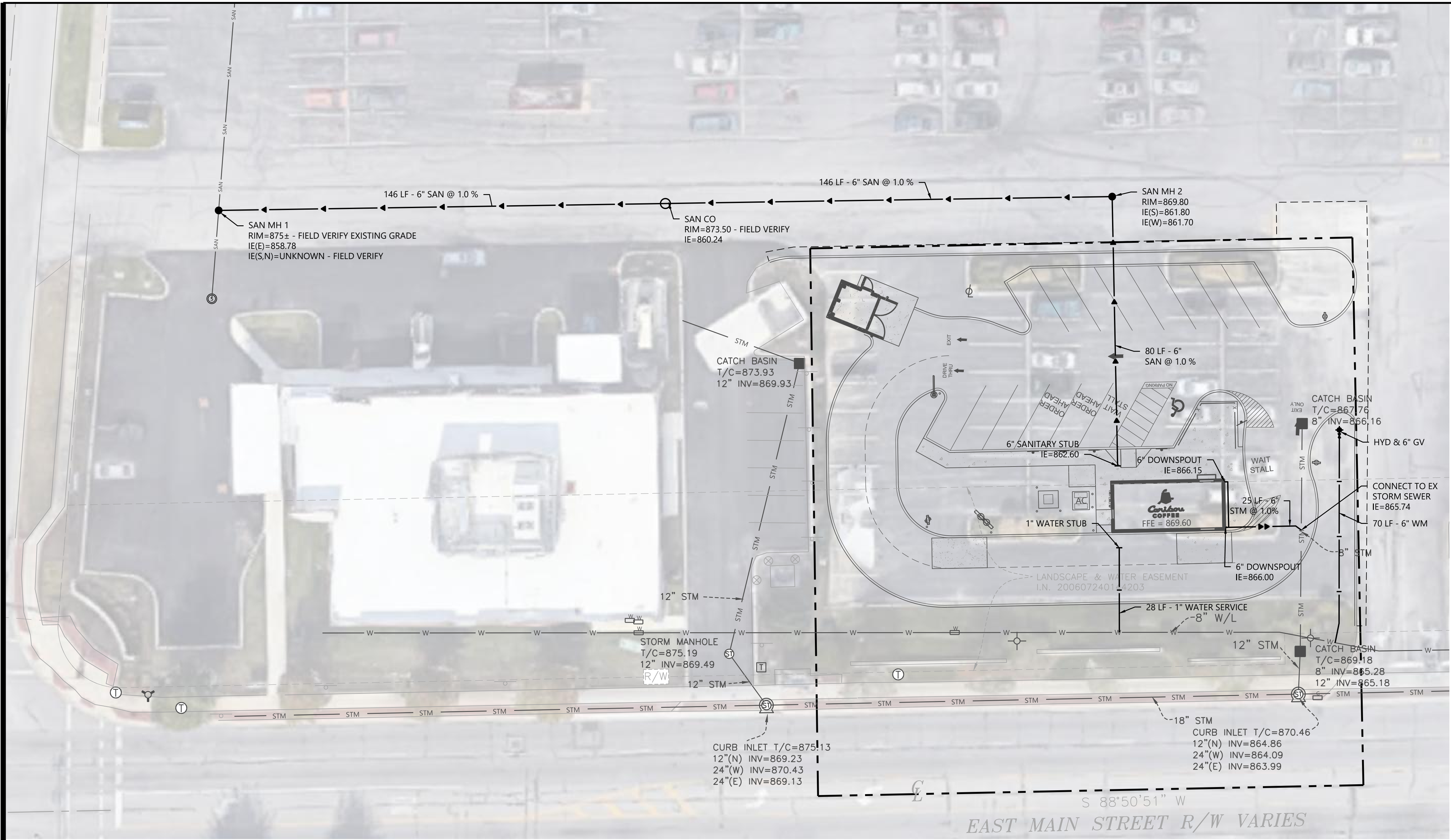
Westwood
12701 Winthrop Drive, Suite #300
Mimontok, MN 55343
westwoodps.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C300

DATE: 06/30/22
PROJECT NUMBER: 00 Packet Pg. 52





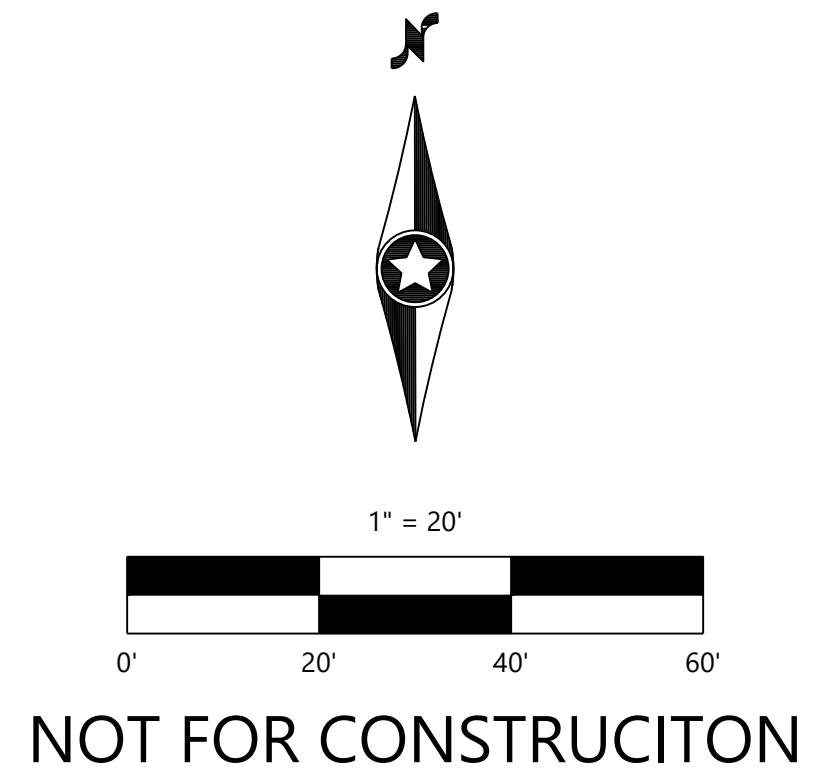
UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

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GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS AND OHIO PLUMBING CODE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 7' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO OHIO PLUMBING CODE.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10-FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY OHIO PLUMBING CODE. STORM SEWER LOCATED WITHIN 10-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER OHIO PLUMBING CODE.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER OHIO RULES.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



C-1.g

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 20'
 VERTICAL SCALE: 4" = 2'

INITIAL ISSUE: _____
 REVISIONS: _____

06/30/22

PREPARED FOR:
REPRISE DESIGN, INC.
 12400 PORTLAND AVENUE SOUTH
 BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF OHIO.

DAN BECKMANN
 DATE: 06/30/22 LICENSE NO. 77712

CARIBOU COFFEE
 REYNOLDSBURG, OH

Westwood
 12701 Winthrop Drive, Suite #300
 Minnetonka, MN 55343
 Phone: (888) 937-5150
 Fax: (888) 937-5150
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

Attachment: Caribou Cabin_Reynoldsburg_Combined SPA Drawings (App# 2022-5271 (Setbacks), Briarcliff and Main, Schatz)

UTILITY PLAN

SHEET NUMBER:
C500

DATE: 06/30/22
 PROJECT NUMBER: 00 Packet Pg. 53



MALEAH M. MILLER
 ARCHITECT
 I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

NOT FOR CONSTRUCTION
PRELIMINARY
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
 DT. LEFT CABIN
 MAIN & BRIARCLIFF, REYNOLDSBURG, OH 43068
LANDSCAPE PLAN

Caribou Coffee Company
 3900 Lakebreeze Ave N
 Brooklyn Center, MN 55429

DATE ISSUED: _____
 SITE PLAN APPROVAL: 06-30-2022

DRAWN BY: **MM**
 CHECKED BY: **MM**
 JOB NO.: **22065**
 PROJECT LOCATION:
 REYNOLDSBURG, OH

L-1

LANDSCAPE REQUIREMENTS

- PER CITY OF REYNOLDSBURG, OH - SECTION 1105.07, LANDSCAPING & BUFFERING REQUIREMENTS
- G - STREET TREE REQUIREMENTS**
- N/A - STREET TREES EXIST ALONG E. MAIN STREET
- H - INTERIOR LOT LANDSCAPING**
- ALL COMMERCIAL IMPERVIOUS AREA UP TO 20,000 SF: ONE INCH TRUNK DIAMETER PER 2,000 SF WITH A MINIMUM OF 2" DIA.
- I - PROPERTY BUFFER REQUIREMENTS**
- N/A - ADJACENT PROPERTY IS THE SAME ZONING
- J - PARKING AREA LANDSCAPE STANDARDS**
- FOR EVERY 10 PARKING SPACES A 200 SF MIN. LANDSCAPE ISLANDS REQUIRED.
 - PERIMETER LANDSCAPING SHALL CONSIST OF A CONTINUOUS EVERGREEN HEDGE TO PROVIDE A CONTINUOUS OPAQUE SCREEN, 36" HT MIN; AND 1 DECIDUOUS TREE PER 50 LF OF PARKING PERIMETER.

SITE DATA

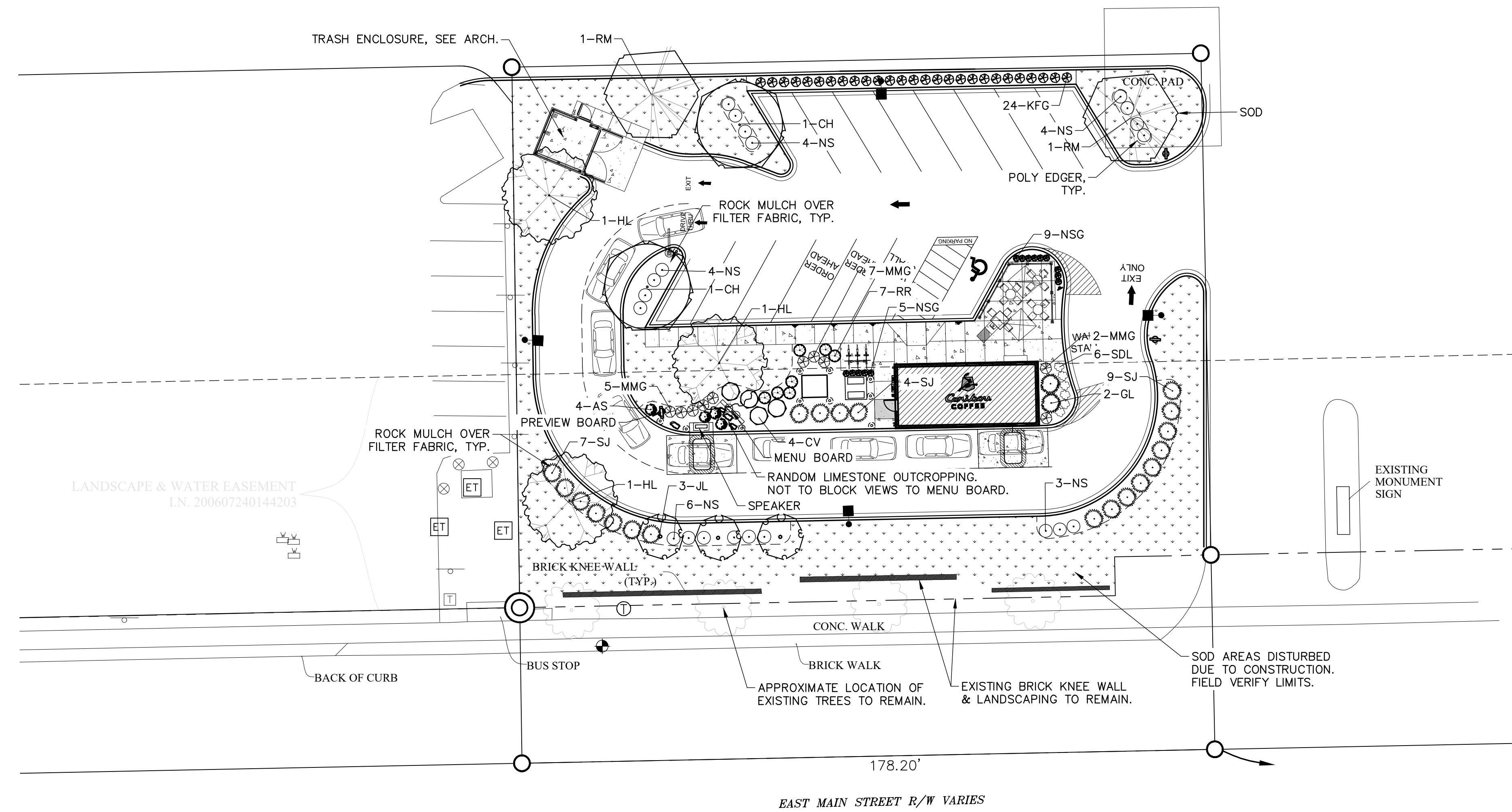
ZONING	= EMD (E. MAIN ST. DISTRICT)
BUILDING GFA	= 605 SF
E. MAIN STREET	= 178.20 LF
PARKING STALLS	= 15

REQUIRED LANDSCAPE:

	REQ	PROV
INTERIOR LOT LANDSCAPING		
• 15,000 SF / 2,000 SF = 7.5'; 7.5' / 2.5 = 3	3	3*
• SHADE TREE		
PARKING AREA LANDSCAPE ISLANDS 200 SF MIN.		
• ONE TREE, 2" DIA. / ISLAND	2	2
• 4 SHRUBS / ISLAND	8	8
PARKING LOT PERIMETER LANDSCAPE		
• 1 DECIDUOUS TREE / 50 LF (NORTH: 85' / 50= 1.7)	2	2
(SOUTH 150' / 50=3)	3	3

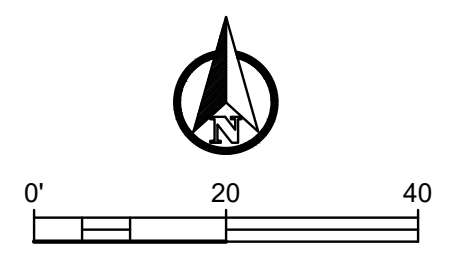
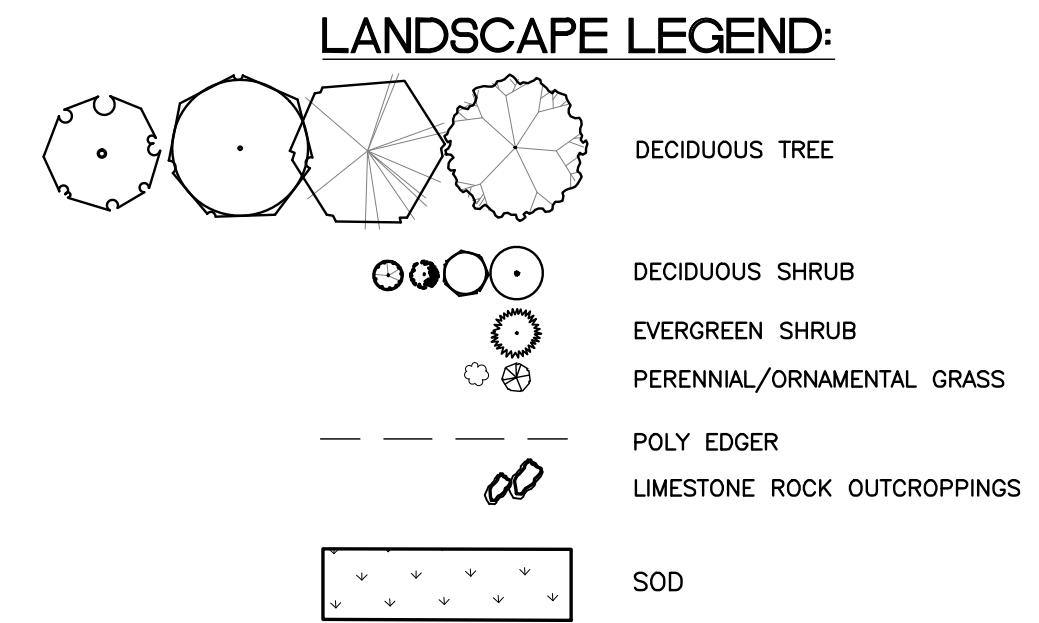
NOTE:
 2.5" DIA. TREE PROVIDED.

REYNOLDSBURG CENTER
 LIMITED PARTNERSHIP
 PARCEL 1
 11.464 ACRES
 I.N. 201206290093504



LANDSCAPE SCHEDULE:

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE / ROOT TYPE	MATURE HEIGHT & WIDTH	NOTES
DECIDUOUS TREES					
2	CH Common Haackberry	Celtis occidentalis	2" cal. B&B	50'-75' x 50'	Straight Trunk, No V-Crotch
2	RM Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" cal. B&B	50' x 40'	Straight Trunk, No V-Crotch
3	HL Imperial Honeylocust	Gleditsia triacanthos var. inermis	2.5" cal. B&B	30' x 30'	Straight Trunk, No V-Crotch
3	JL Snow Cap Japanese Tree Lilac	Syringa reticulata 'Snow Cap'	2" cal. B&B	25' x 25'	Straight Trunk, No V-Crotch
10	TOTAL				
SHRUBS					
7	RR Carefree Wonder Shrub Rose	Rosa 'MEIpatac'	3 gal. cont. (18" ht min)	3'-4' x 3'-4'	Min. 5 canes at ht. spec.
4	AS Alpine Spiraea	Spiraea japonica 'Alpine'	3 gal. cont. (9"-12" ht)	12-15" x 2'-3'	Min. 5 canes at ht. spec.
21	NF Neon Flash Spiraea	Spiraea japonica 'Neon Flash'	3 gal. cont. (24" ht)		Min. 5 canes at ht. spec.
4	CV Compact European Viburnum	Viburnum opulus 'Compactum'	5 gal. cont. (24")	5'-6' x 5'-6'	Min. 5 canes at ht. spec.
2	GL Gold Lace Juniper	Juniperus chinensis 'Gold Lace'	5 gal. cont. (2' min)	4' x 6'	Min. 5 canes at ht. spec.
20	SJ Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 gal. cont. (24")	4'-6' x 4'-6'	Min. 5 canes at ht. spec.
58	TOTAL				
ORNAMENTAL GRASSES					
14	NSG Northwind Switch Grass	Panicum virgatum 'Norhtwind'	1 gal. cont. (12" ht x 12")	48" x 18"	
24	KFG Karl Foerster Grass	C. x acutiflora 'Karl Foerster'	1 gal. cont.	48" x 30"	
8	MMG Maiden grass	Miscanthus sinensis 'Graziella'	1 gal. cont.	60" x 36"	
6	SDL Stella De Oro Daylily	Hemerocallis 'Stella de Oro'	1 gal. cont.		
52	TOTAL				



