



AGENDA

PLANNING COMMISSION THURSDAY, JUNE 1, 2017 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 - a. Planning Commission – Regular Meeting – May 4, 2017
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. COMMISSION BUSINESS

1. ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF REYNOLDSBURG, OHIO: Amending Section 1187.07 Residential Appearance Standards of Chapter 1187 Special Provisions for Residential Uses. (First Reading 4/24/2017).
2. ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF REYNOLDSBURG, OHIO: Amending Section 1183.05 Standards for Development Review of Chapter 1183 Planned Neighborhood Development District and Section 1184.05 Standards for Development Review of Chapter 1184 Planned Commercial Development District. (First Reading 4/24/2017).
3. Application #178153 Major Site Plan; Applicant United Dairy Farmers; 137 Waggoner Road & 7619 East Broad Street.
4. Application #178049 Major Site Plan; Applicant Brad Williams, 1933 Baltimore Reynoldsburg Road.
5. Discussion: Comprehensive Plan

C. ADJOURNMENT

CITY OF REYNOLDSBURG

MINUTES

PLANNING COMMISSION THURSDAY, MAY 4, 2017 6:00 PM

**PLACE: COUNCIL CHAMBERS
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

A. CALL TO ORDER

PRESENT: McKenzie, Cullinan, Comeaux, Welday
ABSENT: King

2. APPROVAL OF MINUTES

1. Planning Commission – Regular Meeting – April 6, 2017

RESULT:	ACCEPTED [3 TO 1]
MOVER:	Jim Comeaux
SECONDER:	Robert Welday
AYES:	Cullinan, Comeaux, Welday
NAYS:	McKenzie
ABSENT:	King

3. APPROVAL OF AGENDA

Agenda stands approved.

4. SWEARING IN OF SPEAKERS

No speakers sworn in.

B. COMMISSION BUSINESS

1. Comprehensive Plan

Mr. Welday: With the approval of the new tax increase for the City, I think as a Commission, I think as we visualize how we want Reynoldsburg to grow or get business or entertain residents or bring people into the community with the moneys now that are coming in we can start thinking about that, and the new Center that will be going in that will draw people in. I do know that there is a need for parking, if we're going to be drawing people in, so as a Commission, maybe we should throw some ideas out, and maybe we can send some ideas Council's way.

Dr. McKenzie: Comprehensive plans really are comprehensive. There is a tremendous amount of possibilities that a city like Reynoldsburg could have going forward. Those can address such ideas as Mr. Welday has done, they can also address such things as the type of zoning that we have. We at present have what is known as quantitative zoning. Hierarchal quantitative zoning plan. But there are also other options to that and depending upon which

Minutes Acceptance: Minutes of May 4, 2017 6:00 PM (APPROVAL OF MINUTES)

ones you have will make a big difference about how developers will operate within your community. So that's one thing to take a look at. There is also philosophical positions as well. No one really has been good at anticipating what the future may bring you may not have gotten that but I did send a email with an attachment that would have been a preview of a panel discussion that occurred about a year ago, end of January. Although Mr. Havener attended that he doesn't really remember that. The one sheet preview that I sent out and I cannot get a video, they did not video tape it, the one person's preview was quite out there and many of the ideas for what the future of the suburbs may be are kind of out there. This person for example was touting the idea that the future of suburbs were to be solar collection sites to power cities for an economic base. So we've got all this space up there with roofs and everything and we put photovoltaic solar on them and then feed the grid to power the cities that don't have that. But if this Commission would like to not pursue those, I would prefer that they would do that, knowing what they are and rejecting them, rather than not considering them at all because they don't know even what sort of radical ideas are. And those people that can find who have done Ted talks and the like on the future of suburbs have been more or less radical and we may not find that agreeable at all but I would still like to make decisions based upon being informed rather than making decisions not knowing what all of the options are. So that would be my intent is. Beyond that, since I first stated this, I have read four books about suburban planning and numerous other articles on the like and I know that many of you are as avid a reader as I am and so the question is what is the best way to get that information to you. I would have gladly have scanned sections from those books and sent those out were it not for copy write infringement problems. But that's a question, whether we want to have as you pointed out, what is it, a 30% increase annual income with the tax levy starting July 1 whether we could free up enough money to free up enough money to purchase a copy or two of these things. I do know the one I'm looking forward to isn't going to be published and talked over this year which is called Infinite Suburbia and it is the product of a series of seminars at MIT last year. That is going to be the most current, up to date view of what suburbs what could become from an academic perspective. Those are some things I had in mind. How many people are familiar with Seaside Florida? They are considered to be the example or archetype of form based zoning codes instead of hierarchal. But they are out there. There are innovations in traffic control. I mean even the roads, by Charter is within the purview of the Planning Commission and the words of the Charter are to advise Council although we've been using the word recommend although the Charter uses the verb advise but when we advise Council on things like that. For example, follow a trend that has been prevalent for the past 15 years or so, that it is desirable to make communities more walkable or pedestrian friendly, there have been ways pioneered to make roads much more amendable to both pedestrian and bicycle travel. This could be applied to Main Street, although it would require a really radical change of ideas of what Main Street should be like. This is a case where MORPC is working against us because Main Street is really a MORPC design as in what they have planned in their... when do they plan for somebody to do Waggoner Road do they know?

Mr. Havener: They don't have any definitive plans...

Dr. McKenzie: A couple of years ago, Kristin was in and gave a presentation, in which she gave a year for when they were looking at Waggoner Road. It wasn't coming until 2020s or

2030s or something like that but she did announce a plan for Waggoner Road and that plan as I viewed it that night was not particularly pedestrian friendly. So, in any case, those are also areas that we could consider that there is information out there that are people have already done this stuff there are case studies done on it, for example, in New York City, one of the things they did, and I mentioned this last time because of the changes to the sidewalks and the apexes of the entrance way on Main Street which has a sidewalk, was that they widened them and while widened road way and corridors make it better for cars, it increases the danger for pedestrians for it increases the distance you have to cross and it also increases the speed of the vehicles making the corner. If you want to know about pedestrian injuries, there is a direct relationship between speed and severity. So the faster a car is moving when it hits someone, the more severe the injuries are. But for example, this was done in New York City in which they narrowed the intersections and there was a complaint made that this would increase travel time, but New York City, because Bloomberg was Mayor at the time, and he's very analytical, very data driven, is that New York City has GPS tracking for all the cabs. And so they were able to keep track of all the changes in the time that it takes transit at all times of the day because the cabs are out there are on the street all of the time. And it wasn't much of reeducation, but what they found was that after the changes, they had a decrease in the time a given trip took. It was only seconds to minutes, but it didn't increase the length of time of travel from point A to point B it actually decreased it. So some of these things are counter intuitive. You think if I'm going to narrow the intersections, traffic is going to slow down, but the data suggests, that it is exactly the opposite of that. So I'm not, I don't want to say that these are ideas that I am promoting, its simply ideas that I know of that are counter intuitive that if you did not look at the research on them you might not even think about considering that as a possibility. As I said when I started this I'd much prefer you reject something knowing what it is than never to have considered it at all.

Mr. Snowden: Gentlemen, this is a really great discussion and I think that if any of those readings interest you, I'd consider going back to school to learn what I do. Because many of those are graduate level reviews that are used in like retrofitting the Suburbs type Graduate level seminars and that's great information. I think kind of living this every day, I think as a City right now; we're sort of at a crossroads about which direction we're going to go. Let me just take two minutes to give you just a brief history just a brief planning history of Reynoldsburg. Every community has a Planning History. But it's good to keep this in mind based on the context. The City enacted a Zoning Code originally in 1955; the technical term for our original base zoning code is Euclidian zoning. Which is a use based zoning code which divides into different use districts. That zoning code was revised in 1969 and reorganized without many significant changes, the city in 1965 did a comprehensive plan probably using federal money that was available at the time that Federal program eventually because the Community Development Block Grant Program that is administered today. The City did a Planning effort in the late 1970s, the city did a Planning effort in the mid-1980s with the assistance of MORPC and the last time a Planning guide of any type was done for the entire city was by MORPC was in 1992. Since then we have done 2 small area plans, one for the Brice Livingston, which was done by some Graduate students one done by my predecessor with a group in Olde Reynoldsburg and those plans have had some results. Going forward from here, I do agree with our chairman that the Commission should advise Council that doing a Comprehensive plan would be beneficial. I think it would also be wise

instead of just throwing up a motion that we as the Commission, you as the Commission state this is important to our City, I think that you all should enumerate the type of things that you think should be evaluated. I don't mean specific solutions, like Dr. McKenzie was just mentioning, although, I think those will come out in the process, but I mean, such a plan should include strategies for transportation, such a plan should include strategies for housing, such a plan should include strategies for economic development and explain why those things are beneficial and send that to Council. There is a possibility, a strong possibility of having more resources to do Planning and let me just state one other thing, I am more than happy to facilitate the process, but if you evaluate my title, I'd like to put emphasis on the Administrator part of my job. At the end of the day, my job is to Administer the process of the Development approval process and there is enough work just simply doing that, that any planner that is brought in is going to probably be doing, we would want to bring in a consultant as the City and Planning Commission to do that work and Planning Commission would be a big part of it. Planning Commission would review and approve any plan that was ultimately sent to City Council and advise City Council that the plan was appropriate for Council so, that sort of in a nutshell my thoughts on the subject and I just think if any document is sent to Council, the Commission should enumerate their thoughts that way Council doesn't feel like "oh, it's just Planning Commission telling us we should do this", Ok we should include transportation, because and I can assist with that or you all can do it on your own but I think we should try to emphasize and you do have some allies on City Council that are open to the idea and do believe that now is the time to make these decisions. At this point the 1992 plan is a memory so anything we're doing is truly the first real effort to bring some quantitative and qualitative analysis to our planning environment in a comprehensive way.

Mr. Havener: I would just like to add to the current conversation. I'm not sure if everyone here is aware but we have approached some professional organizations, some consultants on just initial conversations on, because we wanted to get an idea of the cost that might be involved for a master plan and we has some very generic conversations with some firms in the central Ohio area, these firms have done master planning for Grove City, Hilliard, different suburbs in Central Ohio that would be similar in size and character to Reynoldsburg and so, we have started the intial conversations as Eric elluded to, there is a member on Council that has offered to champion this issue and get the rest of Council on board with the rest of the thought process, so we're headed in the right direction and we'll get there.

Dr. McKenzie: So did you get a figure on what these firms were estimating for our 17 squire miles.

Mr. Havener: The estimation for the cost of the Master Plan was, it could range depending on the severity or complexity of the study but we were looking anywhere from \$100-200,000 in that range. We figured we were going to end up right around that \$150,000 range when it's all said and done but that was all to be determined once it's determined the complexity.

Dr. McKenzie: And I would like to point out that the more that the Planning Commission could do, the less work is going to be entailed in having the outside person complete the plan. So it would be within our ability to reduce the final cost to the City. But it is our purpose as a Planning Commission

to at least steer the ideas and not simply having a plan that is determined by outsiders for us. For then it becomes very very important which firm you choose.

Mr. Havener: I agree whole heartedly. We would not want to not have the involvement of the Boards and Commissions in the Administration of the City. It would not be a process that would be dictated to the City by any stretch of the imagination. But their professionalism and experience and previous planning would definitely be a benefit to the City.

Dr. McKenzie: So, once again, looking at something that we could at least think about, the Historic Overlay which has been on our minds, or at least on my mind recently, because of that site review that we had to do. Do you know the history of that? Do the rest of the people on the Commission know the history of that? What did Council have in mind, what was the thinking when they made the Historic District Overlay? Do you know what the logic was? And this is just from somebody who was living in the community at the time, but there were a fair number of other communities that were having success with revitalizing their downtowns based upon antique sales and somebody had an idea that it would be a good thing for Reynoldsburg and so that really was the impetus, the beginning motivation to developing that historic district overlay. And it didn't really work out. And it was quite, for someone, like myself, who has depth of knowledge in a variety of areas including architecture, that one could look at the existing shopping center where the new retail place was going and it is now of an age to be considered historic and in fact there are movements in Cities around the country to preserve what is known as mid-century modern architectural design and bemoaning the destruction of that which that shopping center is clearly within that purview. Unfortunately, it is in the cheap end of mid-century modern architecture, but if you'd notice, even looking at the parking lot, from an architectural standpoint, what the applicant was proposing for their parking lot, did not fit with the historical idea of the parking lots of that time and would not because of concerns of surface run off and contamination from automobile drippings. But those are just some complications when we get in this idea of historic preservation that I don't believe from my small observations of Design Review Board, I'm not sure often times come up in the thinking of people when they speak, one cannot find that sensitivity to what it means to be historically conserving within the historic commercial overlay. So those are some of those things you might want to entertain just as a big picture type of thing so if nothing else we can give greater definition to some ideas that are consistent across cities as they would be applying to Reynoldsburg.

Mr. Cullinan: I will say I haven't been on Design Review Board for several years, my recollection is that there was great sensitivity to what's going on in the historical overlay section to the point where you end up shoehorning almost anachronisms. So for instance, if you drive out past, Graham Road, there is a little medical facility just to the east of that affiliated with Mt. Carmel. What you'll notice is, that is a wood cut sign. But we said, and I know that is a little thing, and I will say, if you go to the Design Review Board, and you listen to someone in the neighborhood who wants to change their house, and if I want to change my house out in my neighborhood, I don't have to come to Design Review Board for the most part. I just paint my house whatever color I want, but those houses.. anyhow.. with respect to the comprehensive plan, the only thing I would say is, and I know this would be part of the plan, but, Reynoldsburg needs to figure out what it does different and what it does better. Maybe the answer to that right now is nothing. If the answer to that is nothing, then it's got to change. Because if we're just Pickerington with a lower millage on our schools, you're going to get one thing, but we do have advantages. We're really close to some of the stuff that's close to Etna Township and I know we aren't related to it, but with the logistics going on in the next 10-20 years and maybe there is something they can do in open space here with that. But we don't have some of the advantages that the other suburbs have because they had investments 20-30 years ago with certain things that we didn't invest in at that point so we need to figure out what our advantages are and what we can do better because otherwise if it's just we're Whitehall without the DSCC, and all we're going

to attract, and I have no problem with Dollar General Stores, there's a reason that Dollar General Stores want to come to our town, but that's not going to get you a commercial, much less light industrial base. I apologize for digression.