C:\MALEAH\CARIBOU\REYNOLDSBURG, OH\LANDSCAPE PLAN\REYNOLDSBURG, OH\LANDSCAPE PLAN-2436.DWG ### 6/27/2022

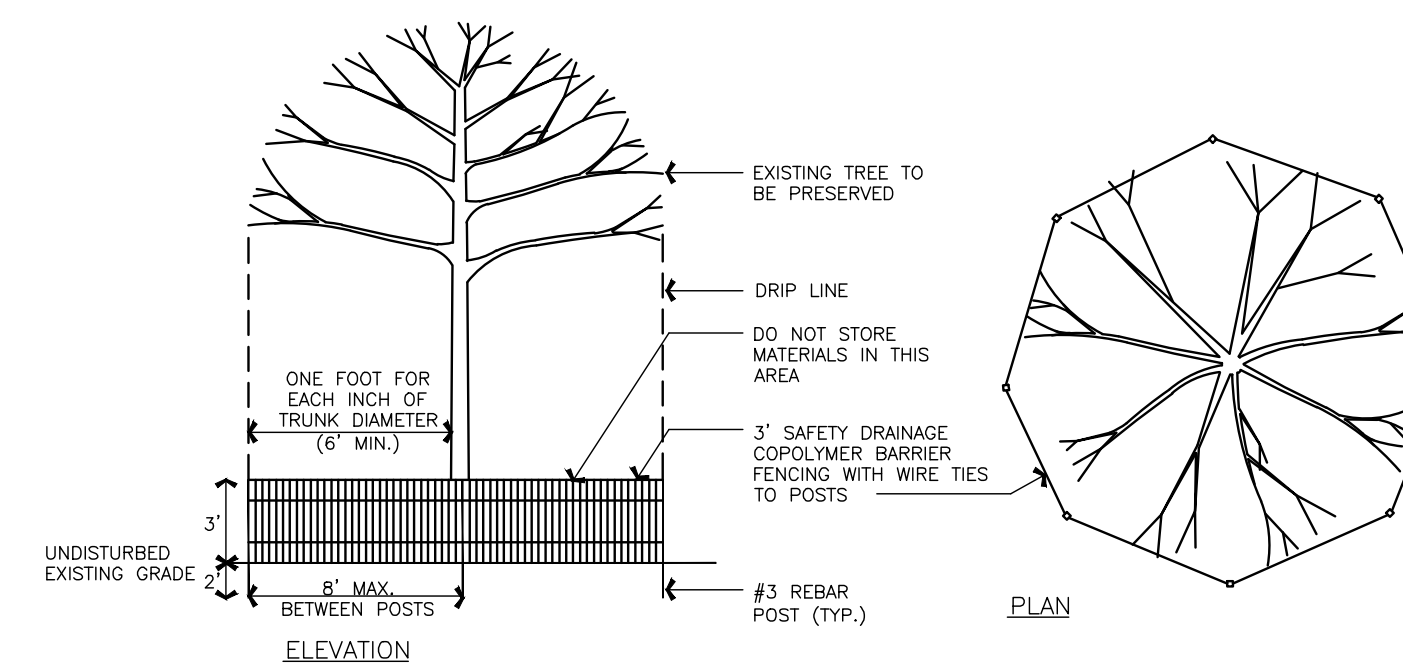
811 Know what's below.
 Call before you dig.
 Dial 811

LANDSCAPE NOTES

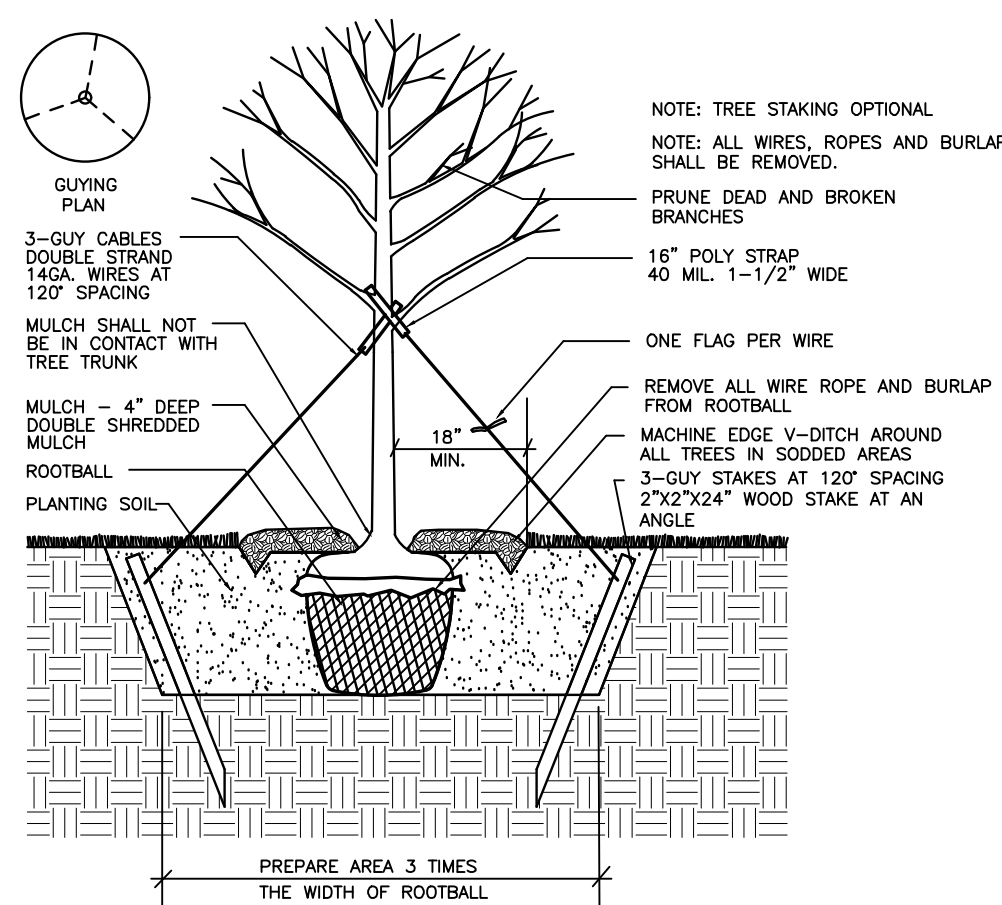
1. LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
2. CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UNDERGROUND FACILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTACT STATE ONE, DIAL 811 OR (800) 242-8511 TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
3. INSTALL 4" MIN. BLACK DIRT TO ALL SOD AND SHRUB AREAS. CONTRACTOR RESPONSIBLE FOR FINE GRADING OF SOD AREAS. PROVIDE 12" PLANTING SOIL FOR ALL PERENNIAL AREAS.
4. CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
5. ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF BUFF LIMESTONE ROCK MULCH, OVER FILTER FABRIC. POLY-EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
6. INSTALL 4-6" DEPTH DOUBLE SHREDDED HARDWOOD MULCH, 3"-6" FROM BASE OF THE TREES THAT ARE ISOLATED FROM PLANT BEDS. DO NOT PILE MULCH AGAINST THE BASE OF A PLANT OR TREE TRUNK; PULL THE MULCH AWAY FROM THE BASE ONE TO TWO INCHES.
7. PLANTING SOIL SHALL CONSIST 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
8. CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR (12 MONTHS) BEGINNING AT THE DATE OF BUILDING PERMIT WAS APPROVED PER CITY REQUIREMENT. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
9. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
10. THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
11. ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
12. ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
13. LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN ALL PLANT MATERIALS AND SOD UNTIL INITIAL ACCEPTANCE.
14. REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
15. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL.
16. CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL LANDSCAPE AREAS PRIOR TO ANY PLANT INSTALLATION.
17. LANDSCAPE CONTRACTORS TO COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
18. STAKING AND GUYING OF TREES OPTIONAL: LANDSCAPE CONTRACTOR SHALL MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
19. SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
20. CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR SHRUB BEDS, SOD, PLANTING AREAS AND ALL GREEN SPACE. THE SOD AND PLANTING AREAS TO BE ON SEPARATE ZONES WITH RAIN SENSORS. USE RAINBIRD OR APPROVED EQUAL. COORDINATE WITH PROPERTY OWNER. PROVIDE RAIN SENSOR.
21. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN SHALL GOVERN.
22. WHEN PLANTING TREES ALL WIRE, ROPES AND BURLAP SHALL BE REMOVED.

SOIL PREPARATION:

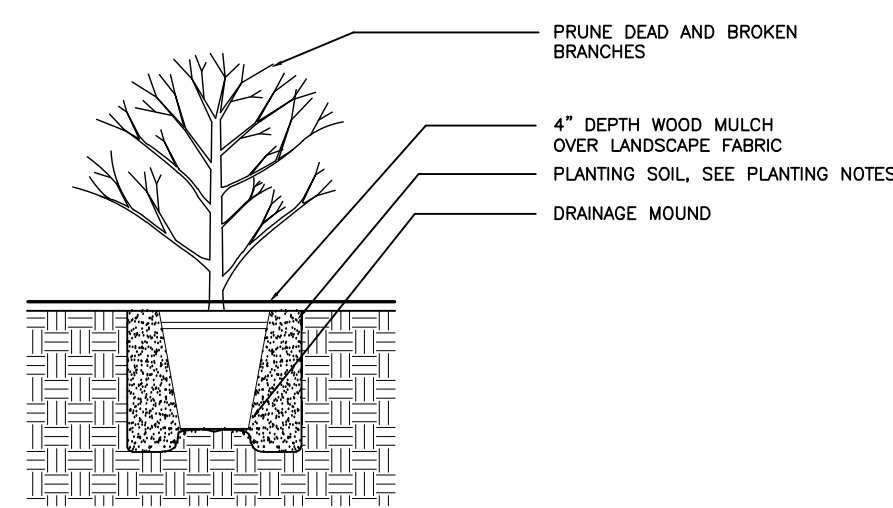
1. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
2. CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OR RIPPING TO DEPTH OF 6-8" MINIMUM AND PREFERABLE A DEPTH OF 12-18". DE-COMPACTION OF SMALL PLANTER AREAS, SUCH AS THOSE IN PARKING LOT AREAS, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY WITH REQUIRED AMENDMENTS. ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
3. WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER.
4. AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SUCH AS FERTILIZER IMPROVE NUTRIENT CONTENT AND SULFUR ADJUSTS THE SOIL PH LEVEL. SULFUR SHALL BE INCORPORATED AT THE RATE OF ONE POUND OF SULFUR PER 100 SQUARE FEET.
5. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.



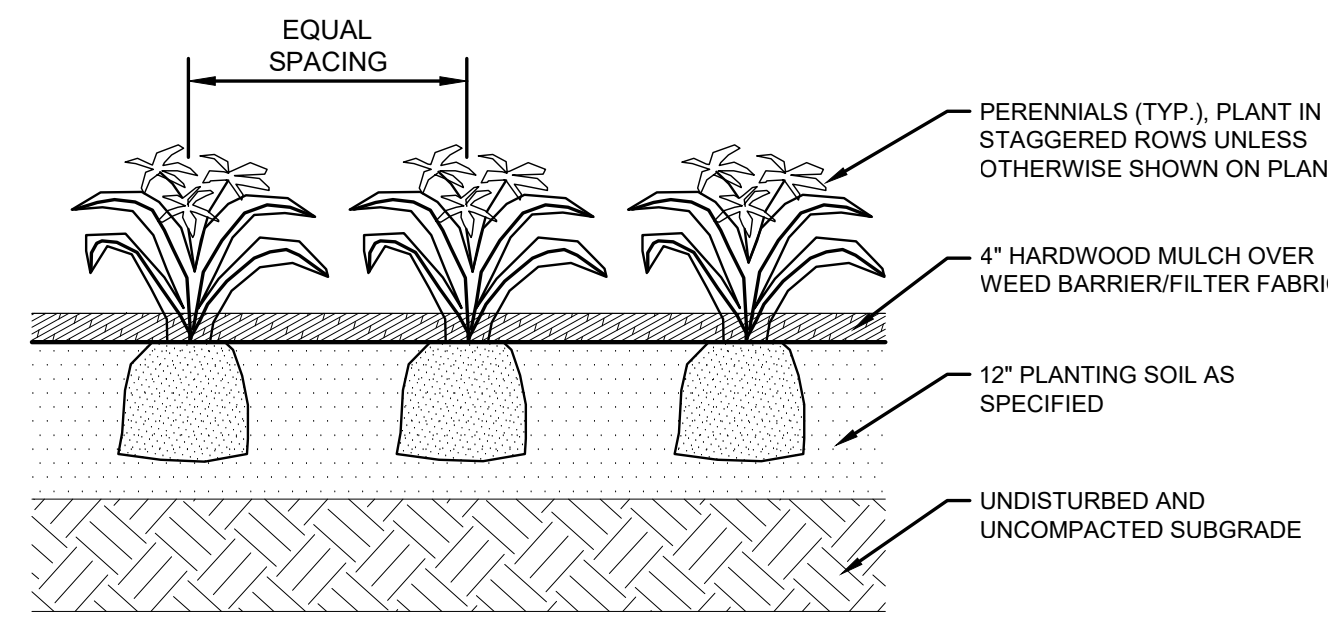
4 TREE PROTECTION DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE



2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 PERENNIAL PLANTING DETAIL
NOT TO SCALE



MALEAH M. MILLER
LANDSCAPE ARCHITECT

I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA.

MALEAH MILLER, PLA
Date: 19507 License No.

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PRELIMINARY
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT LEFT CABIN
MAIN & BRIARCLIFF, REYNOLDSBURG, OH 43068

DETAILS & NOTES



Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429

DATE ISSUED
SITE PLAN APPROVAL 06-30-2022

DRAWN BY MM
CHECKED BY MM
JOB NO. 22065
PROJECT LOCATION:

REYNOLDSBURG, OH



Know what's below.
Call before you dig.
Dial 811

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	BHS		4	Lithonia Lighting	RSX1 LED P3 40K R4 HS	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	1	10322	0.9	109.442	 Max: 6929cd

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking and Drives	✕	2.4 fc	4.5 fc	1.0 fc	4.5:1	2.4:1
Site	+	1.3 fc	4.5 fc	0.0 fc	N/A	N/A

RSX1 LED Area Luminaire

Specifications
 EPA (ft²/ft²): 0.57 ft² (0.05 m²)
 Length: 21.8" (55.4 cm) (SPA mount)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 Weight (SPA mount): 22.0 lbs (10.0 kg)

Introduction
 The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.
 The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral splitter and other mounting configurations are available.

Ordering Information **EXAMPLE:** RSX1 LED P4 40K R3 MVOLT SPA DDBXD

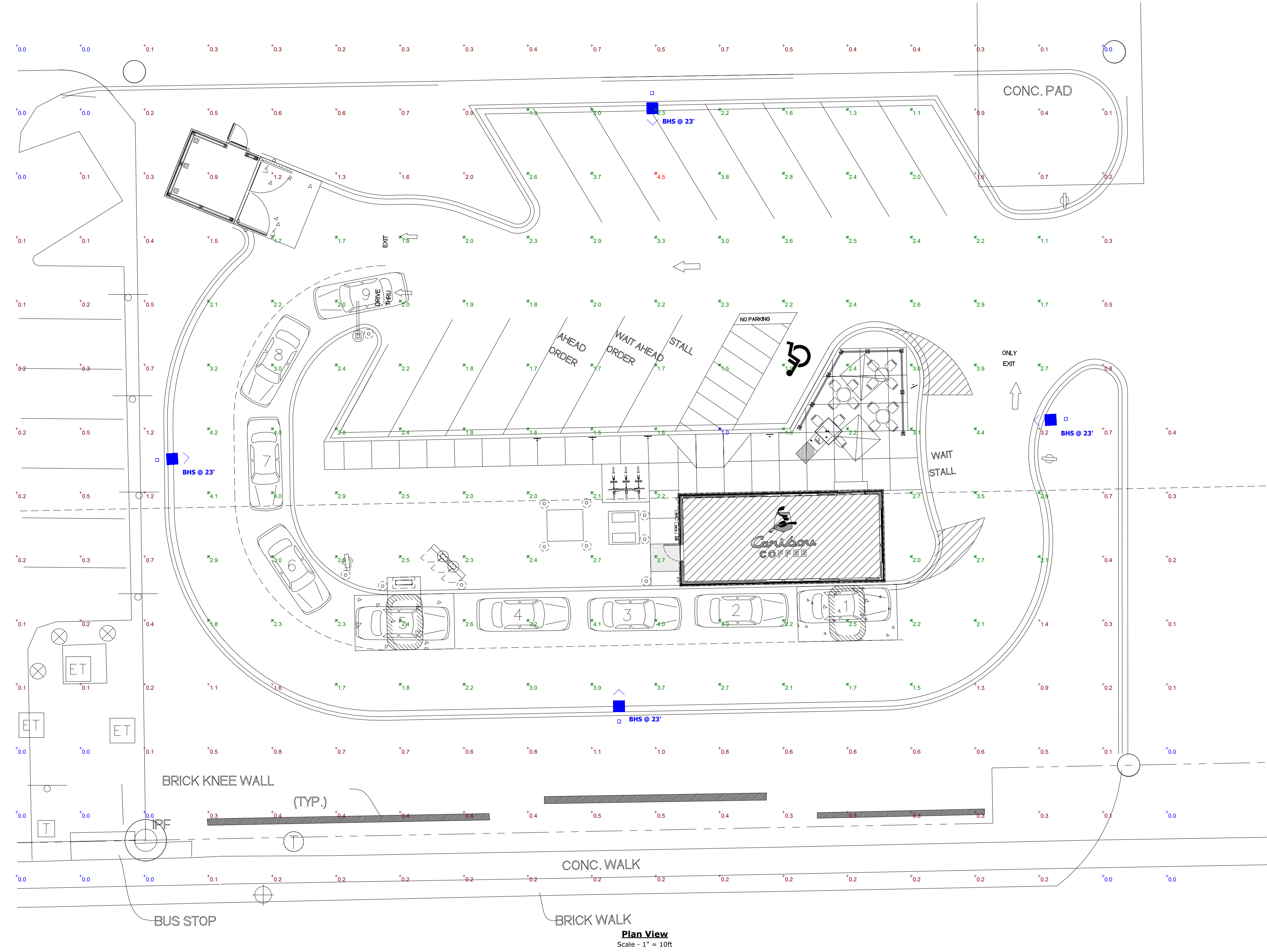
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	300K	R2	Type 2 Wall
	P2	40K	300K	R3	Type 3 Wall
	P3	50K	300K	R4	Type 4 Wall
	P4	50K	300K	R5	Type 5 Wall
					Type 6 Wall
					Type 7 Wall
					Type 8 Wall
					Type 9 Wall
					Type 10 Wall
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					Type 49 Wall
					Type 50 Wall