Dr. McKenzie: It's not a digression, that is exactly what the Planning Commission ought to be engaged in. That is exactly what a Comprehensive Plan is supposed to do. Now Mr. Havener and I and several other people went to that Columbus 2020 thing 2 years ago? A year and a half ago? And that's exactly what they were talking about. So it's, yes, whether Reynoldsburg has done that or not.. but certainly this is something that people that Reynoldsburg would be told to do, whether there has been any progress on it in the last year and a half I can't see any evidence of it but..

Mr. Havener: All of these things have been discussed, believe me inside the offices. The only thing that has truly deterred us from these things, ever since I've been here, we've been talking about developing a master plan so we could push these ideas forward and incorporate these ideas into a plan that made sense. Otherwise, Eric and I right now, we're addressing things on an as needed basis. We don't have a plan in place and we're addressing each use as it comes to the City and saying, does this fit the code requirements and that's basically what we have to go by right now.

Dr. McKenzie: But the Code and the Zoning requirements are integral to what the City become. They can both aid the development and impede the development. So if the ideas that are coming are constantly being compared or configured within a code that, I would like to say, continues to be out of date, not particularly consistent with what the innovators of future suburbia are saying, then it's not going to get you anywhere. So that's, that integration of those are once again, part and parcel of what a comprehensive plan should entail. It should not simply be a wish list of what we want Reynoldsburg to become, it has to be tailored with zoning such that it would make that possible and it was earlier said that the text that I was referring to Master level or Graduate level text and in fact they're not, there is a movement within schools to make the focus on primary readings rather than secondary readings and the four books that I was talking about not. Not published by text book publishers although often times the people who are writing them are professionals within the field who have PhDs at colleges and stuff. These are including Infinite Suburbia, are not tailored to people who are pursuing Masters Degrees or anything these are tailored at people like us or even just people living in communities in suburbs who want change. I just have a different perspective on this. When I was teaching in College, I was one of the people who believed in not using textbooks but going for primary sources so.. they are not written at Graduate school level, I can tell you that.

Mr. Snowden: Regarding the Code, I don't disagree with you, but let me just state a little bit about my philosophy. Everything you said about the code is absolutely accurate. The plan informs the code. When you lack a plan, in a lot of ways I'm just regulating essentially nothing. I'm regulating a plan from 1965 because that's really what the code..

Mr. Snowden went on to state that he is trying to fix and make the code functional and make the Development process work. He added that if a Planning Commission/City Council wanted to bring forward a form based Code he would support it.

Dr. McKenzie said that it is possible that everything that Planning Commission recommends to Council could be rejected as the job of the Planning Commission is to advise Council. He would not feel that it would be a waste of time even if there were a consensus on something that Council would reject. He said he would not consider the Brice Road and the Olde Reynoldsburg sub-plans as applicable, but good case studies in what won't work. He feels that if the Commission becomes more

knowledgeable about the Comprehensive plan, it will inform decision making even if the future just includes zoning and site review.

Mr. Comeaux stated that he will definitely be reading up on the types of zoning and that the plan should drive any changes. He stated he doesn't feel that the City isn't getting the kind of Development is because of the Zoning because it isn't that different from other communities. He feels that the Commission should keep an open mind and fully intends to keep an open mind himself and when looking at the Seaside, Florida example, what is driving them is not the zoning but something else be it business, education, something.

Dr. McKenzie responded that he believes it is the zoning code first and foremost that drives everything in Seaside Florida as it is a planned community and that Reynoldsburg is a great example of housing developments gone wrong which has a big impact on behavior of people that live in those communities.

Mr. Comeaux responded that New Albany is also a planned community who's zoning is not that dissimilar from that of Reynoldsburg. He stated that they had something, being a wealthy man that wanted to develop in a very particular way and that communities need to take advantage of their competitive advantage.

Mr. Havener said that Reynoldsburg's strong point is logistics.

Dr. McKenzie asked for a definition of logistics.

Mr. Havener responded ease of access, transportation, means of getting product from one place to another.

Mr. Snowden asked Chairman McKenzie for time to cover item 2 on the agenda.

The Commission moved on to item 2.

2. Design Review Board/Planning Commission Merger

Mr. Snowden gave a report to the Planning Commission regarding the Design Review Board it is created by Zoning Code. It typically reviews building architecture. When Reynoldsburg's Design Review Board was created, there was no major site plan review. The only review of a project for which a zoning district was not changing by a city body was Design Review Board essentially reviewing what we call major site plan. That is why Design Review Board has the power to review building architecture and parking and landscaping and all of those things that they don't have in other models. He continued that the problem is now, that there is a lot of redundancy in the reviews. He said that options for these issues are to change Design Review Board responsibilities to only cover building architecture and Planning Commission wouldn't review building architecture and meeting order would need to be reversed. So building architecture would be approved, and then site plan would be approved. The building then could go anywhere and Planning Commission would ultimately approve the entire site. Design Review Board would have other duties such as signage, residential within the historic district and so forth. Mr. Snowden went on to state that model B which is staff preference is that Planning Commission would do all of the reviews. They would do Certificates of appropriateness and all that Design Review currently does. The advantage is that there is only one stop for these items; the disadvantage is that

one body handles all of it. Mr. Snowden stated that this is just the beginning of the discussion and that if the groups went with the "model B" expansion of Planning Commission would need to be an option.

Mr. Comeau stated that he thought that a one location might be a good idea. He also agreed that the panel should be bigger that that perhaps the way that panel members are selected might need to be different. He felt that the ability to get members with the eye for the job would be important.

Mr. Snowden responded that if there were more positions there would be that ability to have that. He said also that with one body, some of the signage (with the exception of the comprehensive sign plans) and paint color changes could be done by staff to keep the volume down on the Planning Commission down.

Mr. Cullinan stated that from the applicant side, the second option is definitely more streamlined and it seems like there is more progress. He said that would be his preference.

Dr. McKenzie stated that combining the two boards is generally frowned upon because they were hard to manage internally. He said there is a greater chance of Boards "blowing up" over strongly held preferences. He added that he agreed with Mr. Snowden that the way things are being done now can be improved upon.

Mr. Snowden said whichever model A or B, is chosen, it needs to be done quickly as possible or there will continue to be problems down the road and they will get more complex. Mr. Snowden asked for both Planning Commission and Design Review Board to provide him with questions so that a consensus can be reached on this topic.

C. ADJOURNMENT

Chairman

Planning and Zoning Administrator

Minutes Acceptance: Minutes of May 4, 2017 6:00 PM (APPROVAL OF MINUTES)

Development Department**Eric Snowden****7232 E. Main Street****Reynoldsburg OHIO 43068****614-322-6829 Phone****ORDINANCE REQUEST**

DATE: **June 1, 2017****TO:****RE:** Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1187.07 Residential Appearance Standards of Chapter 1187 Special Provisions for Residential Uses. (First Reading 4/24/2017).

See the attached document for details of proposed text amendment.

1187.07 RESIDENTIAL APPEARANCE STANDARDS.

(c) General Provisions.

1. The height and bulk of any proposed building and structure on the site should be in scale and in proportion with surrounding structures and not dominate the site or neighborhood. The exterior finish shall not have exposed rough lumber and shall have a minimum of a stucco application, wood or vinyl siding or similar material.

2. All required site plans shall meet or exceed the minimum development standards (i.e., setbacks, open space, lighting standards, minimum parking and loading spaces, and landscaping requirements) established in this Zoning Code.

3. Building elevations, design characteristics and other architectural and aesthetic features shall not be unsightly, undesirable, or obnoxious in appearance; shall create an orderly and aesthetically pleasing environment; and shall be harmonious and compatible with existing development in the area.

4. New development or remodeling shall be designed in such a way as to upgrade the appearance and quality of the area.

6. No continuous wall is allowed to extend for more than 40 feet (40FT) without a recess or change in plane. At least twenty-five percent (25%) of the front facade of any new single or two family dwelling shall be clad in traditional or natural material. Any new multi-family dwelling shall be constructed of a minimum of seventy-five percent (75%) traditional and natural material. Traditional and natural materials shall consist of clay bricks, stone, cultured stone, stucco, and wood or fiber cement board siding.

7. New accessory structures or building additions shall match the existing bulk, color, roof design, architectural treatment, and materials of the main structure on the site.

8. All utility lines and conduit lines shall be incorporated into the building and not permitted on the exterior of any building.

9. Window and door security gates or guards shall not be installed on the exterior of the structure.

Development Department**Eric Snowden****7232 E. Main Street****Reynoldsburg OHIO 43068****614-322-6829 Phone****ORDINANCE REQUEST**

DATE: June 1, 2017**TO: City Attorney's Office****RE:** Ordinance to Amend the Code of Ordinances of the City of Reynoldsburg, Ohio: Amending Section 1183.05 Standards for Development Review of Chapter 1183 Planned Neighborhood Development District and Section 1184.05 Standards for Development Review of Chapter 1184 Planned Commercial Development District. (First Reading 4/24/2017).

See the attached document for details of proposed text amendment .

1183.05 STANDARDS FOR DEVELOPMENT PLAN REVIEW.

(a) Standards for Review. In reviewing and determining whether to recommend approval or disapproval of a Planned Neighborhood Development District, its development plan, ~~and detailed development plan~~ or subsequent site plan, the Planning Commission and City Council shall consider, but shall not be limited to consideration of, the following characteristics of the proposed development:

(1) The comprehensive nature and design of the development or site plans, including appropriate and intentional design of the physical, aesthetic, and economic relationships among its parts.

(2) The suitability of the site proposed for zoning as a Planned Neighborhood Development District, including its location, size, width, relationship to existing development in the community and in abutting communities, natural features, relationship to community plans, and such other characteristics as the Planning Commission and City Council may deem important

1184.05 STANDARDS FOR DEVELOPMENT AND SITE PLAN REVIEW.

(a) Standards for Review. In reviewing and determining whether to recommend approval or disapproval of a Planned Commercial Development District, its development plan, or subsequent site plan, the Planning Commission and City Council shall consider, but shall not be limited to consideration of, the standards of Section 1151.04, Section 1103.12 and the following characteristics of the proposed development:

(1) The comprehensive nature and design of the development or site plans, including appropriate and intentional design of the physical, aesthetic, and economic relationships among its parts.

Planning Commission**Eric Snowden****7232 E. Main Street****Reynoldsburg OH 43068****614-322-6829 phone****Memo**

DATE: June 1, 2017**TO: Planning Commission****CC:****RE: Application #178153 Major Site Plan; Applicant United Dairy
Farmers; 137 Waggoner Road & 7619 East Broad Street.**

Application #178153 Major Site Plan; Applicant United Dairy Farmers; 137 Waggoner Road & 7619 East Broad Street.

See attached documentation for details.



CITY OF REYNOLDSBURG
Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

Application #: 178153
Permit #: _____
Date Submitted: 4/28/17
Fee Amount: \$500.00
☒ Paid: 000569
677

PLANNING COMMISSION APPLICATION

II. PROPERTY INFORMATION

Property Address:

137 South Waggoner Road & 7619 E. Broad Street

Description of Location:

Southwest corner of Broad Street & Waggoner Road

Parcel ID(s):

067-000068-00, 067-000073-00, 067-000009-00

Number of

Lots: 3

Present Zoning:

PCD

Present Use:

Residential & Undeveloped

Complete Where Applicable:

Engineer/Surveyor: CESO, Inc

Builder: _____

FOR DISTRICT AMENDMENT ONLY

Proposed Zoning:

Size of Area to be Rezoned:

Existing Structures:

Proposed Use:

III. PROPERTY OWNER OF RECORD

Property Owner Name(s):

Robert G Peatross
Meadowood Asset Management, LLC

Property Owner Address(s):

137 South Waggoner Road Reynoldsburg, OH 43068
200 Public Sq STE 4020 Cleveland, OH 44114

IV. APPLICANT INFORMATION

Applicant Name:

United Dairy Farmers

Applicant Address:

3955 Montgomery Road Cincinnati OH 45212

Applicant Phone Number:

513-396-8744

Applicant Email:

tkling@udfinc.com

I. PROJECT TYPE



District Amendment (Rezoning)

(\$750 Residential plus \$50 per lot/\$1,000
Non-Residential)Amendment of
Development Plan or Text
(\$500)Major Site Plan
(\$500)Applicant Signature: Tim Kling - Director of Planning & ZoningDate: 4.6.17

By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:

Zoning Information

- ☐ Historic District
☐ CC Overlay

Add'l Approvals Req'd

- ☐ DRB
☐ BZBA

Planning Com. Meeting

Date: 6/1/17

- ☐ Approved as Submitted
☐ Approved w/ Conditions
☐ Tabled
☐ Denied

City Council Meeting

Date: N/A

- ☐ Approved as Submitted
☐ Approved w/ Conditions
☐ Tabled
☐ Denied

P&Z Admin.: _____ Date: _____

Clerk of Council: _____ Date: _____



PROPERTY DATA:

SITE REQUIREMENTS:

BUILDING SETBACKS:	FRONT YARDS - 40', REAR YARD - 60' LEFT YARD - 60'
PARKING SETBACKS:	FRONT YARD - 15', REAR YARD - 15' RIGHT YARD - 15', LEFT YARD - 15'
SIGN SETBACKS:	N/A
STANDARD PARKING DIMENSIONS:	9'Wx18'L
MINIMUM DRIVE AISLE:	24'
PARKING REQUIRED:	UNITED DAIRY FARMERS CONVENIENCE STORE:

SITE ANALYSIS:

STANDARD DRAWINGS

ENGINEER
CESO, INC.
395 SPRINGSIDE DRIVE
SUITE 202
AKRON, OHIO 44333

CONTACT: NICK HERSHBERGER
PH: (330) 396-5696
EMAIL: HERSHBERGER@CESOINC.COM

ROADWAY

CITY OF REYNOLDSBURG ENGINEERING
DEPARTMENT - EMH&T (WAGGONER ROAD)
5500 NEW ALBANY ROAD
PH: (614) 775-4555
CONTACT: RYAN ANDREWS

CITY OF COLUMBUS (BROAD ST)
DEPARTMENT OF PUBLIC SERVICE
PH: (614)645-1694
CONTACT: DANIEL BLECHSCHMIDT

EROSION CONTROL

CITY OF REYNOLDSBURG ENGINEERING
DEPARTMENT - EMH&T
5500 NEW ALBANY ROAD
PH: (614) 775-4555
CONTACT: RYAN ANDREWS

GAS

200 CIVIC CENTER DRIVE
815 WALTON PARKWAY
NEW ALBANY, OH 43054-8233

FIRE

JEFFERSON TOWNSHIP FIRE DEPARTMENT
6767 HAVENS CORNERS ROAD
BLACKLICK, OH 43004
PH: (614) 861-3757
CONTACT: CHAD MAST

ELECTRIC

AMERICAN ELECTRIC POWER (AEP)
PH: (800) 672-2231

COMMUNICATIONS

AT&T
PH: (800) 288-2020

[illegible]