Options

Option	Description	Shipped Separately	Part Number
IS	Interior side shield	Shipped Separately	IS00
PI	Phosphor coating option	Shipped Separately	PI00
PL	Phosphor coating (adjustable)	Shipped Separately	PL00
PR	Phosphor coating (adjustable)	Shipped Separately	PR00
Q14	Quad-core LED (Q14)	Shipped Separately	Q140
S	Single core LED (S)	Shipped Separately	S00
SP	Single core LED (SP)	Shipped Separately	SP00
SP200V	200V Single core LED (SP200V)	Shipped Separately	SP200V00
ISO	Interior side shield	Shipped Separately	ISO0
ISOV	Interior side shield (V)	Shipped Separately	ISOV00
ISOV2	Interior side shield (V2)	Shipped Separately	ISOV200
ISOV3	Interior side shield (V3)	Shipped Separately	ISOV300
ISOV4	Interior side shield (V4)	Shipped Separately	ISOV400
ISOV5	Interior side shield (V5)	Shipped Separately	ISOV500
ISOV6	Interior side shield (V6)	Shipped Separately	ISOV600
ISOV7	Interior side shield (V7)	Shipped Separately	ISOV700
ISOV8	Interior side shield (V8)	Shipped Separately	ISOV800
ISOV9	Interior side shield (V9)	Shipped Separately	ISOV900
ISOV10	Interior side shield (V10)	Shipped Separately	ISOV1000
ISOV11	Interior side shield (V11)	Shipped Separately	ISOV1100
ISOV12	Interior side shield (V12)	Shipped Separately	ISOV1200
ISOV13	Interior side shield (V13)	Shipped Separately	ISOV1300
ISOV14	Interior side shield (V14)	Shipped Separately	ISOV1400
ISOV15	Interior side shield (V15)	Shipped Separately	ISOV1500
ISOV16	Interior side shield (V16)	Shipped Separately	ISOV1600
ISOV17	Interior side shield (V17)	Shipped Separately	ISOV1700
ISOV18	Interior side shield (V18)	Shipped Separately	ISOV1800
ISOV19	Interior side shield (V19)	Shipped Separately	ISOV1900
ISOV20	Interior side shield (V20)	Shipped Separately	ISOV2000
ISOV21	Interior side shield (V21)	Shipped Separately	ISOV2100
ISOV22	Interior side shield (V22)	Shipped Separately	ISOV2200
ISOV23	Interior side shield (V23)	Shipped Separately	ISOV2300
ISOV24	Interior side shield (V24)	Shipped Separately	ISOV2400
ISOV25	Interior side shield (V25)	Shipped Separately	ISOV2500
ISOV26	Interior side shield (V26)	Shipped Separately	ISOV2600
ISOV27	Interior side shield (V27)	Shipped Separately	ISOV2700
ISOV28	Interior side shield (V28)	Shipped Separately	ISOV2800
ISOV29	Interior side shield (V29)	Shipped Separately	ISOV2900
ISOV30	Interior side shield (V30)	Shipped Separately	ISOV3000
ISOV31	Interior side shield (V31)	Shipped Separately	ISOV3100
ISOV32	Interior side shield (V32)	Shipped Separately	ISOV3200
ISOV33	Interior side shield (V33)	Shipped Separately	ISOV3300
ISOV34	Interior side shield (V34)	Shipped Separately	ISOV3400
ISOV35	Interior side shield (V35)	Shipped Separately	ISOV3500
ISOV36	Interior side shield (V36)	Shipped Separately	ISOV3600
ISOV37	Interior side shield (V37)	Shipped Separately	ISOV3700
ISOV38	Interior side shield (V38)	Shipped Separately	ISOV3800
ISOV39	Interior side shield (V39)	Shipped Separately	ISOV3900
ISOV40	Interior side shield (V40)	Shipped Separately	ISOV4000
ISOV41	Interior side shield (V41)	Shipped Separately	ISOV4100
ISOV42	Interior side shield (V42)	Shipped Separately	ISOV4200
ISOV43	Interior side shield (V43)	Shipped Separately	ISOV4300
ISOV44	Interior side shield (V44)	Shipped Separately	ISOV4400
ISOV45	Interior side shield (V45)	Shipped Separately	ISOV4500
ISOV46	Interior side shield (V46)	Shipped Separately	ISOV4600
ISOV47	Interior side shield (V47)	Shipped Separately	ISOV4700
ISOV48	Interior side shield (V48)	Shipped Separately	ISOV4800
ISOV49	Interior side shield (V49)	Shipped Separately	ISOV4900
ISOV50	Interior side shield (V50)	Shipped Separately	ISOV5000

Note

- Graybar Electric does not assume responsibility for the interpretation of this calculation, or State and City codes.
- Calculation Points are taken A.F.G.
- Fixtures are mounted on a pole with a 3'-0" base.
- Fixture Type E is an assumption of wattage, type and life cycle.



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PRELIMINARY

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT LEFT CABIN
MAIN AND BRIARCLIFF, REYNOLDSBURG, OH 43068

FLOOR PLAN



Caribou Coffee Company
3900 Laketree Ave N
Brooklyn Center, MN 55429

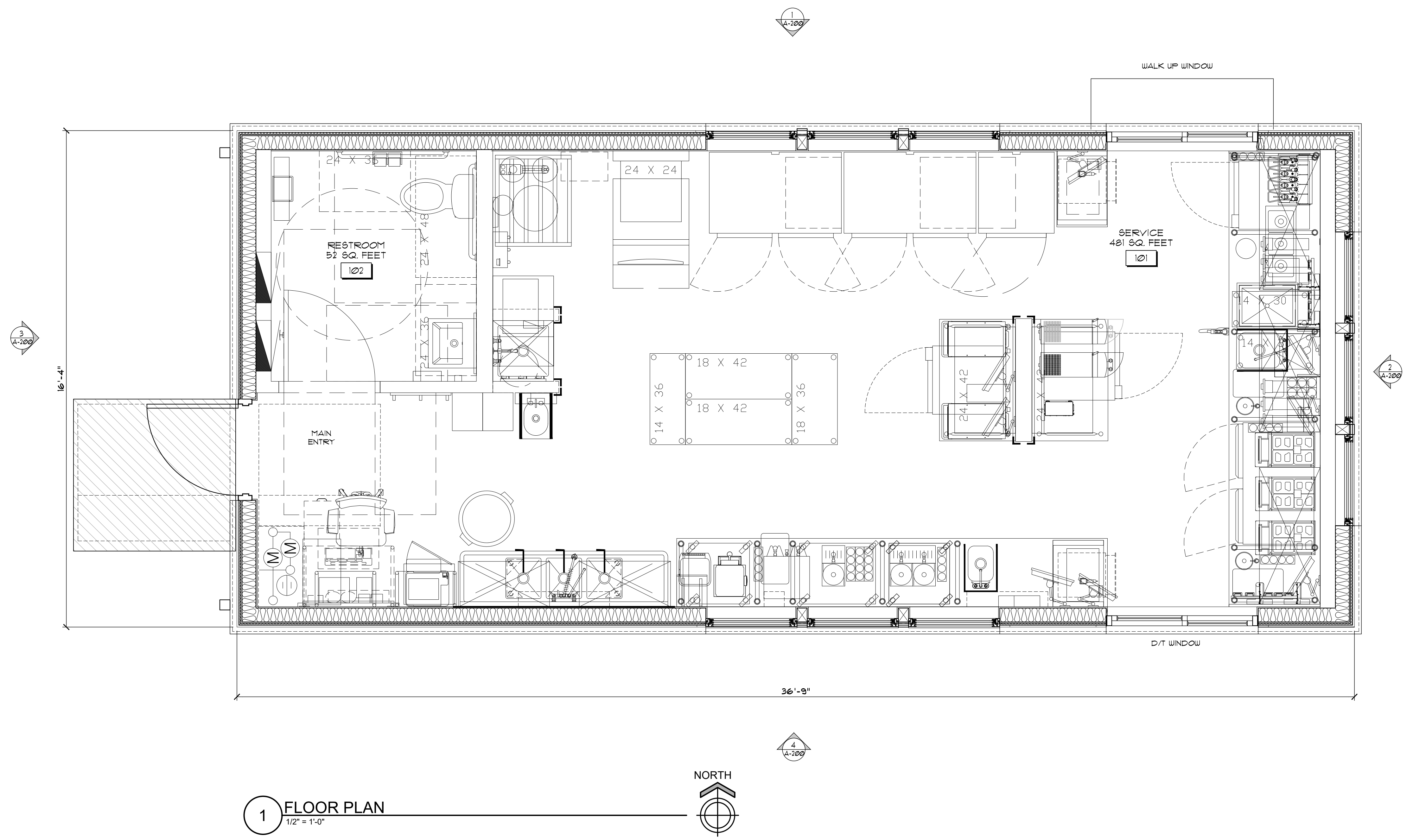
DATE ISSUED
SITE PLAN APPROVAL 06-30-2022

DRAWN BY TB
CHECKED BY CE

JOB NO. 22065
PROJECT LOCATION:

REYNOLDSBURG, OH

A-100



PRELIMINARY
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PRELIMINARY

CARIBOU COFFEE COMPANY
 DRIVE-THRU ONLY STORE
 DT LEFT CABIN
 MAIN AND BRIARCLIFF, REYNOLDSBURG, OH 43068



Caribou Coffee Company
 3900 Lakebreeze Ave N
 Brooklyn Center, MN 55429

DATE ISSUED
 SITE PLAN APPROVAL 06-30-2022

DRAWN BY TB
 CHECKED BY CE
 JOB NO. 22065
 PROJECT LOCATION:
 REYNOLDSBURG, OH

A-200

Attachment: Caribou Cabin_Reynoldsburg_Combined SPA Drawings (Appr 2022-5271 (Sebacks), Briarcliff and Main, Schatz)

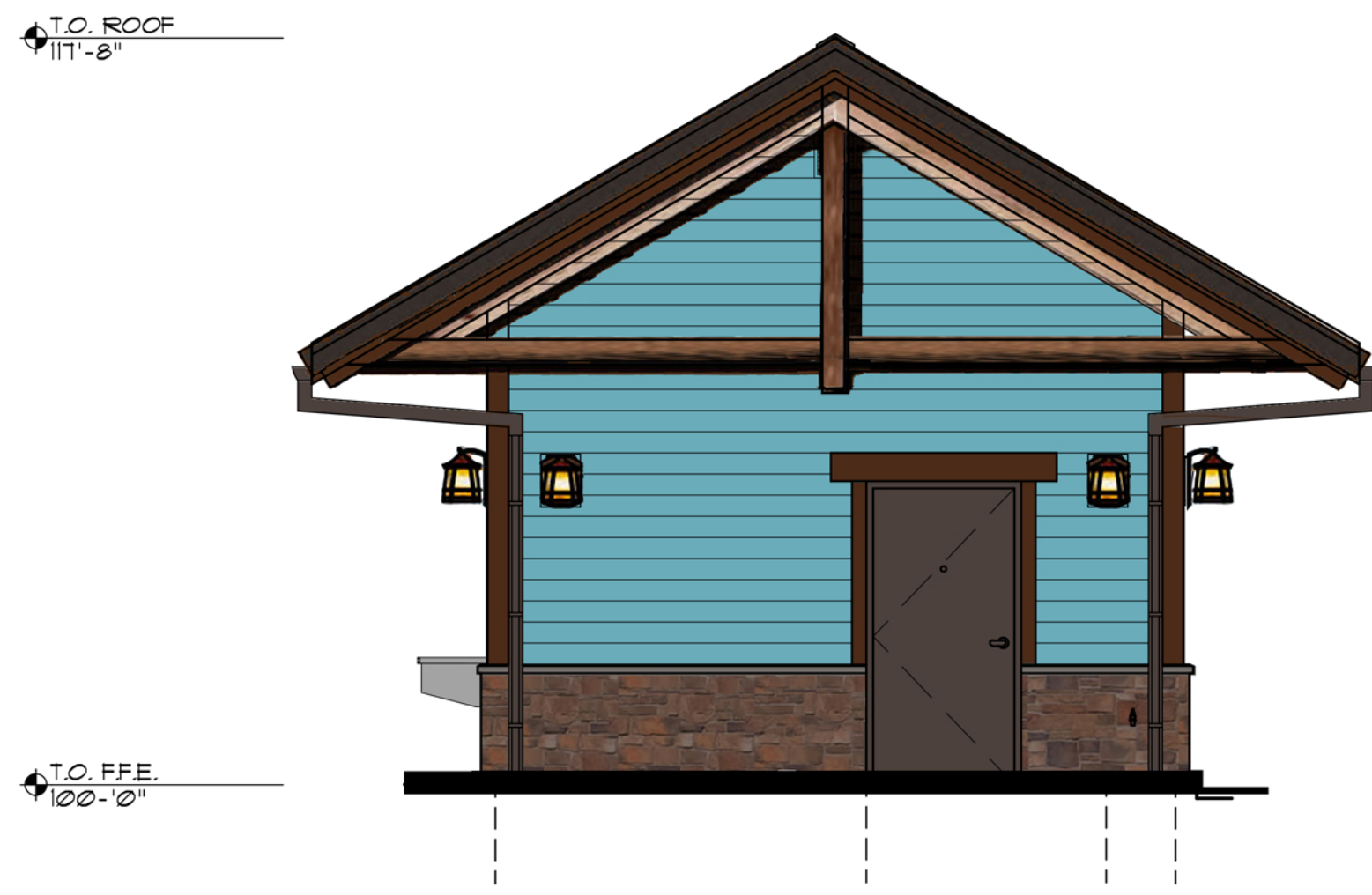


1 SIDE ELEVATION (NORTH)
 1/4" = 1'-0"



2 FRONT ELEVATION (EAST)
 1/4" = 1'-0"

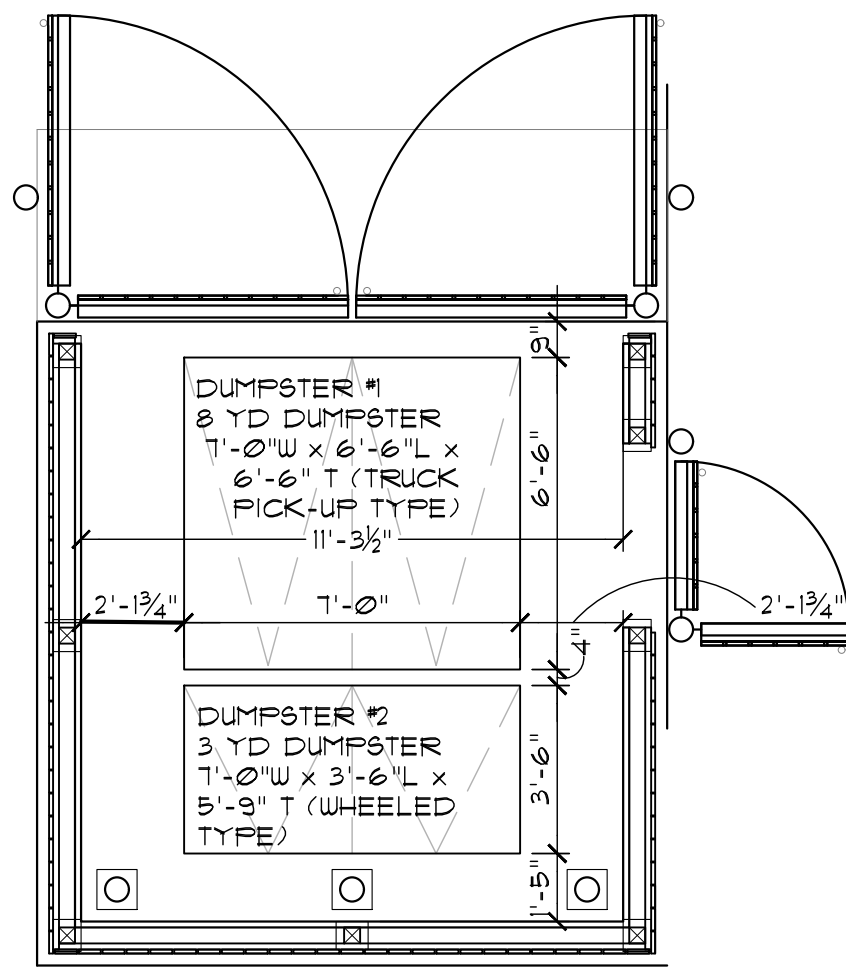
BUILDING MATERIALS LEGEND	
	STONE - CULTURED/MANUFACTURED STONE; ENVIRONMENTAL STONEWORKS STYLE: TUSCAN LEDGESTONE, COLOR: LANTANA. SILL CAP; ENVIRONMENTAL STONEWORKS DRIP LEDGE COLOR: KODIAK
	HARDIE PLANK SIDING - PAINTED 'CLOUDBURST' HARDIE TRIM BOARD AT HORIZONTAL TRANSITION TO SIDING AND SURROUNDING WINDOWS AND DOORS - PAINTED 'BITTERSWEET CHOCOLATE'
	STANDING SEAM METAL ROOFING - COLOR: DARK BRONZE.
	DARK BRONZE STOREFRONT DOORS, WINDOWS, AND HM SERVICE DOORS.
	LIGHT FIXTURES - PROGRESS P5164-86 BURNISHED CHESTNUT WALL LAMPS



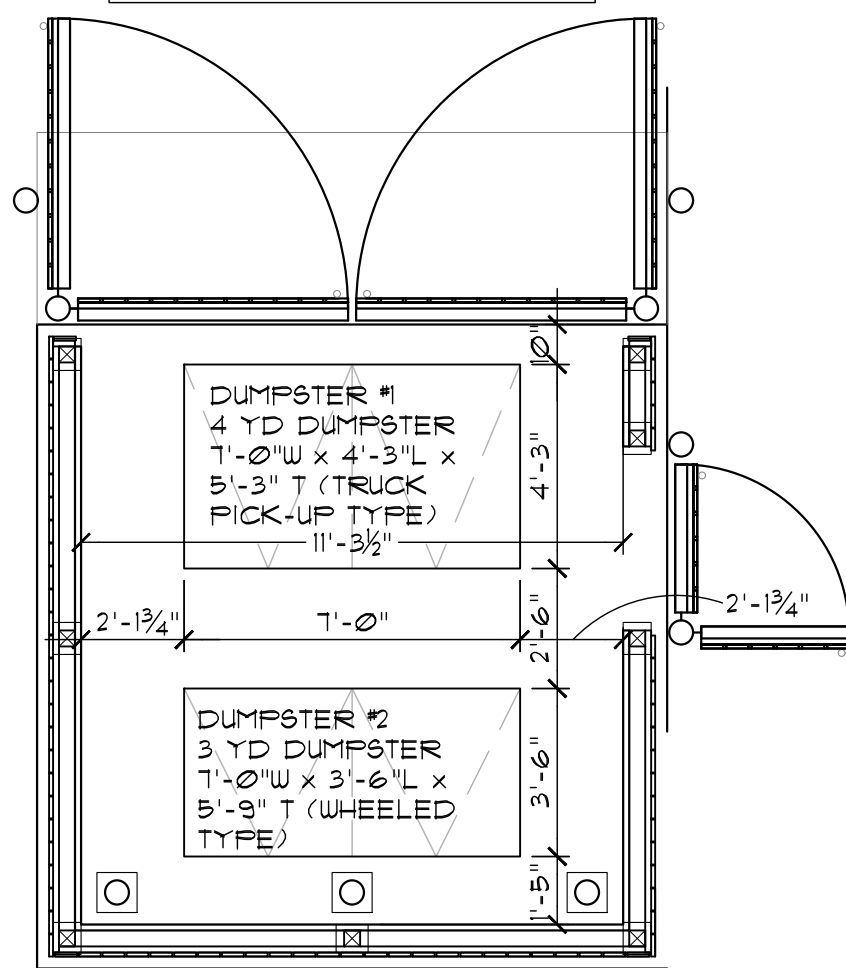
3 REAR ELEVATION (WEST)
 1/4" = 1'-0"



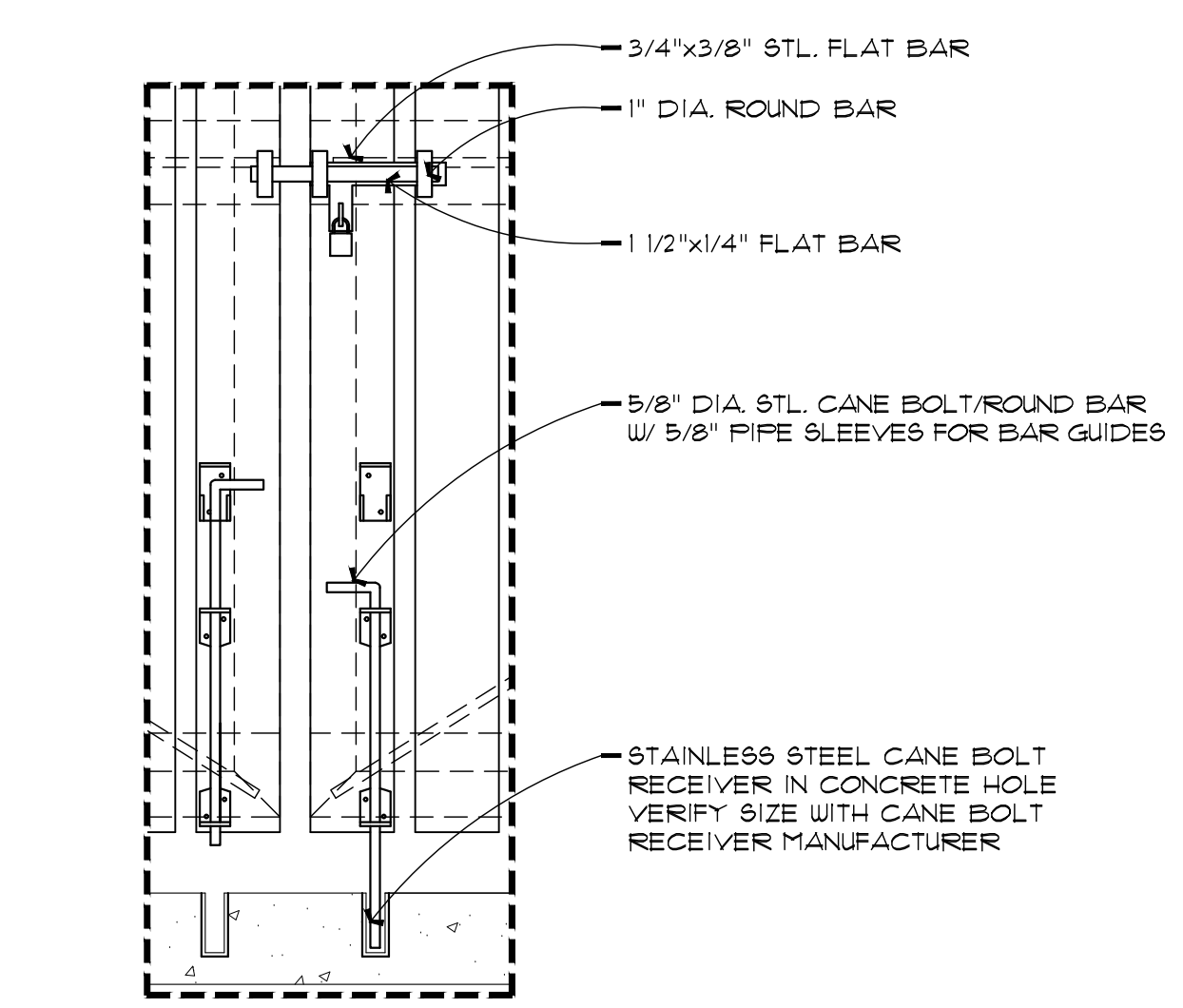
4 SIDE ELEVATION (SOUTH)
 1/4" = 1'-0"



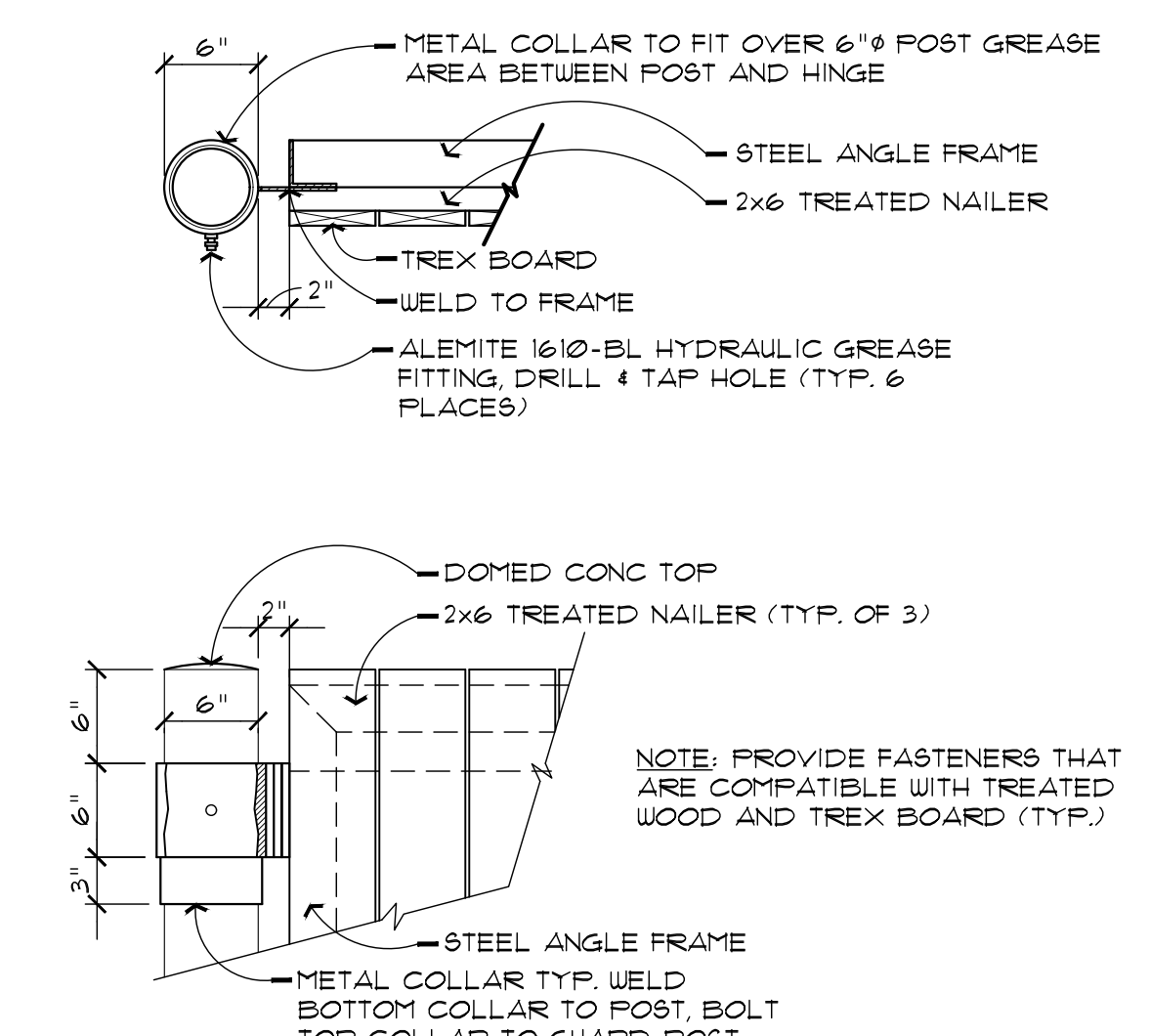
FINAL DUMPSTER TYPE, SIZING AND LAYOUT TO BE DETERMINED WITH OWNER IN COORDINATION WITH LOCAL WASTE COLLECTION COMPANY



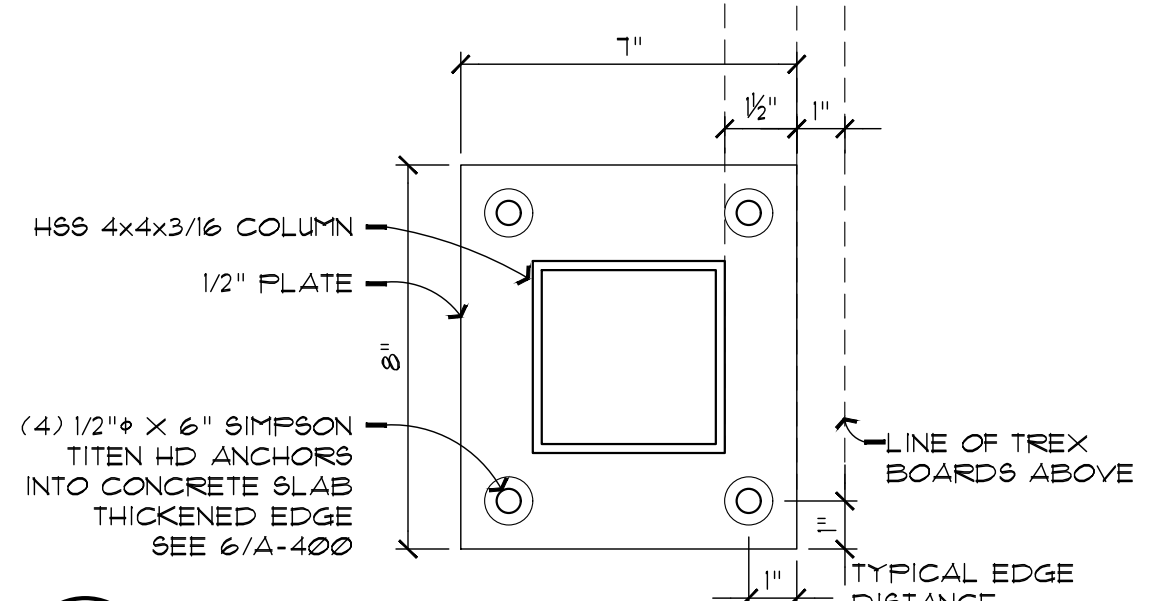
10 EXAMPLE DUMPSTER LAYOUTS
1/4"=1'-0"



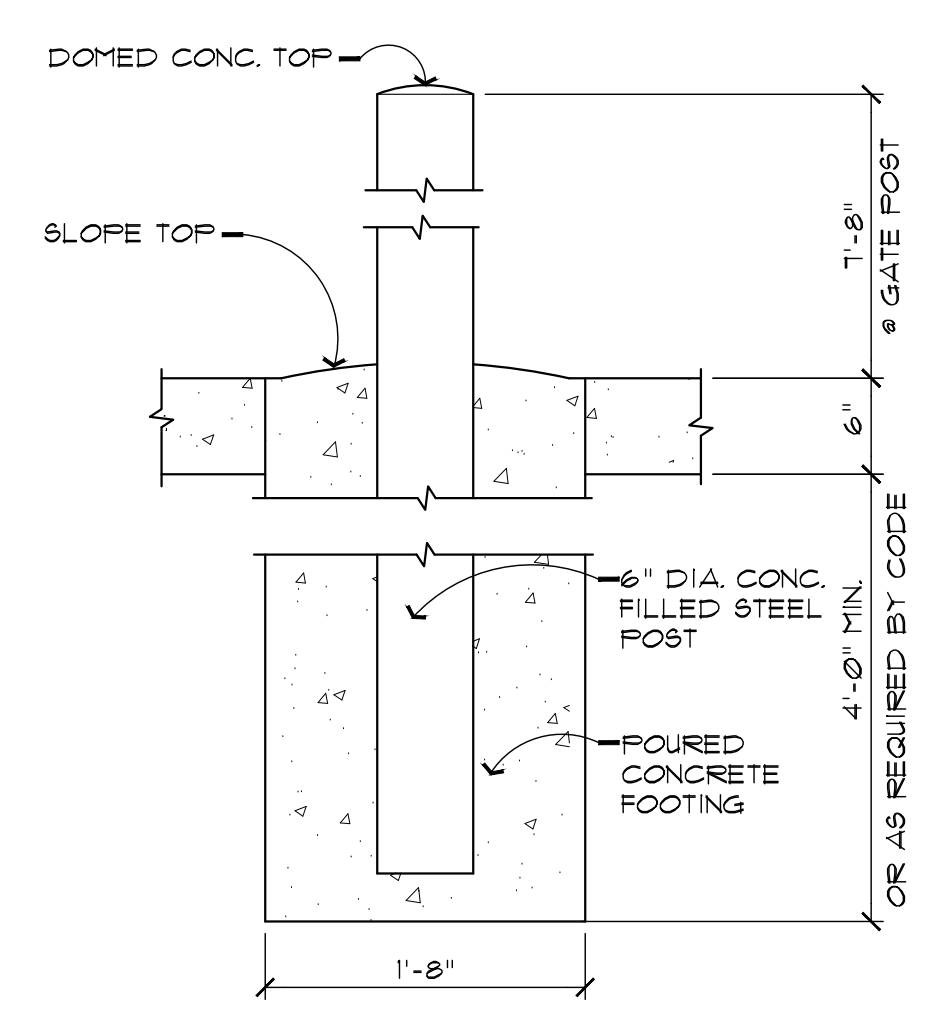
7 LATCH DETAIL
1"=1'-0"



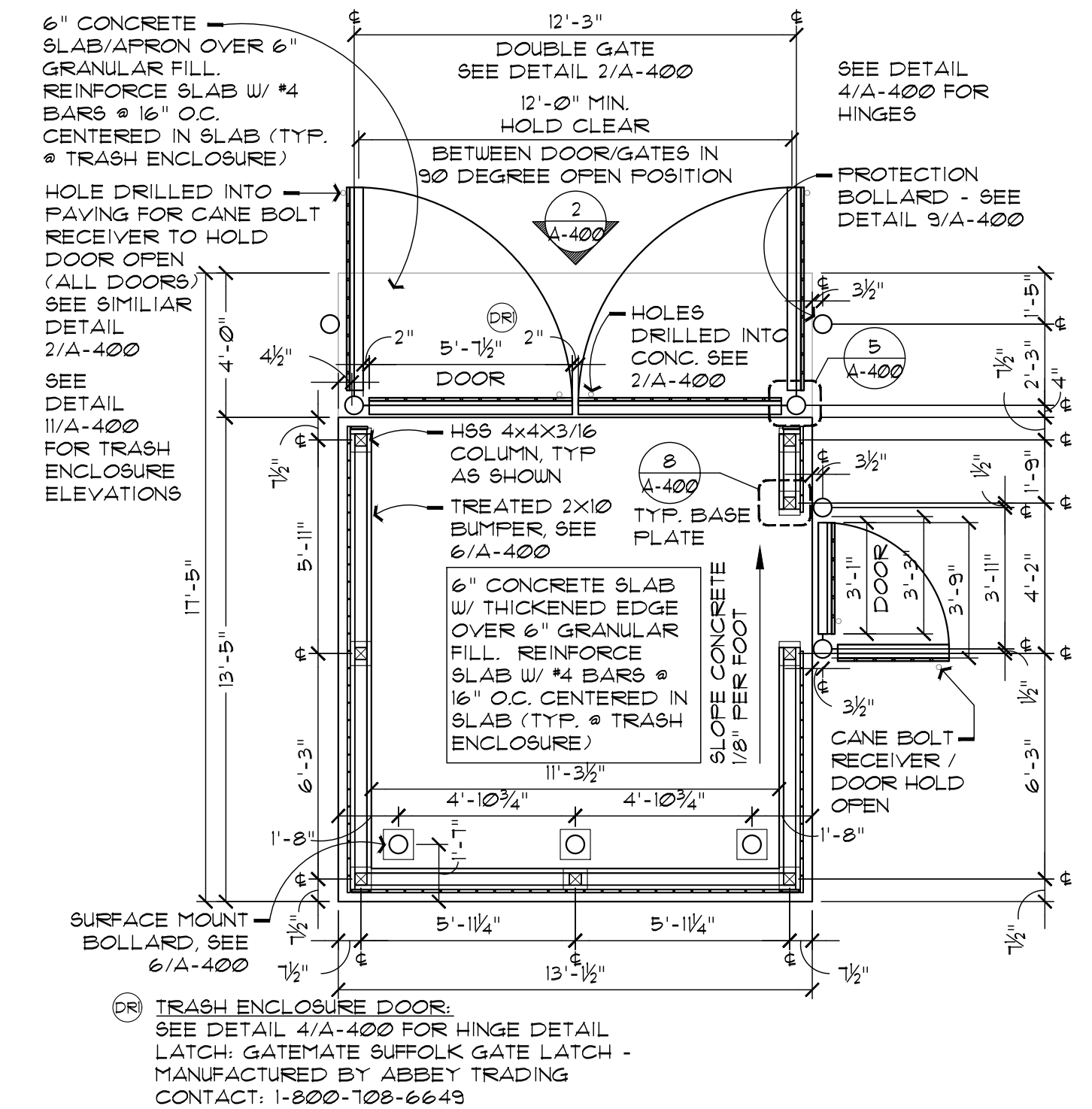
4 HINGE DETAILS
1"=1'-0"



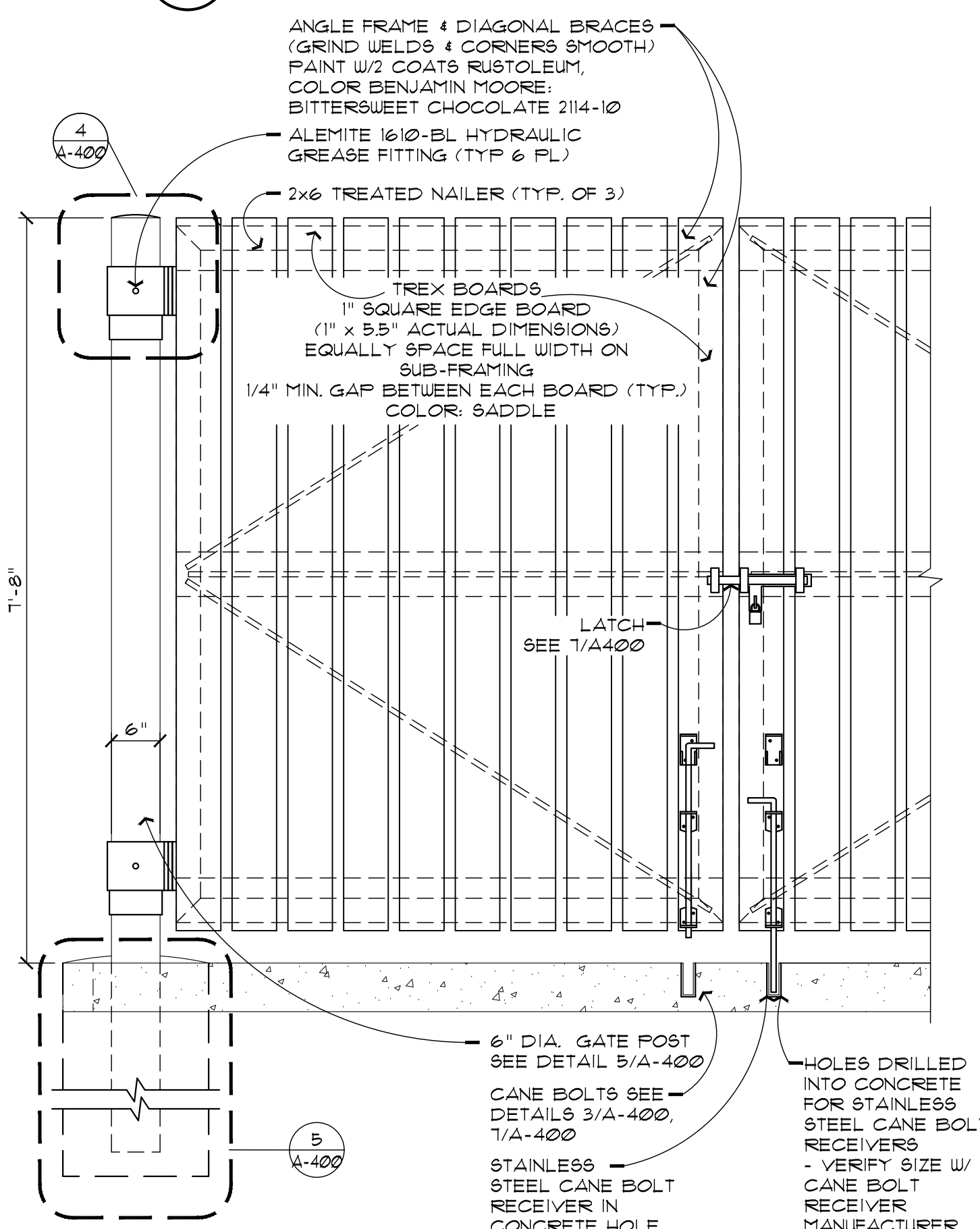
8 BASE PLATE
3"=1'-0"