NOT FOR
CONSTRUCTION



COVER SHEET

UNITED DAIRY FARMERS

E. BROAD ST. & S. WAGGONER RD. REYNOLDSBURG, OHIO

ISSUE:	
SITE PLAN SUBMITTAL	
DATE:	
5/1/2017	
JOB NO.:	752862
DESIGN:	CAK
DRAWN:	CAK
CHECKED:	NRH
SHEET NO.	
C1.0	



LEGEND

EXISTING
REFER TO EXISTING
CONDITIONS SURVEY

PROPOSED

- CONCRETE CURB AND GUTTER
- PAVEMENT
- RETAINING WALL
- PROPOSED TREE CLEARING LIMITS
- XX' SBL
- SETBACK
- NUMBER OF PARKING STALLS
- CONCRETE PAVEMENT

A. GENERAL NOTES

- GENERAL SCOPE OF WORK INCLUDES:
 - BUILDING
 - CANOPY
 - FUEL TANKS
 - PIPING AND DISPENSERS
 - PARKING
 - ALL RADII TO BE 5'-0" UNLESS OTHERWISE NOTED
 - PROVIDED PARKING:
 - PARKING DIMENSIONS: VARIES
 - (2) ADA PARKING SPACES
 - (30) STANDARD CAR PARKING SPACES
 - (16) SPACES AT DISPENSERS
- 48 TOTAL PARKING SPACES

B. SITE WORK

- PROPOSED DRIVE ASPHALT APPROACH
- PROPOSED CURB OR CURB AND GUTTER

C. BUILDING

- UDF ICE CREAM PARLOR AND CONVENIENCE STORE

D. EXTERIOR APPEARANCE

- 3'x8' UNITED DAIRY FARMERS MONUMENT SIGN

E. DISPENSERS

- (8) DISPENSERS, SUMPS, AND ISLANDS (CAR)

F. UNDERGROUND STORAGE TANKS

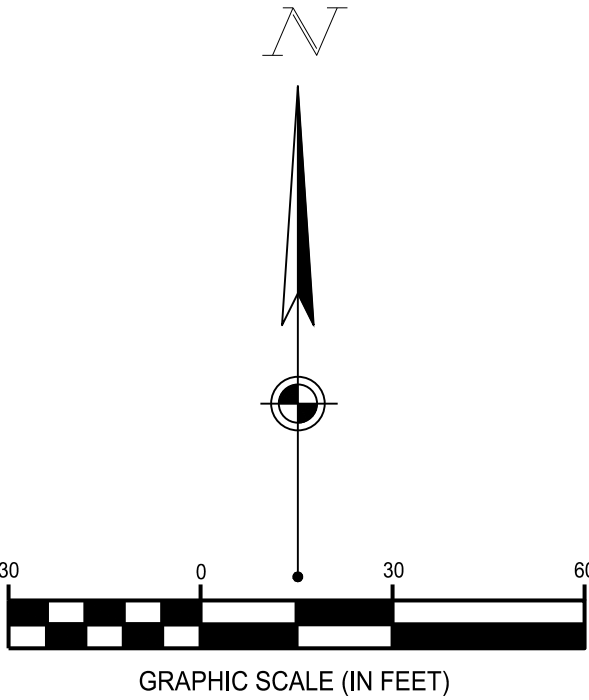
- CONCRETE SLAB AND PROPOSED UNDERGROUND FUEL STORAGE TANKS FOR GASOLINE/DIESEL

G. CANOPY

- 114' x 42' FUELING CANOPY.

H. YARD

- CONCRETE CANOPY SLAB
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- ADA RAMP
- PROPOSED RETAINING WALL
- PROPOSED RIGHT-IN RIGHT-OUT ISLAND



REVISIONS		DESCRIPTION
NO.	DATE	

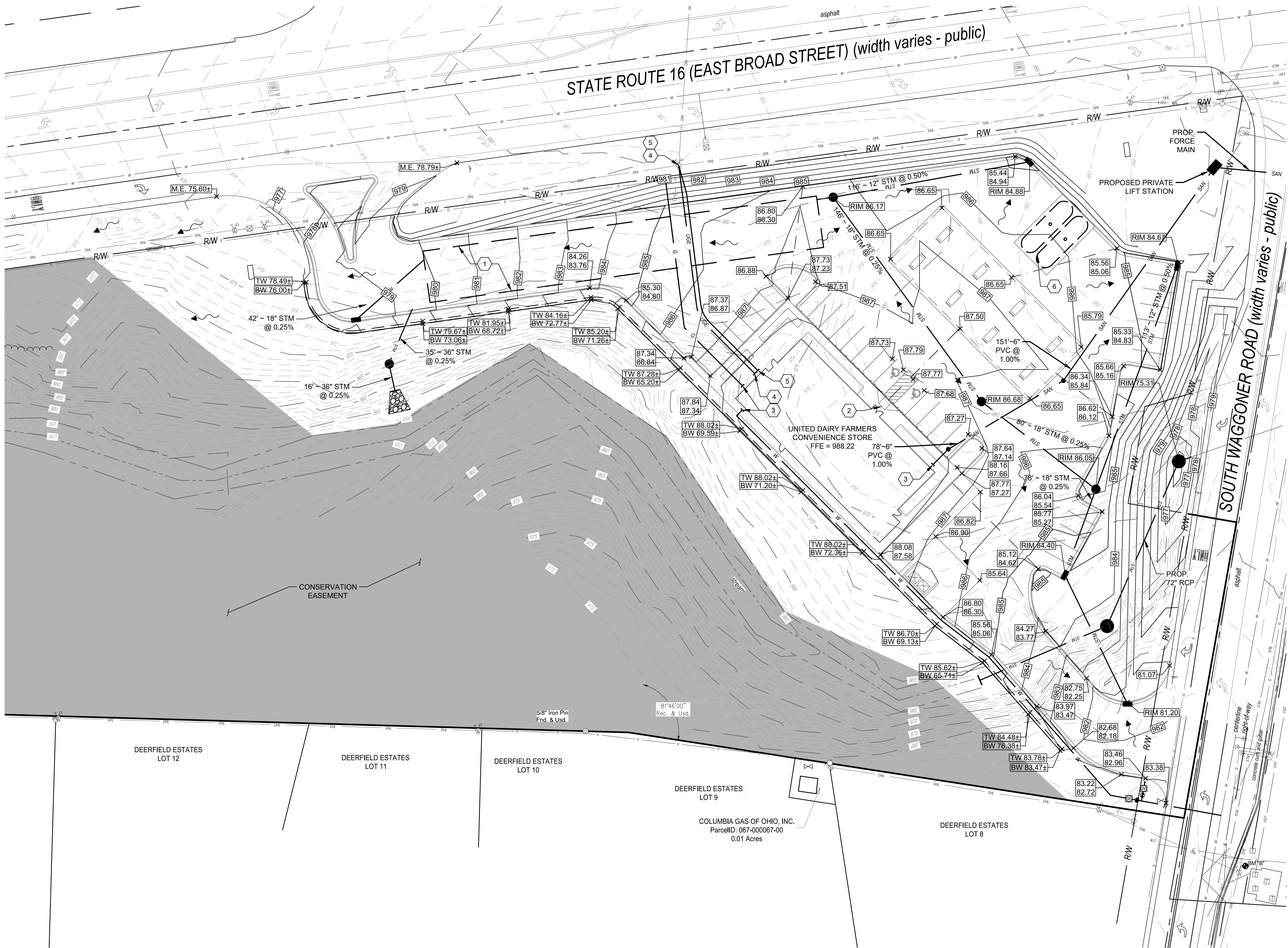
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United Dairy Farmers