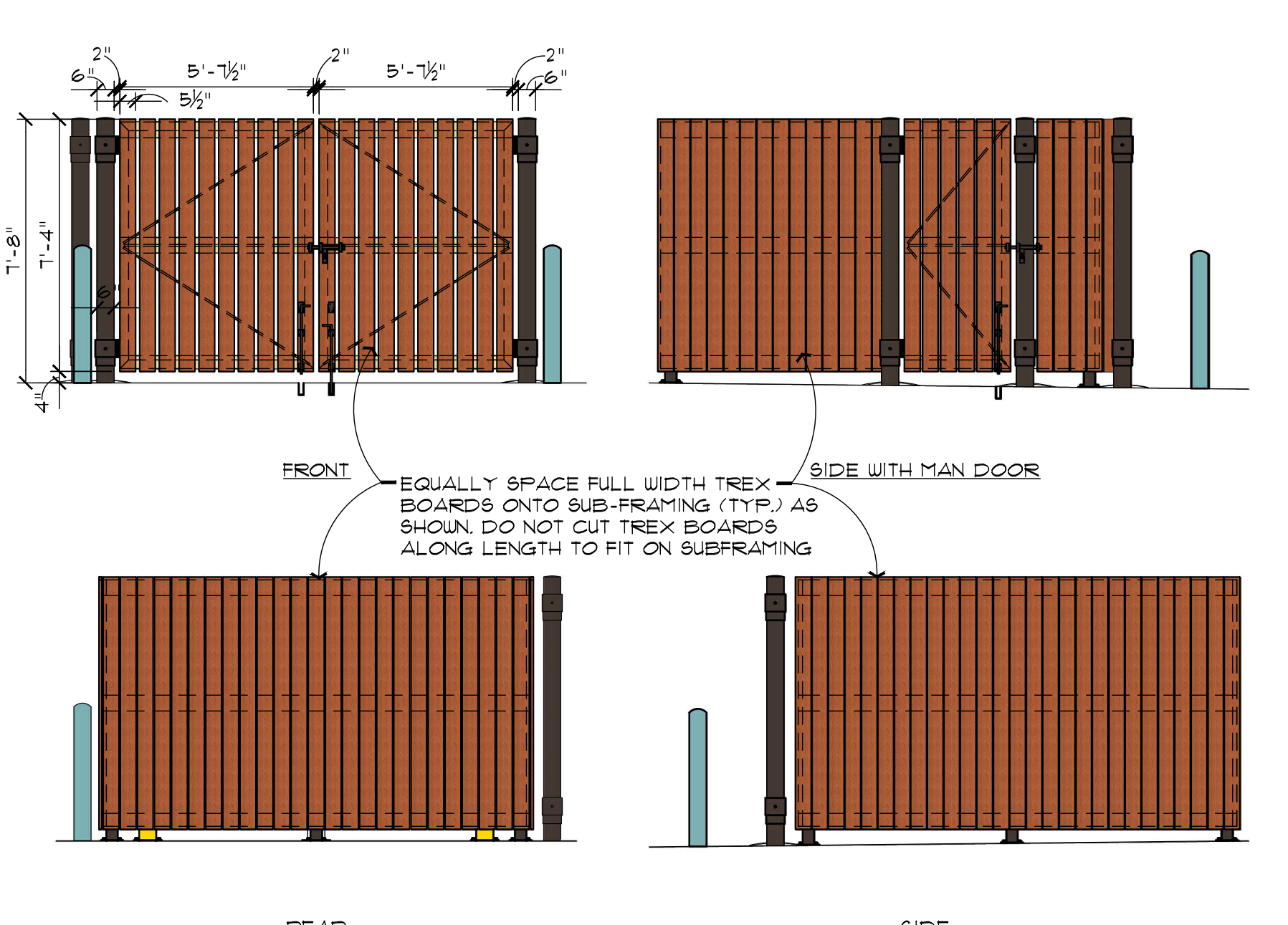
5 TYP. GATE POST DETAIL
1"=1'-0"



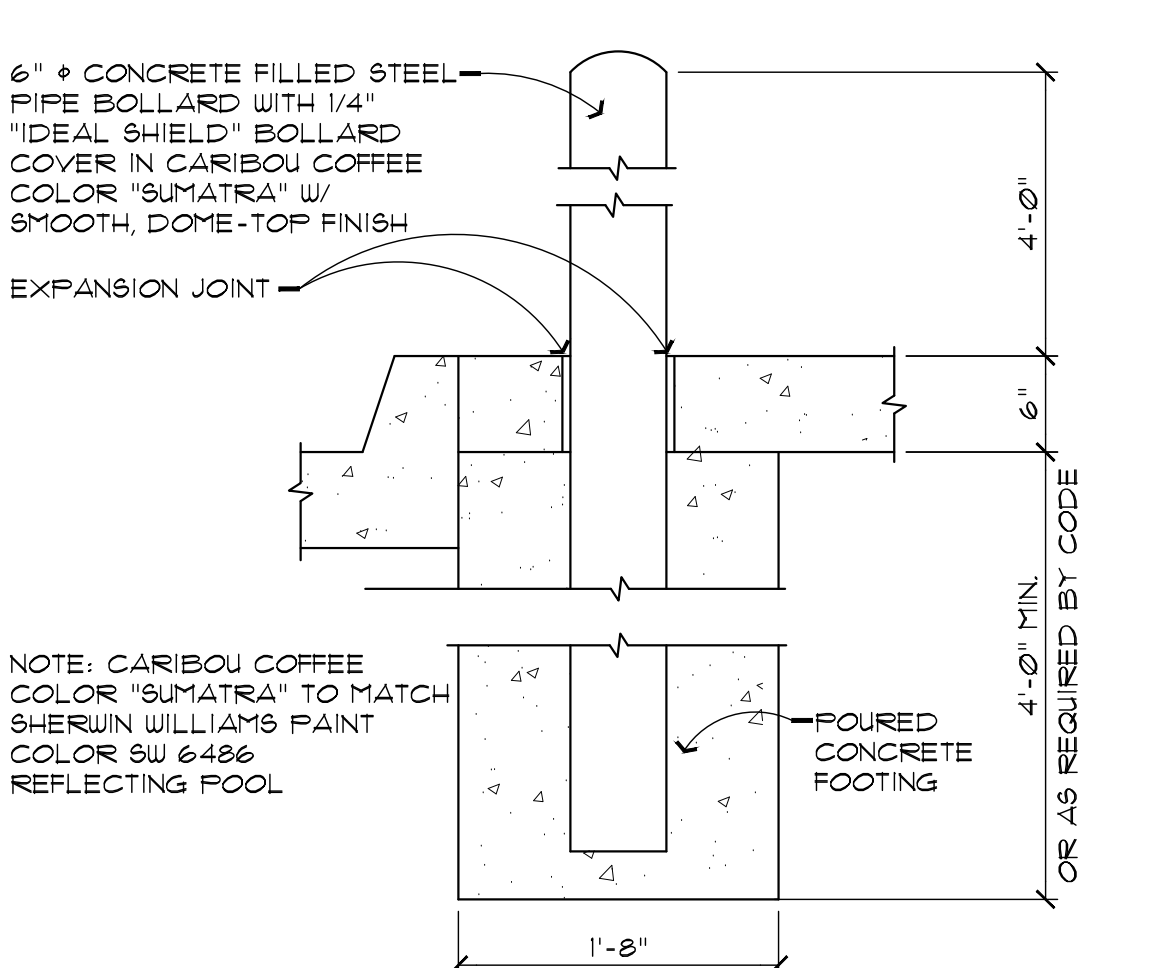
1 TRASH ENCLOSURE PLAN
1/4"=1'-0"



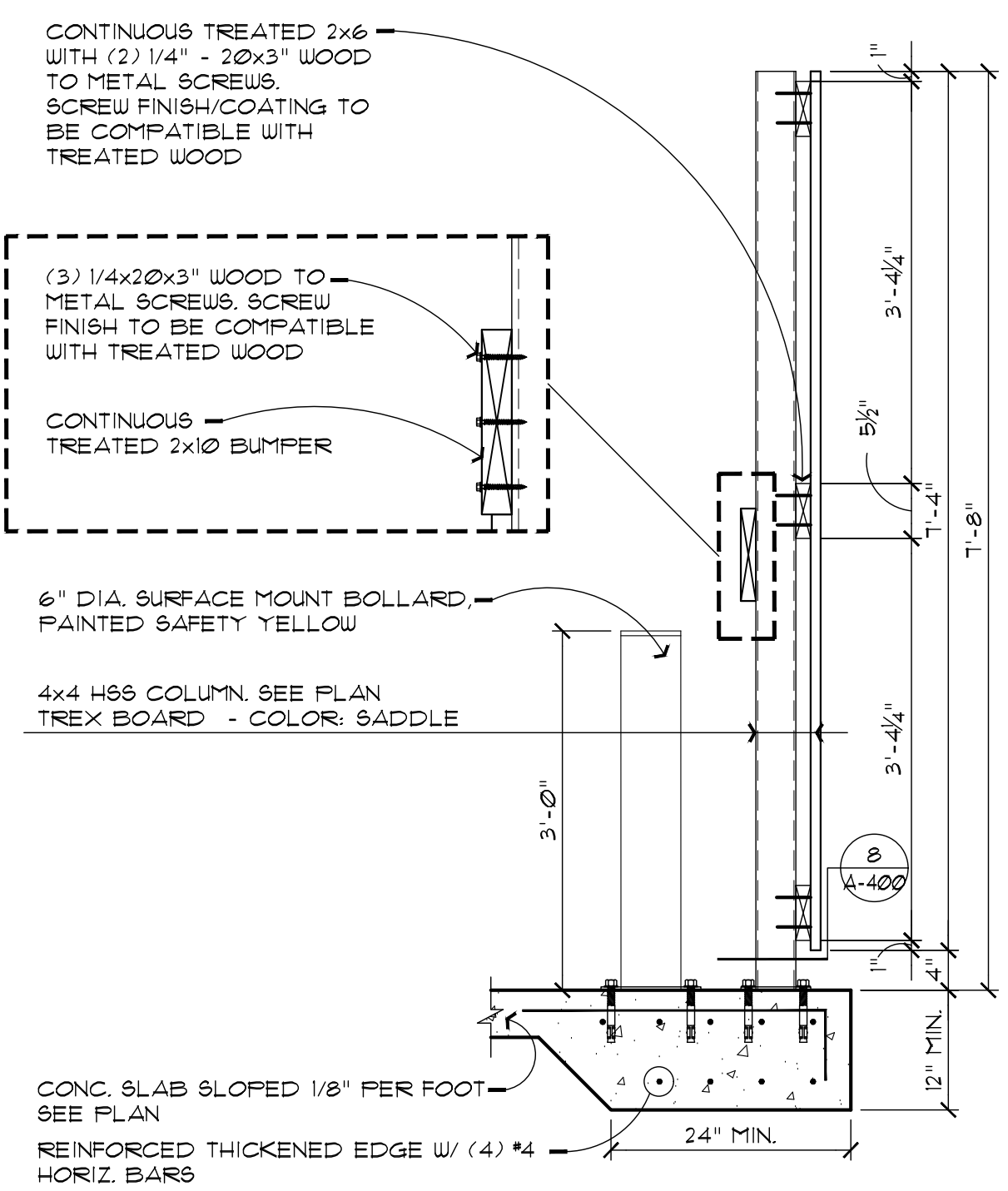
2 TYP. GATE DETAIL
3/4"=1'-0"



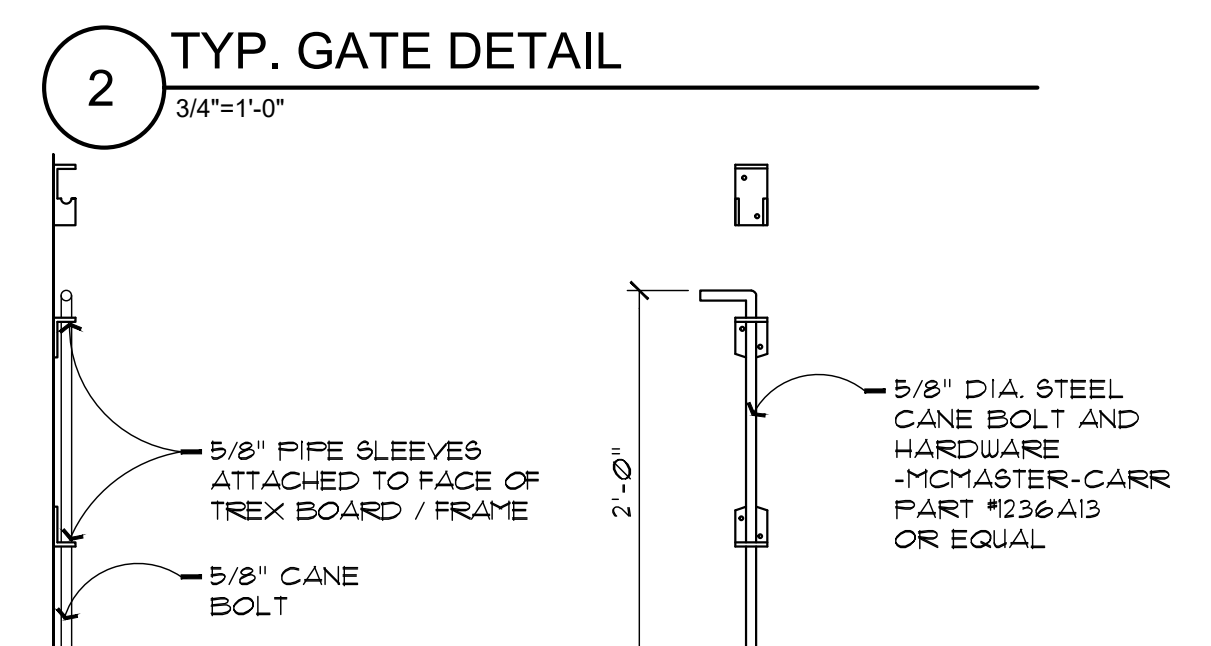
11 TRASH ENCLOSURE ELEVATIONS
1/4"=1'-0"



9 BOLLARD DETAIL
1"=1'-0"



6 TYP. SECTION
3/4"=1'-0"



3 CANE BOLT DETAILS
1"=1'-0"

Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: _____

Date Submitted: _____

Fee Amount: _____

Paid: _____

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: E. Main St. & Briarcliff	Parcel ID#(s): 060-001128
---	----------------------------------

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): Reynoldsburg Center Limited Partnership c/o Arshot Investment Corporation Attn: Joe Sugar	
Contact Email: jsugar@arshot.com	Contact Phone Number: (614) 463-9730

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Caribou Coffee	Contact Name: Michael Mariola
Contact Email: mike@mikemariolarestaurants.com	Contact Phone Number: (330) 466-5212
Description of Use: Drive-thru coffee with no indoor seating and limited outdoor patio seating	

IV. APPLICANT INFORMATION

Applicant Name: Reprise Design	Applicant Address: 12400 Portland Av S. #100 Burnsville, MN 55337
Applicant Phone Number: (612) 669-4729	Applicant Email: cschatz@reprisedesign.com
<input type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Variance (Non-Residential (\$450) / Residential (\$200): **Variance for additional exterior signage**

Conditional Use Permit (\$350): **Conditional Use Permit for drive-thru window**

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: _____ Date: **6-29-2022**

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information
Zoning District: _____
 Historic District

Add'l Approvals Req'd
 Planning Commission
 Other: _____

<u>BZBA Meeting</u> Date: _____ <input type="checkbox"/> Approved as Submitted <input type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Tabled <input type="checkbox"/> Denied

P&Z Admin.: _____ Date: _____

Section 1109.15

CONDITIONAL USES

Initiating a Conditional Use

An application for a Conditional Use Permit shall be submitted to the Planning & Zoning Administrator thirty (30) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals.

The Board may determine that additional studies or expert advice are necessary to evaluate a proposed Special Exception relative to the requirements of the Code. *See next page for more details.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What information must be provided with a Conditional Use ?

An application for a Conditional Use shall be submitted using the attached form and shall include the following:

- (a) Description of the existing use of the lot and of adjacent lots;
- (b) A statement of the conditional use for which the application is submitted.
- (c) The application shall also include a description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts;
- (d) A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping, and other relevant features;
- (e) A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects;

(f) A narrative addressing each of the applicable criteria set forth in section 1145.09; and

(g) Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations. Such additional information may include, but shall not be limited to:

- Traffic impact analysis;
- Storm water impact analysis;
- Utility impact analysis.

How much will a Conditional Use cost?

The fee for a Conditional Use Permit is three hundred and fifty dollars (\$350).

What is the time frame for review of a Conditional Use Permit?

An application for a Conditional Use Permit will take approximately one to two months. The Planning and Zoning Administrator will review the application and determine if it warrants public review. If it is determined it needs public review, the application will then be placed on the next Board of Zoning and Building Appeals agenda.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.15

STANDARDS FOR ALL CONDITIONAL USES

In review of a Conditional Use application, the Board shall consider whether the application is complete and whether it provides adequate evidence that the proposed special exception is consistent with the following standards:

- (a) The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;
- (b) The proposed use shall not adversely affect the use of adjacent property;
- (c) The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
- (d) The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
- (e) The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;
- (f) The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
- (g) The proposed use complies with the applicable specific provisions and standards of this Code;
- (h) The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

In approving a Conditional Use, the Planning and Zoning Administrator or the BZBA may impose such conditions as deemed necessary to protect the public welfare, preserve the purpose and intent of the Code. Such conditions may include:

- (a) Locations, setbacks, and configurations of structures and of uses of interior and exterior spaces;
- (b) Screening comprised of landscaping, walls, fencing or other materials or construction;
- (c) Access points and traffic management provisions, including those impacting vehicular and pedestrian access and the locations and design of parking facilities;
- (d) Noise control measures, including those regulating loudspeakers or irregular vehicular or equipment noise;
- (e) Other features of construction, including but not limited to paving and parking, signs, and landscaping;
- (f) Hours and method of operation
- (g) Maintenance of the site, structures, landscaping;
- (h) Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; and
- (i) A time limit for operation of the use.

Section 1109.13 VARIANCES

Initiating a Variance Request

A variance application shall be submitted to the Planning & Zoning Administrator at least thirty (21) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals. The Board meets the third Thursday of each month except December.

What information must be provided for a Variance?

A property owner seeking a Variance shall submit a written request for Variance on forms provided by the Planning & Zoning Administrator. Such request shall include the following:

- (a) Name, address, and telephone number of the property owner(s) and owner's agent(s);
- (b) Legal description, address, tax district and parcel number of the property;
- (c) Description of the nature of the variance requested and a statement address each of the standards for variance in the Code (see section 1109.13);
- (d) Statement of the hardship;
- (e) Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

***Note: The application must be signed by the property owner for the property which pertains to the variance.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What is the time frame for a variance request?

In general the application process takes 30-45 days. Once a variance application is submitted, it will be placed on the next BZBA agenda. The BZBA can hold the application but a decision must be reached by the Board within sixty (60) days.

Why might you request a Variance?

To allow development of property prohibited by current zoning if such development will not adversely affect the surrounding property or neighborhood and if the BZBA is satisfied that it will alleviate some hardship or difficulty.

How much will a Variance cost?

The fee for a variance is two hundred dollars (\$200) for a residential variance, and four hundred and fifty dollars (\$450) for all other variance requests.

What are the next steps after a Variance approval?

The approved variance will need to be officially documented through the issuance of a zoning certificate or a zoning sign permit depending on the type of variance. Any action of the BZBA granted a variance shall be valid for a period of 12 months.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.13 (D)

STANDARDS FOR VARIANCE

No variance in the strict application of the provisions of this Code shall be granted unless the Board makes specific findings of fact, based on the evidence presented to it, which supports conclusions that the variance conforms to the following standards. Such findings shall be stated for the record and reported in the Board's minutes.

- (a) The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- (b) The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)
- (c) There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures. There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.
- (d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
- (e) The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
- (f) The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- (g) The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
- (h) No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
- (i) The variance is not a matter of convenience when other remedies are available within the provisions of this Code.



ARCHITECTS. ENGINEERS. PLANNERS.

August 9, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: Caribou Coffee, E. Main St. & Briarcliff: Variances

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. *Project Summary*

- a. The subject property is located approximately 360 feet east of the East Main St. & Briarcliff Road intersection and lies between two outparcels along East Main Street. The site is zoned East Main Street District (MSD).
- b. All four quadrants of the East Main St. & Briarcliff Road intersection are adjacent to the site and are zoned MSD-East Main Street District.
- c. The site currently contains a 44-space parking lot that is part of the Aaron's (old Kroger) shopping center. The building is set back approximately 44 feet from the right-of-way. Within that setback is a 22.8-foot drive thru lane and a portion of a 60-foot +/- easement that contains underground sprinkler systems, decorative streetscape and walls, and utilities. The 60-foot +/- easement was reduced to a 20-foot +/- easement by the city to place the drive thru lane outside the easement as well accommodate both the underground and above ground improvements within the easement.
- d. The 2018 Comprehensive Plan, upon which the current zoning code is based, recommends for East Main Street "Attractive streetscapes and walkability should be emphasized to encourage pedestrian and transit activity along the corridors, and to create cohesive character amongst neighboring development. Sidewalk cafes, awnings, and landscaping are encouraged to help define the character of the development." The zoning code was revised to accommodate the Plan's recommendations and, for the MSD and the Brice and Main Street District, to incorporate transit supportive development.
- e. A variance to Section 1103.15 Brice & East Main Street and East Main Street Insight Districts (BMD and EMD and Section 115.03, Signs is being requested.

2. *Zoning Variance Review- MSD-East Main Street District (Section 1109.15, Signs)*

a. Signage

- i. The applicant is providing two wall signs, one on the eastern and one on the southern side of the proposed building. The wall sign on the eastern side of the street measures approximately 180 inches by 22 inches, equaling approximately 27 square feet, 5 feet less than the permitted 32 square feet. The proportionally larger wall sign on the south side of the building measures approximately 283 inches by approximately 34 inches, or 67 square feet which is seven square feet less than the permitted 74 square feet.
- ii. The maximum number of wall signs permitted in the MSD-East Main Street District is one wall sign "on the wall of a building which most nearly parallels a street, parking lot or service drive."



- iii. In addition to the wall sign, one monument sign is permitted with a brick base. The application shows a stone base, matching the building elevation. The 19 square foot sign is five feet less in area than the permitted 24 square feet. The sign is also setback 17 feet from the property line, which is seven feet more than the required 10-foot setback. However, from the signage information that was provided, the total sign height, including the base, is shown at 10 feet. This is 4 feet taller than the required maximum height of 6 feet.

3. Recommendations

a. Zoning Variance - MSD-East Main Street District (Section 1109.15, Sign and 1105.13 Front Yard Setback)

i. Section 1109.15, Sign Variances

1. A variance is required to allow a second wall sign. A second wall sign is not supported because a hardship or practical difficulty does not appear to be present, and the additional sign appears to be a matter of convenience when other remedies (allowance of a ground sign) are available.
2. A variance to the maximum monument sign and the sign base material will be required. The additional sign height is not supported because a hardship or practical difficulty does not appear to be present. The stone base, however, is appropriate in this case to match the stone used on the building elevation, instead of requiring the sign base to be brick.

ii. 1105.13 Front Yard Setback Variance

1. A variance to the 20-foot maximum setback is required. Approval of the variance is supported. Based on the city's proposed easement, there does appear to be a hardship and there is a clear case for the proposed setback variance.

If you have any questions or comment, please feel free to contact us.
 Very truly yours,

Kim Littleton

Kim C. Littleton, AICP
 Senior Planner/Project Manager



Architecture & Plannin
 12400 Portland Avenue South, Suite 10
 Burnsville, MN 5533
 Office: (952) 252-404
 Fax: (952) 252-404

June 29, 2022

REQUEST FOR VARIANCE – EXTERIOR SIGNAGE

PROPOSED CARIBOU COFFEE

Reynoldsburg Center

E. Main Street & Briarcliff

DESCRIPTION OF VARIANCE REQUEST

Based upon Zoning Code Ordinance 1105.3 in the East Main Street Insight District (EMD) we are permitted to have one wall sign that is 2 SF / lineal feet of building façade. We are requesting a variance to allow an additional wall sign on the south elevation facing East Main Street that is 27.24 SF in area. Please refer to Sign Exhibit included in the application for specific details.

STANDARDS FOR REQUESTED SIGNAGE VARIANCE AND STATEMENT OF HARDSHIP

(a) **The variance request for an additional wall sign** is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.

(b) **The variance request for an additional wall sign** will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)

(c) Based upon Section 1103.5 East Main St. Insight Districts the existing special circumstances or conditions, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures. There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.

We are requesting an additional wall sign due to the nature of the existing shopping center landscape buffer which creates an additional setback distance for the building above and beyond the Zoning district's minimum 5 foot setback which is unique to the properties in this area.

(d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.

The practical difficulty as stated in (c) is the additional building setback required above and beyond the minimum required setback of 5 feet from the ROW that is unique to the properties being created on the south edge of Reynoldsburg Center.

(e) The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.

The request for one additional wall sign is necessary for the reasonable use of the building and the additional 27.24 SF wall sign request is the minimum variance that will accomplish this purpose.

(f) **The variance request for an additional wall sign** will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.


(g) **The variance request for an additional wall sign** will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district **due to the nature of the specific setback required for this site.**

(h) No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.

No non-conforming use is at issue regarding neighboring land or structures in the same district.

(i) **The variance request for an additional wall sign** is not a matter of convenience when other remedies are available within the provisions of this Code. **The additional wall sign is the only practical remedy to identify the building due to the additional setback required.**

Respectfully Submitted,



**Project Manager
Reprise Design**



Prepared Exclusively for SITE CCREYNOLDSBURG

6269 E MAIN ST
REYNOLDSBURG, OH 43068

June 29, 2022

Account Manager: Paul Kantorski
pkantorski@everbrite.com (414) 529-3500

Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)

Sign Schedule



Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)



Everbrite, LLC - 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No:	Prepared By: Paul Kantorski
Address: 6269 E MAIN ST REYNOLDSBURG, OH 43068	Date: 06/29/2022 PIF: 471149-0
Description: CARIBOU COFFEE	Customer Signature:



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Sign Schedule



Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)



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Sign Schedule

REAR



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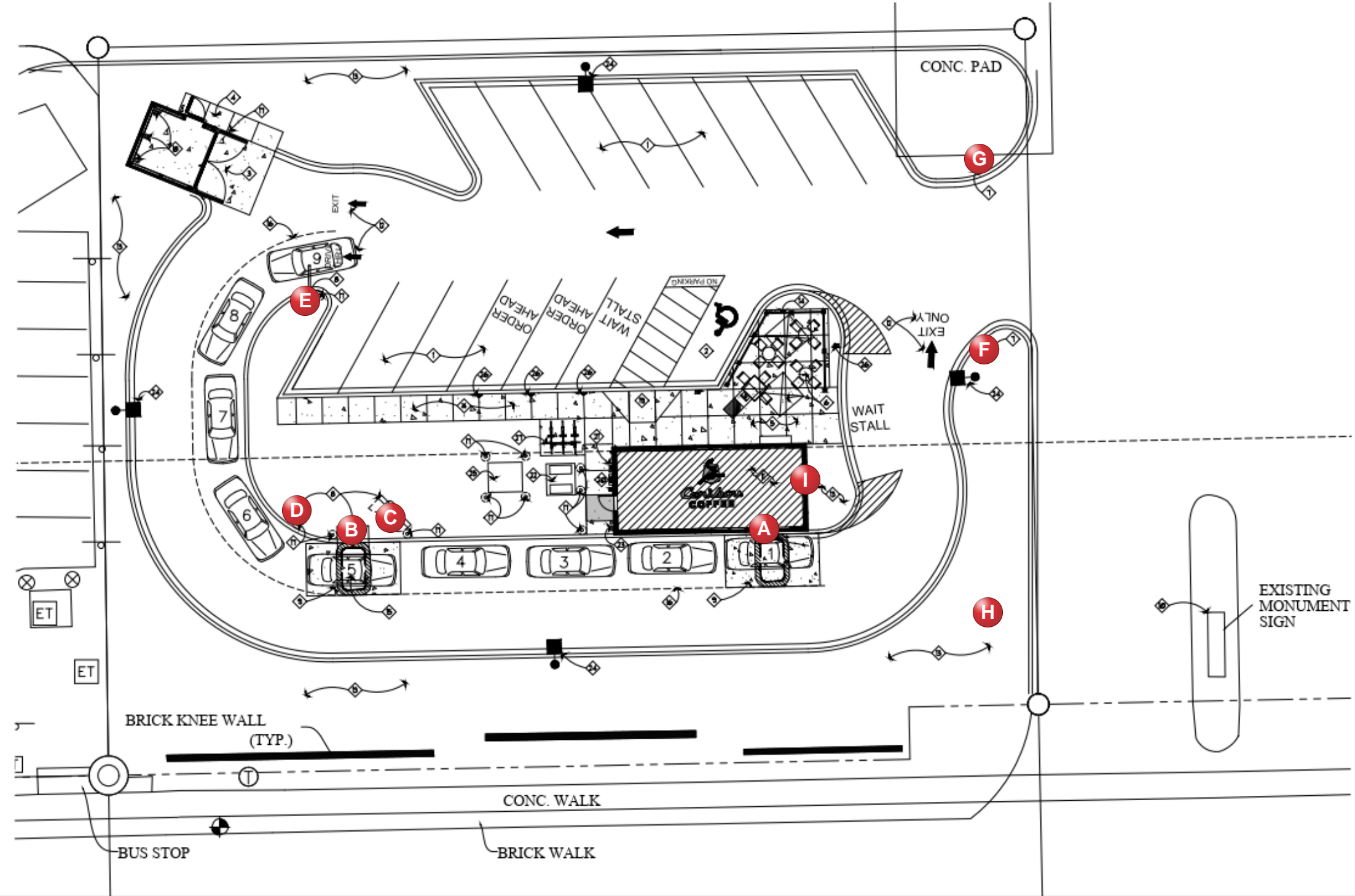


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Sign Schedule

- A** LTR,CCCI 22"RCWY W/LOGO LED CC INLINE
- B** CNPY,CCCI 10'5X6'X6' BR LED
- C** MNBD,CCCI 5'11X7'11 BR STATIC
- D** MNBD,CCCI 7'X3' PRV DT RT BR
- E** VHD,CCCI 8'6 CLR Single ARM
- F** SIGN,CCCI 1'6"X2'8" DF CP LOGO 4'
- G** SIGN,CCCI 1'6"X2'8" DF CP LOGO 4'
- H** SIGN,CCCI 43"x66" DF TP LOGO
- I** LTR,CCCI 14" RCWY W/LOGO LED CC INLINE

Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)



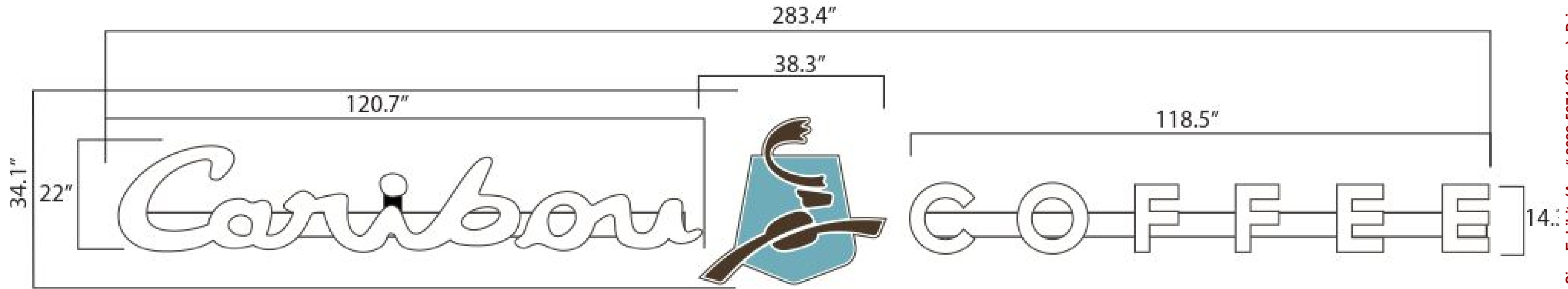
Everbrite, LLC - 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No:
 Address: 6269 E MAIN ST REYNOLDSBURG, OH 43068
 Description: CARIBOU COFFEE

Prepared By: Paul Kantorski
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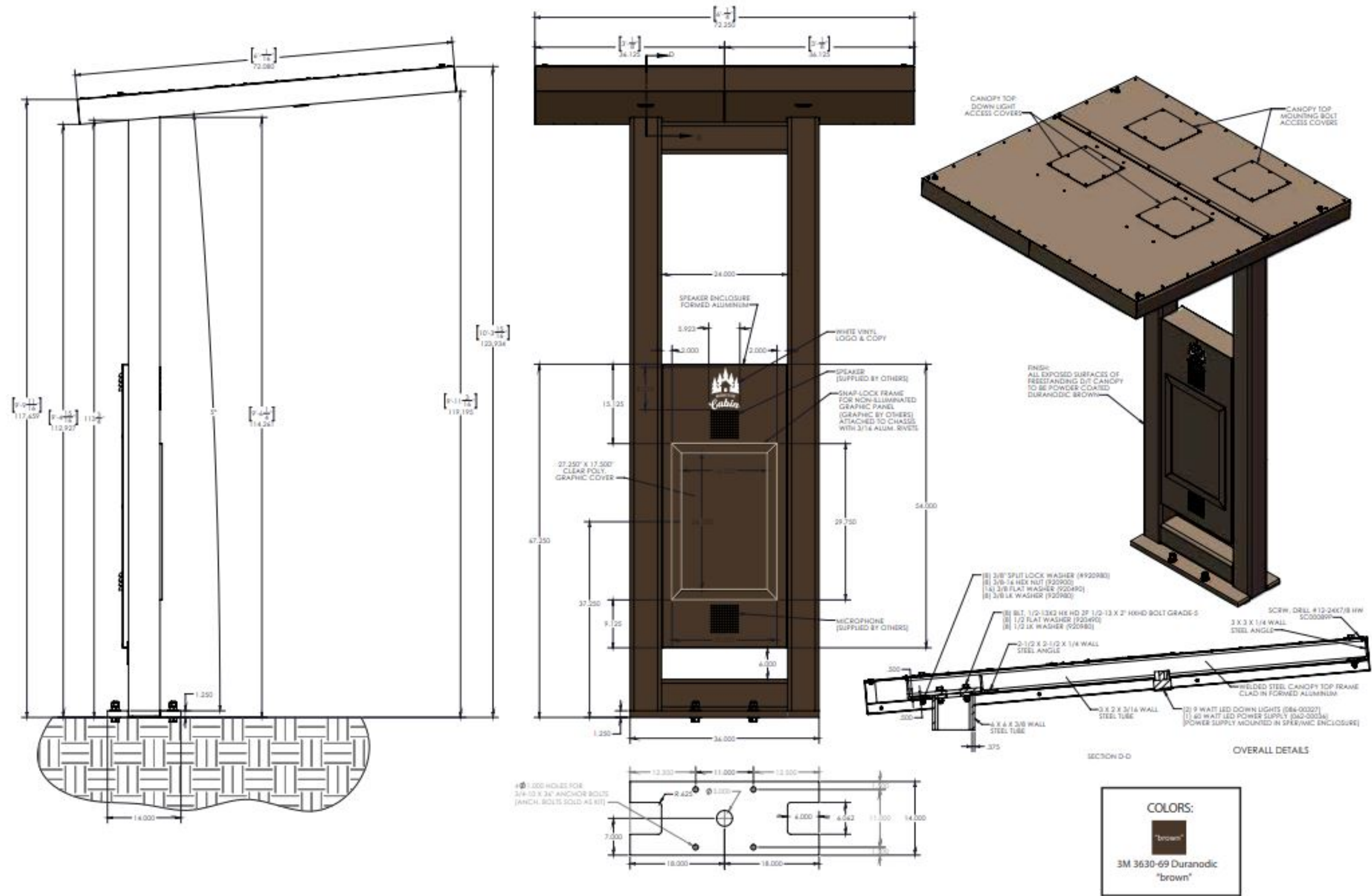


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 Customer Signature:



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CARIBOU COFFEE MENUBOARD:

4' h (Nominal) x 8'w (Nominal) Illuminated menuboard.

OAH: 6'

Shroud height: 1' 5-1/2"h.

Double Pole

Anchor bolt foundation.

5 panels

LED Illumination 138 Lumens Sq Ft, Color Temp 5000k

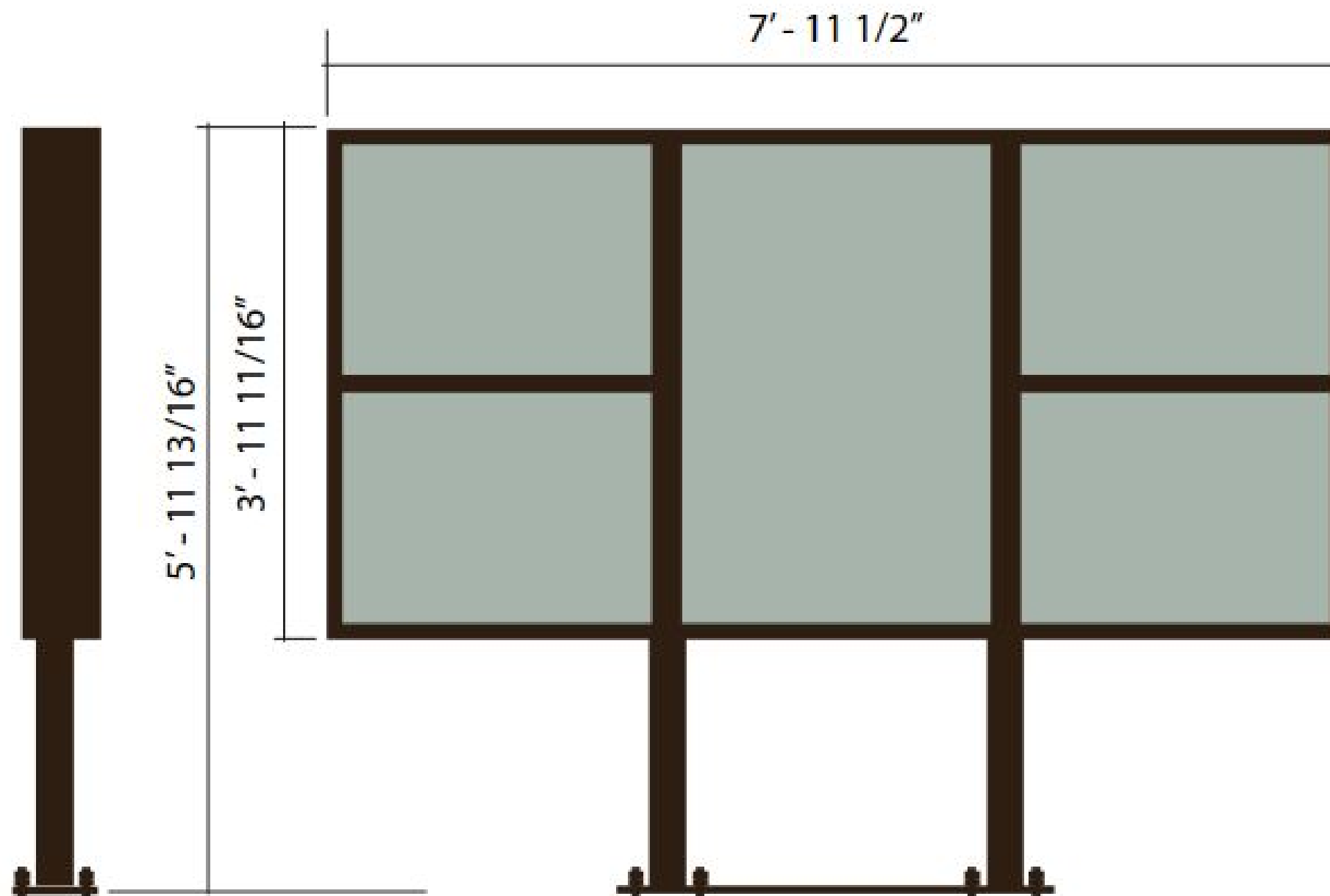
Aluminum cabinet

Painted Duranodic Brown

Divider bars painted Duranodic Brown

Inserts provided by others.