ZONING SITE PLAN
UNITED DAIRY FARMERS
E. BROAD ST. & S. WAGGONER RD. REYNOLDSBURG, OHIO

ISSUE:
SITE PLAN SUBMITTAL
DATE:
5/1/2017
JOB NO.: 752862
DESIGN: CAK
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CHECKED: NRH
SHEET NO.
C2.0



GENERAL GRADING NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF REYNOLDSBURG REGULATIONS AND CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
- THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- STORM SEWER CATCH BASINS, CURB INLETS, MANHOLES, AND ENDWALLS SHALL CONFORM TO CITY OF REYNOLDSBURG STANDARD CONSTRUCTION DRAWINGS.
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
- PROVIDE 2% MAXIMUM CROSS SLOPE ON SIDEWALKS AND ADA PARKING AREA.

- ALL CURB AND WALL UNDERDRAINS SHALL OUTLET TO STORM SEWER SYSTEM. PROVIDE POSITIVE DRAINAGE TO CONNECTION POINT.
- CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET TO ALL SLOPES 3H:1V OR STEEPER.
- ADD 900.00 TO ALL SPOT ELEVATIONS SHOWN ON PLAN TO OBTAIN U.S.G.S. ELEVATIONS.
- REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
- PROVIDE STORM SEWER MINIMUM 2'-6" COVER UNLESS OTHERWISE NOTED.
- PROVIDE FINGER DRAINS AND CONCRETE COLLARS ON ALL PROPOSED STORM SEWER STRUCTURES IN PAVEMENT PER CONSTRUCTION DETAILS SHEET.

GENERAL UTILITY NOTES:

- AS CONSTRUCTION ACTIVITIES APPROACH AN EXISTING UTILITY LINE, THE CONTRACTOR SHALL LOCATE THE LINE, DETERMINE IT'S EXACT LOCATION, AND MAKE GRADE ADJUSTMENTS BY DEFLECTING THE PIPELINE FITTINGS. MAXIMUM FITTING DEFLECTION SHALL BE PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF VESTIBULE, CANOPY, SIDEWALKS, EXIT PORCHES, RAMPS, DRIVE THRU, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS AND PHOTOMETRIC PLAN FOR SITE LIGHTING DESIGN.
- PROVIDE WATER LINE MINIMUM OF 2'-6" COVER.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROVIDE THRUST BLOCKS AT VALVES, TEES, FITTINGS AND ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF THE WATER LINE. PERFORM ALL WATER LINE WORK IN ACCORDANCE WITH ODOT STANDARDS.

CODED NOTES

- UNDERGROUND DETENTION SYSTEM
- ADA RAMP
- COORDINATE UTILITIES WITH PLUMBING CONTRACTOR. CAP AND MARK FOR FUTURE CONNECTION. FINAL CONNECTION BY PLUMBING CONTRACTOR.
- COORDINATE WITH BUILDING CONTRACTOR AND ELECTRIC COMPANY FOR CONNECTION AND LOCATION OF ELECTRIC SERVICE.
- COORDINATE WITH BUILDING CONTRACTOR AND TELEPHONE COMPANY FOR CONNECTION AND LOCATION OF TELEPHONE SERVICE.
- UNDERGROUND FUEL STORAGE TANKS

LEGEND	
EXISTING	
REFER TO ALTA/ACSM TOPOGRAPHIC SURVEY	
PROPOSED	
[Line 975]	MAJOR CONTOUR
[Line 974]	MINOR CONTOUR
[Dashed line]	RIDGE LINE
[Line STM]	STORM SEWER
[Line SAN]	SANITARY SEWER
[Line W]	DOMESTIC WATER SERVICE
[Line UGE]	UNDERGROUND ELECTRIC SERVICE
[Line G]	GAS SERVICE
[Line UGT]	TELEPHONE SERVICE
[Circle with dot]	WATER VALVE
[Circle with X]	WATER METER
[Circle]	STORM STANDARD MANHOLE
[Square]	STORM CURB INLET
[Line]	STORM ENDWALL
[Circle]	SANITARY STANDARD MANHOLE
[Circle]	SANITARY CLEANOUT
[XXX.XX]	SPOT ELEVATION
[XXX.XX] [XXX.XX]	TOP OF CURB BOTTOM OF CURB
[TW 85.73+ BW 75.26+]	TOP OF WALL BOTTOM OF WALL
[X]	TOP OF CASTING ELEVATION
[Pattern]	RIP RAP
[Arrow]	FLOW ARROW

PRELIMINARY STORM CALCULATIONS

SOIL TYPE = CARDINGTON SILT LOAM (Crd1B1) - C/D
DISTURBED AREA = 2.67 AC.

EXISTING:

IMPERVIOUS AREA = 0.10 AC.
WOODED AREA = 2.58 AC.
CN = 78

PROPOSED:

IMPERVIOUS AREA = 1.53 AC.
GRASS AREA = 1.15 AC.
CN = 90

EX. 1-YEAR RUNOFF, Q = 0.59 in.
PROP. 1-YEAR RUNOFF, Q = 1.28
EX. 1-YEAR RUNOFF VOLUME = 5,697 CF
PROP. 1-YEAR RUNOFF VOLUME = 12,429 CF

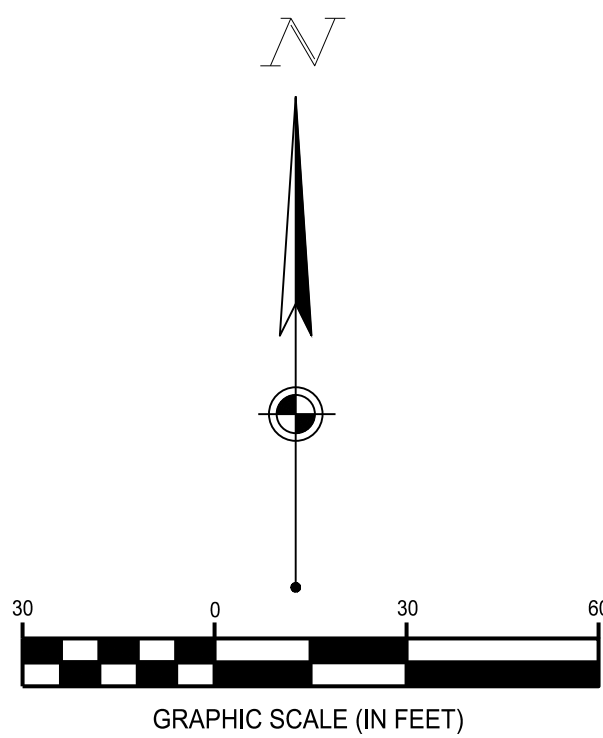
*INCREASE OF 118% IN RUNOFF, 25-YEAR CRITICAL STORM

STORAGE VOLUME REQUIRED = 19,200 CF

(3) 72" PIPES
UNDERGROUND DETENTION FOOTPRINT = 230' L x 30' W

PRELIMINARY EARTHWORK:

CUT = 54 CY
FILL = 26,483 CY
NET = 26,429 CY



REVISIONS	
NO.	DATE

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United Dairy Farmers

PRELIMINARY GRADING AND
UTILITY PLAN

UNITED DAIRY FARMERS

E. BROAD ST. & S. WAGGONER RD. REYNOLDSBURG, OHIO

ISSUE:
SITE PLAN SUBMITTAL
DATE:
5/1/2017

JOB NO.: 752862
DESIGN: CAK
DRAWN: CAK
CHECKED: NRH

SHEET NO.
C3.0

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**United
Dairy
Farmers**

PRELIMINARY SANITARY
EXTENSION PLAN

UNITED DAIRY FARMERS

E. BROAD ST. & S. WAGGONER RD. REYNOLDSBURG, OHIO

ISSUE: ZONING PLANS	
DATE: 5/1/2017	
JOB NO.:	752862
DESIGN:	CAK
DRAWN:	CAK
CHECKED:	NRH
SHEET NO. Z4.0	

CONSULTANTS

SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TITLE

UDF
REYNOLDSBURG, OH

CLIENT

PROJECT NO.

Date 01/06/2017

Revisions

Sheet Title

TREE
PRESERVATION
&
REMOVAL PLAN
Sheet Number

L1.01

LEGEND

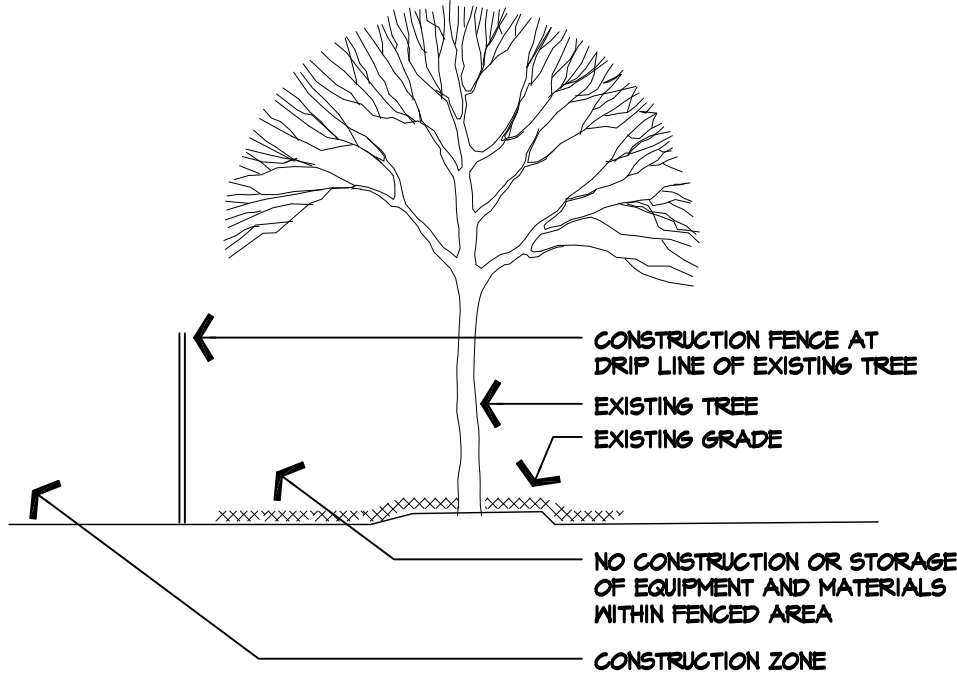
- 176 TREE NUMBER
- TREE LOCATION (APPROX.)

GENERAL NOTES

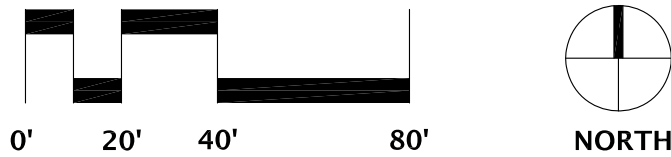
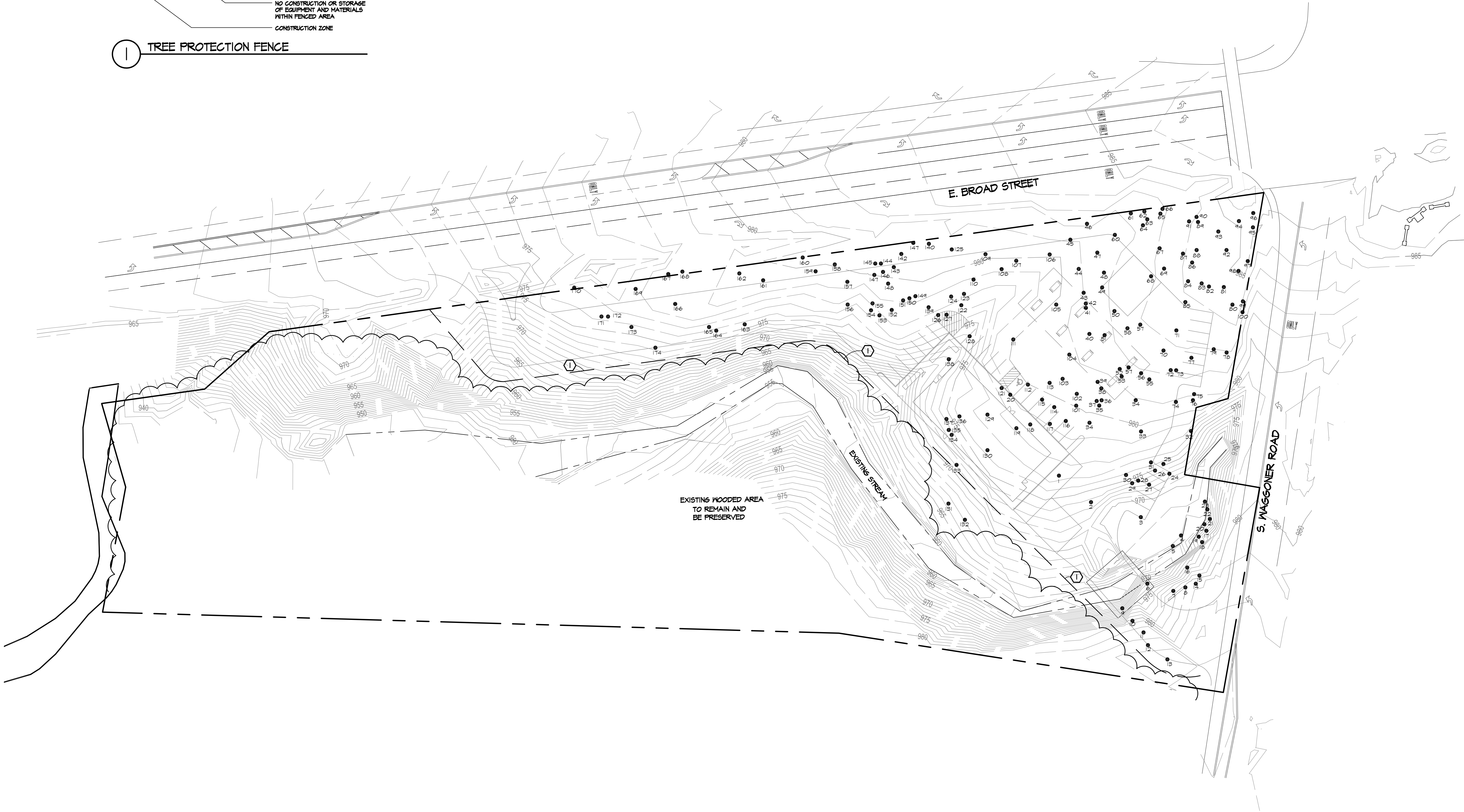
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- ALL DEMOLITION MATERIALS TO BE DISPOSED OF LEGALLY OFF SITE, UNLESS SPECIFICALLY NOTED OTHERWISE.
- PLAN BASED ON TREE SURVEY PREPARED BY:
EDGE GROUP INC.
330 WEST SPRING STREET, STE 350
COLUMBUS, OHIO 43215
(614)486-3343
WWW.EDGEA.COM