Slotted base plate.



Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)

CARIBOU COFFEE ROTATING PREVIEW BOARD

5' 4"h (Nominal) x 3'w(Nominal) Illuminated menuboard.

OAH: 7' - 4"

Shroud height: 23.9"h.

Single Pole

Anchor bolt foundation.

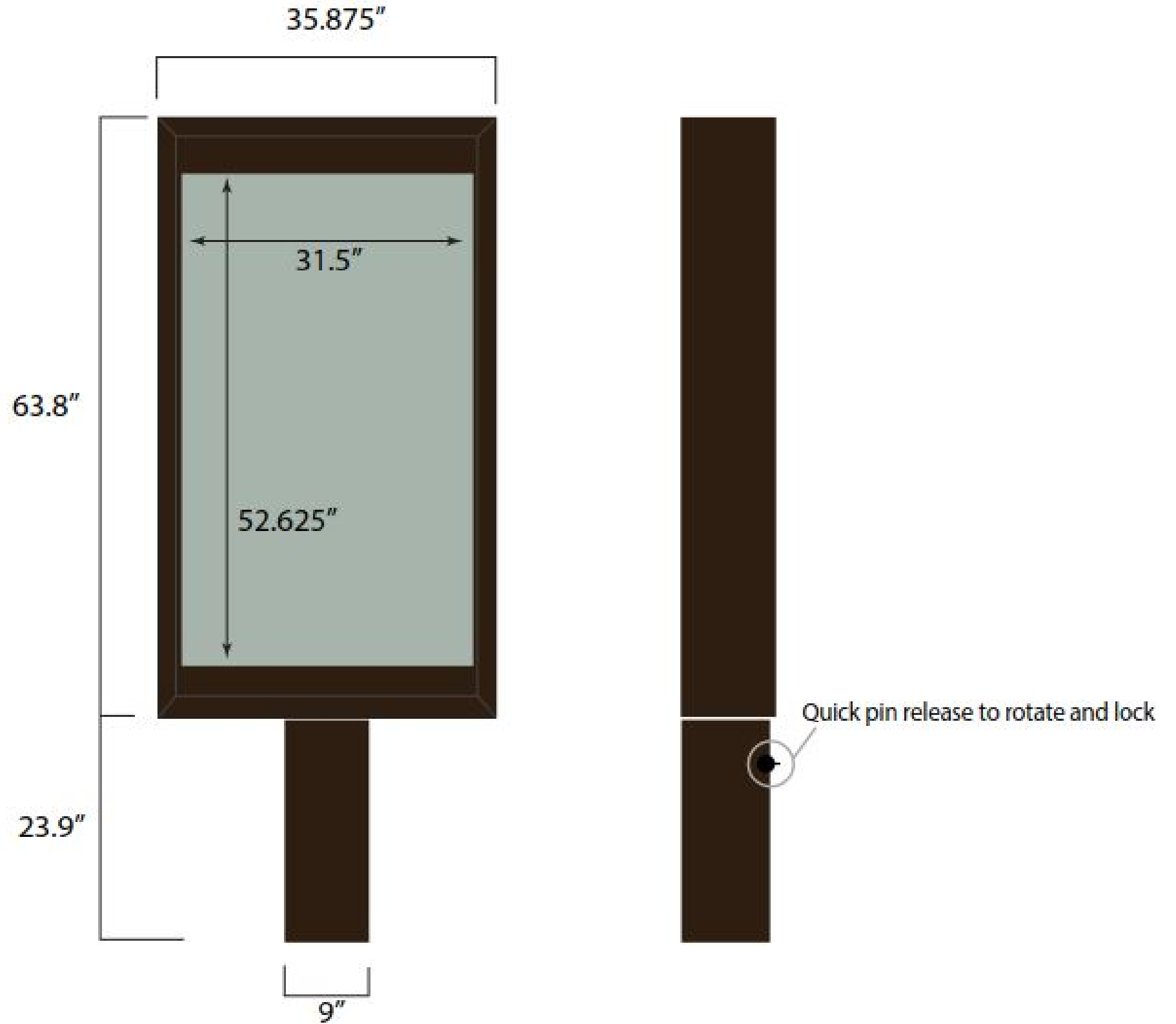
1 panel (each side)

LED Illumination 138 Lumens Sq Ft, Color Temp 5000k

Aluminum cabinet and pole shroud.

Painted Duranodic Brown

Inserts provided by others.



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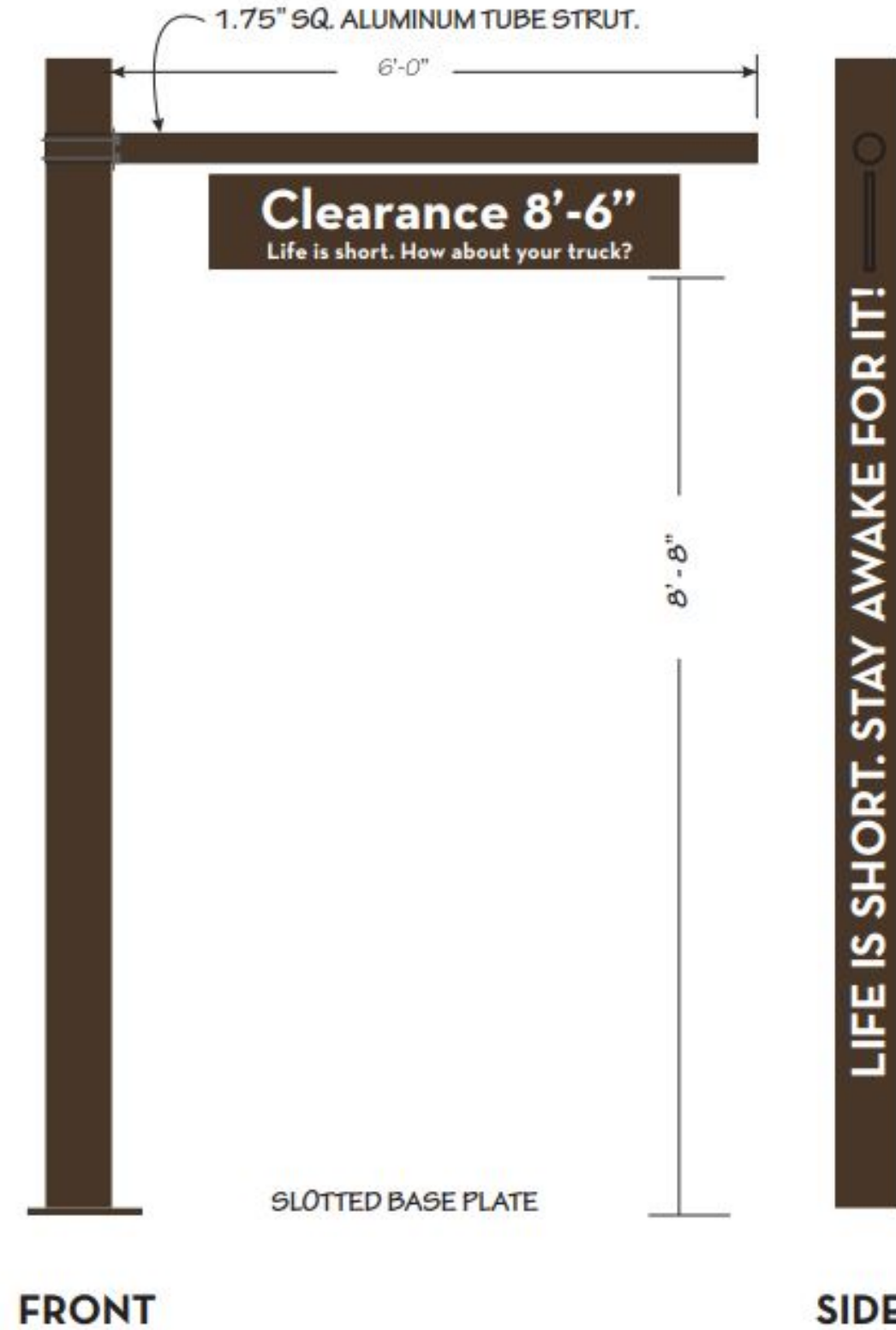
Customer/Site No:
 Address: 6269 E MAIN ST REYNOLDSBURG, OH 43068
 Description: CARIBOU COFFEE

Prepared By: Paul Kantorski
 Date: 06/29/2022 PIF: 471149-0
 Customer Signature:



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SINGLE LANE



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CC4



CC5

Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)



CC1A



CC1B

Attachment: CCREYNOLDSBURG Sign Exhibit (App# 2022-5271 (Signs), Briarcliff and Main, Schatz)



Everbrite, LLC - 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No:	Prepared By: Paul Kantorski
Address: 6269 E MAIN ST REYNOLDSBURG, OH 43068	Date: 06/29/2022 PIF: 471149-0
Description: CARIBOU COFFEE	Customer Signature:



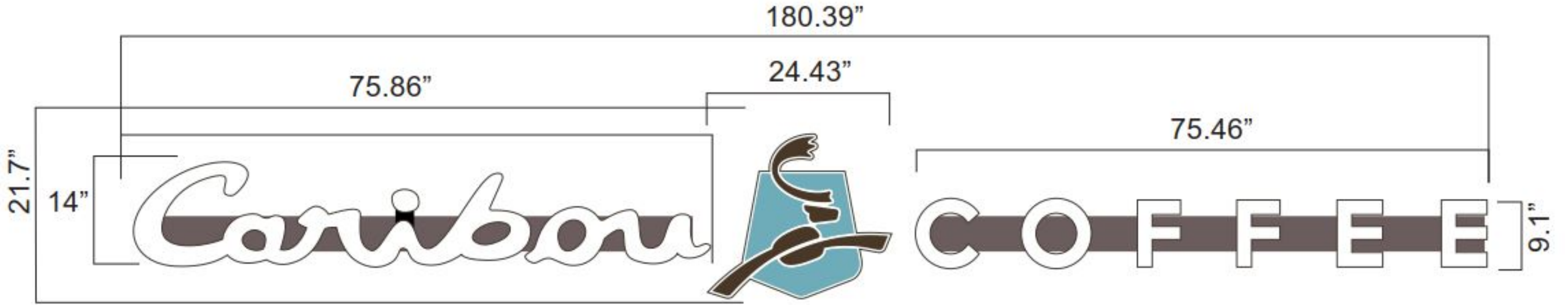
These drawings and designs are the exclusive property of Everbrite, LLC. Use or duplication in any manner, without express written permission of Everbrite, LLC, is prohibited.



TWIN POLE MONUMENT (Overall height to vary)

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Reynoldsburg

Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

App./Case#: _____

Date Submitted: _____

Fee Amount: _____

Paid: _____

I. PROPERTY INFORMATION

BOARD OF ZONING & BUILDING APPEALS

Property Address: Brice Road	Parcel ID#(s): 060005659
--	------------------------------------

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): George Nikki L TR	
Contact Email:	Contact Phone Number:

III. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Capital Royal Child Care	Contact Name: Daniel Essien
Contact Email: capitalroyalschool.com	Contact Phone Number: 614-316-5541
Description of Use: Child daycare center for infants to school age children	

IV. APPLICANT INFORMATION

Applicant Name: Christopher Jolley	Applicant Address: 5925 Wilcox Place, Suite E, Dublin, OH 43016
Applicant Phone Number: 614-792-1002	Applicant Email: cjolley@darinranker.com
<input type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Architect/Engineer	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE:

Variance (Non-Residential (\$450) / Residential (\$200): _____

Conditional Use Permit (\$350): **Approximately 15,000 SF childcare facility**

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: *Chris Jolley* Date: **06-28-22**

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information
Zoning District: _____
 Historic District

Add'l Approvals Req'd
 Planning Commission
 Other: _____

BZBA Meeting
Date: _____
 Approved as Submitted
 Approved w/ Conditions
 Tabled
 Denied

P&Z Admin.: _____ Date: _____

Attachment: Board of Zoning and Building Appeals Application-SIGNED (App# 2022-5263, Brice Rd., Jolley)

Section 1109.15 CONDITIONAL USES

Initiating a Conditional Use

An application for a Conditional Use Permit shall be submitted to the Planning & Zoning Administrator thirty (30) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals.

The Board may determine that additional studies or expert advice are necessary to evaluate a proposed Special Exception relative to the requirements of the Code. *See next page for more details.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What information must be provided with a Conditional Use ?

An application for a Conditional Use shall be submitted using the attached form and shall include the following:

- (a) Description of the existing use of the lot and of adjacent lots;
- (b) A statement of the conditional use for which the application is submitted.
- (c) The application shall also include a description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts;
- (d) A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping, and other relevant features;
- (e) A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects;

(f) A narrative addressing each of the applicable criteria set forth in section 1145.09; and

(g) Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations. Such additional information may include, but shall not be limited to:

- Traffic impact analysis;
- Storm water impact analysis;
- Utility impact analysis.

How much will a Conditional Use cost?

The fee for a Conditional Use Permit is three hundred and fifty dollars (\$350).

What is the time frame for review of a Conditional Use Permit?

An application for a Conditional Use Permit will take approximately one to two months. The Planning and Zoning Administrator will review the application and determine if it warrants public review. If it is determined it needs public review, the application will then be placed on the next Board of Zoning and Building Appeals agenda.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.15

STANDARDS FOR ALL CONDITIONAL USES

In review of a Conditional Use application, the Board shall consider whether the application is complete and whether it provides adequate evidence that the proposed special exception is consistent with the following standards:

- (a) The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;
- (b) The proposed use shall not adversely affect the use of adjacent property;
- (c) The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
- (d) The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
- (e) The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;
- (f) The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
- (g) The proposed use complies with the applicable specific provisions and standards of this Code;
- (h) The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

In approving a Conditional Use, the Planning and Zoning Administrator or the BZBA may impose such conditions as deemed necessary to protect the public welfare, preserve the purpose and intent of the Code. Such conditions may include:

- (a) Locations, setbacks, and configurations of structures and of uses of interior and exterior spaces;
- (b) Screening comprised of landscaping, walls, fencing or other materials or construction;
- (c) Access points and traffic management provisions, including those impacting vehicular and pedestrian access and the locations and design of parking facilities;
- (d) Noise control measures, including those regulating loudspeakers or irregular vehicular or equipment noise;
- (e) Other features of construction, including but not limited to paving and parking, signs, and landscaping;
- (f) Hours and method of operation
- (g) Maintenance of the site, structures, landscaping;
- (h) Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; and
- (i) A time limit for operation of the use.

Section 1109.13 VARIANCES

Initiating a Variance Request

A variance application shall be submitted to the Planning & Zoning Administrator at least thirty (21) days prior to the regularly scheduled meeting of the Board of Zoning and Building Appeals. The Board meets the third Thursday of each month except December.

What information must be provided for a Variance?

A property owner seeking a Variance shall submit a written request for Variance on forms provided by the Planning & Zoning Administrator. Such request shall include the following:

- (a) Name, address, and telephone number of the property owner(s) and owner's agent(s);
- (b) Legal description, address, tax district and parcel number of the property;
- (c) Description of the nature of the variance requested and a statement address each of the standards for variance in the Code (see section 1109.13);
- (d) Statement of the hardship;
- (e) Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

***Note: The application must be signed by the property owner for the property which pertains to the variance.*

Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What is the time frame for a variance request?

In general the application process takes 30-45 days. Once a variance application is submitted, it will be placed on the next BZBA agenda. The BZBA can hold the application but a decision must be reached by the Board within sixty (60) days.

Why might you request a Variance?

To allow development of property prohibited by current zoning if such development will not adversely affect the surrounding property or neighborhood and if the BZBA is satisfied that it will alleviate some hardship or difficulty.

How much will a Variance cost?

The fee for a variance is two hundred dollars (\$200) for a residential variance, and four hundred and fifty dollars (\$450) for all other variance requests.

What are the next steps after a Variance approval?

The approved variance will need to be officially documented through the issuance of a zoning certificate or a zoning sign permit depending on the type of variance. Any action of the BZBA granted a variance shall be valid for a period of 12 months.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.ci.reynoldsburg.oh.us/departments/development/zoning-information.aspx>

Section 1109.13 (D)

STANDARDS FOR VARIANCE

No variance in the strict application of the provisions of this Code shall be granted unless the Board makes specific findings of fact, based on the evidence presented to it, which supports conclusions that the variance conforms to the following standards. Such findings shall be stated for the record and reported in the Board's minutes.

- (a) The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- (b) The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)
- (c) There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures. There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.
- (d) There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
- (e) The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
- (f) The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- (g) The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
- (h) No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
- (i) The variance is not a matter of convenience when other remedies are available within the provisions of this Code.



DARIN RANKER ARCHITECTS
+ INTERIOR DESIGNERS

June 24, 2022

The City of Reynoldsburg Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, OH 43068

RE: Conditional Use Application
Capital Royal Childcare
Parcel #060005659
DRA Project #22-192

Received
JUN 30 2022
Reynoldsburg Building Division

To Whom in May Concern,

The site on Brice Road north of East Main Street is currently undeveloped and proposed to be split into two lots for development of an approximately 15,000 square foot childcare center on the northern lot and future commercial development on the southern lot. The placement of the childcare center on the northern parcel accommodates the required gas station setback along with placing it adjacent to the residential neighborhood in the City of Columbus jurisdiction.

The childcare use is more compatible with residential development in a similar way that an elementary school would be placed in a neighborhood. It directly compliments the neighborhood by providing day time care for the children of the area and does not see activity in the evenings when most residents are home. Placing commercial development on the southern parcel allows it to be buffered by the childcare center. This also places that use in proximity to the commercial activity of East Main Street.

The childcare facility would be a single-story structure which would serve as a nice transition from the commercial buildings to the residential development. This will keep the scale of the structure more in line with the scale of the houses. The proposed development will be in line with the zoning regulations and no variances are being requested.

Capital Royal Childcare currently operates a facility in the shopping center to the south of this site at 1288 Brice Road. They have proven to be a high-quality childcare facility that has earned the prestigious five-star award from the Ohio Department of Education, Department of Job and Family Services. They seek to extend upon this reputation by building this new facility that will be able to service more children in the community.

This facility would service approximately 230 children with around 40 staff members. The hours of operation are anticipated to be 6:00 a.m. to 6:00 p.m. A playground enclosed by a fence would be provided to the rear of the facility for outdoor recreation.

Sincerely,

Darin J. Ranker, AIA NCARB, Architect / Principal
Darin Ranker Architects + Interior Designers

Attachment: Applicant Statement (App# 2022-5263, Brice Rd., Jolley)

Received

JUN 30 2022

Reynoldsburg Building Division



Congratulations on Your 5-Star Award!

Program Number: 000000400347
 Program Type: Child Care Center
 Star Rating Begin Date: 11/15/2020
 Star Rating Expiration Date: 11/14/2023

CAPITAL ROYAL CHILD CARE & LEARNING CENTER
 1288 BRICE RD REYNOLDSBURG FRANKLIN, OH - 43068

The State of Ohio has awarded this program a 5-Star Rating for meeting the quality standards established by the Ohio Department of Job and Family Services and the Ohio Department of Education. Step Up To Quality is a Five-Star Tiered Quality Rating and Improvement System created to recognize and promote early learning and development programs that meet quality standards over and above the health and safety licensing requirements.
 Issued: 10/19/2020

Ohio | Department of Education
 Department of Job and Family Services

State of Ohio
Food Inspection Report
 Authority: Chapters 3717 and 3715 Ohio Revised Code

Name of facility Capital Royal Child Care & Learning	Check one <input checked="" type="checkbox"/> FSO <input type="checkbox"/> RFE	License Number NFRY-9C369X	Date 3-May-2022
Address 1288 Brice Road		City/State/Zip Code Reynoldsburg OH 43068	
License holder Capital Royal Child Care & Learning	Inspection Time 60	Travel Time 0	Category/Descriptive Commercial FSO < 25000 sq. ft. - Risk Level III
Type of Inspection Standard	Follow up date (if required)		Water sample date/result (if required)

FOODBORNE ILLNESS RISK FACTORS AND PUBLIC HEALTH INTERVENTIONS

Mark designated compliance status (IN, OUT, N/O, N/A) for each numbered item: IN=In Compliance OUT=Out of Compliance N/O=Not Observed N/A=Not Applicable

Supervision			Time/Temperature Controlled for Safety Food (TCS food)		
1	IN	Person in charge present, demonstrates knowledge, and performs duties	21	IN	Proper hot holding temperatures
2	IN	Certified Food Protection Manager	22	IN	Proper cold holding temperatures
Employee Health			23	IN	Proper date marking and disposition
3	IN	Management, food employees and conditional employees; knowledge, responsibilities and reporting	24	N/A	Time as a public health control: procedures & records
4	IN	Proper use of restriction and exclusion	Consumer Advisory		
5	IN	Procedures for responding to vomiting and diarrheal events	25	N/A	Consumer advisory provided for raw or undercooked foods
Good Hygienic Practices			Highly Susceptible Populations		
6	IN	Proper eating, tasting, drinking, or tobacco use	26	N/A	Pasteurized foods used; prohibited foods not offered
7	IN	No discharge from eyes, nose, and mouth	Chemical		
Preventing Contamination by Hands			27	N/A	Food additives: approved and properly used
8	IN	Hands clean and properly washed	28	IN	Toxic substances properly identified, stored, used
9	IN	No bare hand contact with ready-to-eat foods or approved alternate method properly followed	Conformance with Approved Procedures		
10	IN	Adequate handwashing facilities supplied & accessible	29	N/A	Compliance with Reduced Oxygen Packaging, other specialized processes, and HACCP Plan
Approved Source			30	N/A	Special Requirements: Fresh Juice Production
11	IN	Food obtained from approved source	31	N/A	Special Requirements: Heat Treatment Dispensing Freezers
12	N/O	Food received at proper temperature	32	N/A	Special Requirements: Custom Processing
13	IN	Food in good condition, safe, and unadulterated	33	N/A	Special Requirements: Bulk Water Machine Criteria
14	N/A	Required records available: shellstock tags, parasite destruction	34	N/A	Special Requirements: Acidified White Rice Preparation Criteria
Protection From Contamination			35	N/A	Critical Control Point Inspection
15	IN	Food separated and protected	36	N/A	Process Review
16	IN	Food-contact surfaces: cleaned and sanitized	37	N/A	Variance
17	IN	Proper disposition of returned, previously served, reconditioned, and unsafe food	Risk factors are food preparation practices and employee behaviors that are identified as the most significant contributing factors to foodborne illness. Public Health Interventions are control measures to prevent foodborne illness or injury.		
Time/Temperature Controlled for Safety Food (TCS food)					
18	IN	Proper cooking time and temperatures			
19	N/A	Proper reheating procedures for hot holding			
20	N/A	Proper cooling time and temperatures			

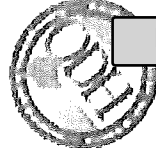
HEA 5302A Ohio Department of Health (10/19)
 AGR 1268 Ohio Department of Agriculture (10/19)

Attachment: Applicant Statement (App# 2022-5263, Brice Rd., Jolley)

Received

JUN 30 2022

Reynoldsburg Building Division



Ohio

Department of Health

Food Service Operation License

Received

MAR 30 2022

Reynoldsburg Building Division

Attachment: Applicant Statement #add) tuement Statement #add) tuement Statement #add) tuement

Audit Number:
APEE-CC7TVR

License No.
NFRY-9C369X

Licenser

Franklin County Public Health, 280 E Broad Street, Columbus, OH, 43215

Name of Facility/License Holder

Capital Royal Child Care & Learning, Capital Royal Child Care & Learning

Address/City/State/Zip

1288 Brice Road, Reynoldsburg, OH, 43068

Category / Descriptive

Commercial FSO < 25000 sq. ft. - Risk Level III

This license has been issued in accordance with the requirements of Chapter 3717 of the Ohio Revised Code and is subject to revocation or suspension for cause and is not transferable without consent of the licenser.

This license shall expire on March 1, 2023

If this is a mobile food service operation, the license is not valid unless pertinent information appears on the reverse side.

Date 04-Mar-2022
Joe Mazzola, MPA
Health Commissioner

This license must be displayed in a conspicuous place at the location

Received

Attachment: Applicant Statement (yellow), Brice Rd., 2925-2202 #ddv) tuemement

JUN 30 2022

Reynoldsburg Building Division

Ohio Department of Job and Family Services

CAPITAL ROYAL CHILD CARE & LEARNING CENTER has been issued a license to operate a child care center located at 1288 BRICE RD, REYNOLDSBURG, FRANKLIN, OH, 43068, in accordance with Chapter 5104. of the Ohio Revised Code and 5101:2-12 of the Ohio Administrative Code.

This program is licensed to serve a total capacity of 90 children; of this, 32 children may be under years of age. Within the license capacity, staff/child ratios must be maintained at all times.

License Number: 000000400347 Owner: CAPITAL ROYAL LEARNING CENTER LLC

Date License Issued: 07/09/2012

Administrator: Daniel Essien

This license has been issued in accordance with requirements of the Ohio Revised Code, and is subject to revocation for cause, and is nontransferable.

For licensing information or complaints, call 1(877) 302-2347, option 4.

If you believe that your license was delayed or denied because of your race, color, national origin, sex, age, religion or disability, you can contact the Ohio Department of Job and Family Services, Bureau of Civil Rights, with questions or to file a complaint. The Bureau of Civil Rights can be reached at (614) 644-2703, TTY (614) 995-9961, toll-free at 1-866-221-6700, by fax at (614) 752-6381 or online at <http://jfs.ohio.gov/civilrights/index.stm>.

JFS 01256 (rev. 12/2016)



ARCHITECTS. ENGINEERS. PLANNERS.

August 9, 2022

Mr. Eric Meyer
 Development Director
 City of Reynoldsburg
 7232 E. Main Street
 Reynoldsburg, OH 43068

RE: Capital Royal Daycare: Conditional Use

Mr. Meyer:

Enclosed is our review of materials for the above referenced application:

1. Project Summary

- a. The 1.5+/- acre subject property is located approximately 450 feet north of the East Main St. Brice Road intersection on the west side of Brice Road and is the northernmost parcel (Lot 1) of two vacant parcels. Lot 1 will contain a 15,000 s.f. (approximately) child daycare center for infants to school age children. The second parcel (Lot 2) is .6+/- acres and is to be used for future commercial activity development. All four quadrants of the East Main St. & Brice Road intersection, including the subject site, are zoned Brice and Main District (BMD).
- b. Surrounding uses are predominantly auto service-oriented, including an auto body repair facility directly across Brice Road, an auto undercoating/detailing use (approximately 90 feet from parcel to parcel) and a gas station/convenience store to the south (approximately 200 feet from parcel to parcel). A single-family residential neighborhood is located directly north of the site and is zoned Residential within the City of Columbus.
- c. The 2018 Comprehensive Plan, upon which the current zoning code is based, recommends that neighborhood commercial uses “have building facades and entrances (should be) oriented to the street with parking accessible from the rear or side of the building.”
- d. The applicant is seeking conditional use approval for a “School - Child Day Care Center” facility on the site which is listed as a conditional use in the BMD. The facility is located on the north side of the site with parking on the south side. The front yard setback is 5 feet, with the remaining rear and side setbacks at 10 feet. An outdoor playground surrounded by a 5-foot-high privacy fence is located on the west or what appears to be the rear side of the building. A stormwater detention basin is located west of the playground. Access to the parcel is located just north of the south property line. A five-foot-wide sidewalk is shown on the south side of the building along the entire parking drive lane.

2. Zoning Conditional Use Review - BMD Brice and Main District (Section 1109.15, Conditional Uses and Section 1105.13, H Supplementary Use Conditions- Childcare Centers)

- a. **Permitted Uses:** The requested use falls in the School - Child Day Care Center category which is a conditional use in the BMD.
- b. **Parking:** The code requires 1 per employee based on largest staff shift plus 10 for visitors, or in this case, approximately 45 spaces. The existing site plan shows 59 parking spaces, including 3 handicap space and 1 van accessible space (not shown).
- c. **Setbacks:** The minimum required setback is 5 feet from the right-of-way and 10 feet from the side yard property lines. The required minimum rear yard setback is 10 feet from the rear lot line.

Attachment: OHM Staff review (App# 2022-5263, Brice Rd., Jolley)



- d. **Traffic/Circulation:** The site circulation is counterclockwise through the parking lot to allow what appears to be a drop-off area for vehicles. The site plan shows a curb-cut for access to the property from Brice Road adjacent to the south property line. Because a future commercial use (yet undefined) is proposed on the adjacent parcel it is recommended that the curb-cut be moved further south to allow joint use by both parcels. Also, the drive aisle width is not sufficient to accommodate vehicles queuing at the drop off and vehicles backing out of the parking spaces. And there is no sidewalk shown along the Brice Road frontage.
- e. **Service Area/Dumpster:** The location and dimensions of the service and dumpster areas should be shown per section 1109.15, Conditional Uses and Section 1105.13, H Supplementary Use Conditions- Childcare Centers to avoid location next to a playground.
- f. **Signs:** Proposed site and building signage should be shown per section 1109.15, Conditional Uses.
- g. **Landscaping:** Minimal landscaping is shown on the site and within the parking lot per section 1109.15, Conditional Uses.
- h. **Distance from Gasoline Service Stations:** It appears from the site plan that the subject parcel is located a sufficient distance of 150 feet away from a gasoline station use per Section 1105.13, H Supplementary Use Conditions- Childcare Centers. Although the auto undercoating/detailing use is closer to the parcel than the gas station/convenience store it does not appear to contain gasoline sales that would likely to generate noxious fumes or vapor.

3. Recommendations

- a. *Zoning Conditional Use - MSD-East Main Street District (Section 1109.15, Conditional Uses)*
 - i. The conditional use is supported with the condition that when a major development plan is submitted that it meets the requirements of Section 1109.09, Site Plan and Design Review and the following:
 1. A relocated access drive to allow joint use of a curb-cut between both parcels to sufficiently manage traffic into and out of the site.
 2. Location of the service/dumpster area, if provided, away from the proposed playground.
 3. Location of the drop off area, if provided, with sufficient space to avoid conflict with vehicles negotiating parking spaces.
 4. A sidewalk along the parcel's frontage and connect it to the sidewalk shown on the site plan.
 5. In addition to 1109.15, Conditional Uses, Landscaping per Section 1105.07, Landscaping and Buffering.
 6. In addition to 1109.15, Conditional Uses, Signage per Section 1105.03, Signs.

If you have any questions or comment, please feel free to contact us.
 Very truly yours,

Kim Littleton

Kim C. Littleton, AICP
 Senior Planner/Project Manager



DARIN RANKER ARCHITECTS
4 INTERIOR DESIGNERS
1523 Wilcox Place, Suite E Dublin, OH 43016
Phone: 614-792-7001
admin@darinranker.com



Tenant Improvements For
Capital Royal Childcare
Brice Rd
Reynoldsburg, Ohio

DRA Proj No.: 22-192
Drawn by: AJH
Checked By: CSJ
Date: 06/21/22
Revisions

SP.01

SITE DATA TABLE

TOTAL SITE AREA = 2.077 AC.

LOT 1 - 1.456 AC.
PRE-DEVELOPED IMPERVIOUS = 0 AC.
POST-DEVELOPED IMPERVIOUS = 900 AC.

LOT 2 - .621 AC.
PRE-DEVELOPED IMPERVIOUS = 0 AC.
POST-DEVELOPED IMPERVIOUS = 0 AC.

PROJECT SCOPE:

SPLITTING AN EXISTING PARCEL INTO 2 LOTS. LOT 1 TO CONTAIN AN APPROXIMATELY 15,000 S.F. CHILD DAYCARE CENTER FOR INFANTS TO SCHOOL AGE CHILDREN. LOT 2 TO BE FOR FUTURE COMMERCIAL DEVELOPMENT

ZONING:

PARCEL ID: 06000669
ZONING: BMD
PROPOSED USE: CHILD DAYCARE CENTER (CONDITIONAL USE)

BUILDING AREA: 15,000 S.F.
USE GROUP: E
CONSTRUCTION TYPE: IIB
THE BUILDING IS TO BE FULLY SPRINKLED PER OBC & NFPA-13

PARKING:

REQUIREMENTS: MINIMUM 1 PER STAFF PLUS 10 FOR GUESTS
PROPOSED STAFF - 35

TOTAL SPACES PROVIDED: 59
ACCESSIBLE SPACES REQUIRED: 3
ACCESSIBLE SPACES PROVIDED: 3
VAN ACCESSIBLE SPACES PROVIDED: 1

LEGAL DESCRIPTION

Situated in the State of Ohio, County of Franklin, City of Reynoldsburg, being in Half Section 21, Section 14, Range 21, United States Military Lands, being 2.077 acres of land, more or less, out of Lot 2, Marathon Subdivision, being of record in Plat Book 41, Page 34, Recorder's Office, Franklin County, Ohio, said 2.077-acre tract being more particularly described as follows:

BEGINNING at an iron pin in the northeasterly corner of said Lot 2, the westerly line of Brice Road;

thence S 0° 13' 53" E, with the easterly line of said Lot 2, the westerly line of said Brice Road, a distance of 310.00 feet to an iron pin;

thence N 89° 53' 11" W, parallel to the northerly line of said Lot 2, a distance of 291.60 feet to an iron pin in the westerly line of said Lot 2;

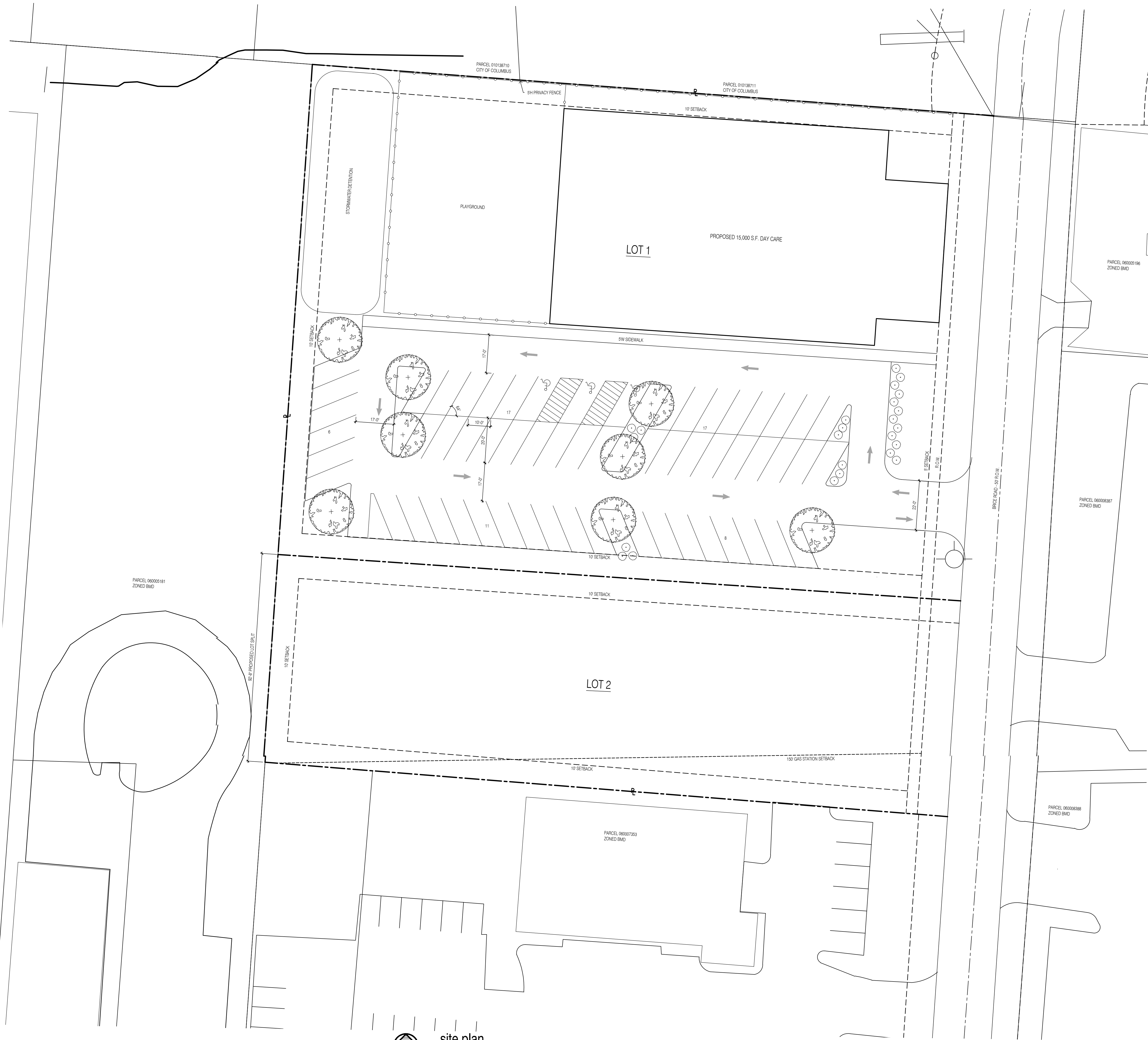
thence N 0° 18' 56" W, with the westerly line of said Lot 2, a distance of 310.00 feet to an iron pin in the northwesterly corner of said Lot 2;

thence S 89° 53' 11" E, with the northerly line of said Lot 2, a distance of 292.06 feet to the point of beginning, containing 2.077 acres of land, more or less.

SUBJECT to all legal easements, restrictions and agreements of record.

LANDSCAPE SCHEDULE

	NYSSA SYLVATICA - BLACK GUM MIN. 2" CALIPER
	VIBURNUM TRILOBUM ALFREDO - ALFREDO VIBURNUM MIN. 24" H



site plan
1" = 20'-0"