CONSTRUCTION NOTES

- ORANGE CONSTRUCTION FENCE. PLACE FENCE A MINIMUM OF ONE FOOT (1') OF RADIUS PER ONE INCH (1") OF CALIPER OF THE TREE. SEE DETAIL # 1, THIS SHEET.



1 TREE PROTECTION FENCE



TREE INVENTORY

TREE NUMBER	SPECIES	DBH	CONDITION	COMMENTS	1180.5
1	MAPLE	22"	AVERAGE	MULTI-STEM	2
2	MAPLE	28"	AVERAGE	EXEMPT	2
3	ASH	20"	POOR	DEAD	
4	MAPLE	22"	GOOD	EXEMPT	2
5	WALNUT	20"	AVERAGE		2
6	LINDEN	8"	AVERAGE	EXEMPT	2
7	COTTONWOOD	23"	POOR	EXEMPT	4
8	MAPLE	21"	POOR	EXEMPT	4
9	WALNUT	18"	POOR	EXEMPT	2
10	WALNUT	8"	POOR	EXEMPT	2
11	WALNUT	20"	POOR	EXEMPT	2
12	WALNUT	10"	POOR	EXEMPT	2
13	WALNUT	20"	AVERAGE	EXEMPT	2
14	LINDEN	(4)10"-14"	POOR	EXEMPT	4
15	OAK	10"	POOR	EXEMPT	4
16	OAK	12"	POOR	EXEMPT	4
17	TREE OF HEAVEN	12"	AVERAGE		2
18	BOX ELDER	8"	POOR	EXEMPT	4
19	TREE OF HEAVEN	8"	POOR	EXEMPT	4
20	BOXELDER	12"	POOR	EXEMPT	4
21	CATALPA	10"	POOR	EXEMPT	4
22	CATALPA	14"	AVERAGE		2
23	CATALPA	18"	POOR	EXEMPT	4
24	MAPLE	16"	POOR	EXEMPT	2
25	ASH	30"	DEAD	EXEMPT	2
26	ASH	14"	POOR	DEAD	
27	MAPLE	20"	POOR	LEAVING AGAINST ANOTHER TREE	4
28	WALNUT	18"	POOR	EXEMPT	2
29	ASH	8"	POOR	DEAD	
30	MAPLE	24"	POOR	EXEMPT	2
31	MAPLE	16"	AVERAGE	EXEMPT	2
32	MAPLE	20"	POOR	EXEMPT	2
33	WALNUT	17"	POOR	EXEMPT	2
34	BLACK LOCUST	7"	POOR	EXEMPT	2
35	BLACK LOCUST	14"	AVERAGE	EXEMPT	2
36	MAPLE	10"	POOR	EXEMPT	2
37	MAPLE	10"	POOR	EXEMPT	2
38	MAPLE	10"	AVERAGE	EXEMPT	2
39	MAPLE	8"	AVERAGE	EXEMPT	2
40	MAPLE	10"	GOOD	EXEMPT	2
41	MAPLE	10"	POOR	EXEMPT	2
42	LOCUST	8"	POOR	EXEMPT	2
43	LOCUST	11"	AVERAGE	EXEMPT	2
44	LOCUST	10"	AVERAGE	EXEMPT	2
45	MAPLE	15"	POOR	EXEMPT	2
46	LOCUST	12"	POOR	EXEMPT	4
47	LOCUST	8"	AVERAGE	EXEMPT	2
48	MAPLE	7"	POOR	EXEMPT	2
49	MAPLE	9"	AVERAGE	EXEMPT	2
50	MAPLE	7"	AVERAGE	EXEMPT	2
51	ASH	20"	POOR	DEAD	
52	MAPLE	7"	AVERAGE	EXEMPT	2
53	MAPLE	8"	AVERAGE	EXEMPT	2
54	LOCUST	16"	AVERAGE	EXEMPT	2
55	MAPLE	8"	GOOD	EXEMPT	2
56	MAPLE	7"	AVERAGE	EXEMPT	2
57	MAPLE	7"	AVERAGE	EXEMPT	2
58	LOCUST	20"	POOR	EXEMPT	2
59	MAPLE	16"	AVERAGE	EXEMPT	2
60	MAPLE	7"	AVERAGE	EXEMPT	2
61	MAPLE	10"	AVERAGE		2
62	LOCUST	12"	POOR	EXEMPT	4
63	LOCUST	18"	AVERAGE		2
64	LOCUST	10"	POOR	EXEMPT	4
65	LOCUST	14"	POOR	EXEMPT	4
66	MAPLE	12"	POOR	EXEMPT	4
67	LOCUST	12"	POOR	EXEMPT	4
68	MAPLE	10"	AVERAGE	EXEMPT	2
69	MAPLE	7"	POOR	EXEMPT	4
70	LOCUST	15"	POOR	EXEMPT	2
71	MAPLE	7"	AVERAGE	EXEMPT	2
72	LOCUST	14"	POOR	EXEMPT	2
73	MAPLE	7"	AVERAGE	EXEMPT	2
74	LOCUST	15"	POOR	EXEMPT	2
75	LOCUST	8"	POOR		4
76	LOCUST	12"	POOR		4
77	MAPLE	8"	AVERAGE	EXEMPT	2
78	ASH	30"	POOR	DEAD	

TREE INVENTORY

TREE NUMBER	SPECIES	DBH	CONDITION	COMMENTS	1180.5
79	MAPLE	12"	POOR	EXEMPT	4
80	MAPLE	20"	AVERAGE		2
81	ASH	18"	POOR	DEAD	
82	MAPLE	10"	AVERAGE		2
83	MAPLE	12"	AVERAGE		2
84	LOCUST	16"	POOR	EXEMPT	4
85	MAPLE	8"	AVERAGE	EXEMPT	2
86	MAPLE	8"	AVERAGE		2
87	MAPLE	8"	AVERAGE		2
88	LOCUST	16"	POOR	EXEMPT	2
89	LOCUST	10"	POOR	EXEMPT	4
90	MAPLE	8"	POOR	EXEMPT	4
91	LOCUST	10"	POOR	EXEMPT	4
92	MAPLE	12"	AVERAGE		2
93	LOCUST	10"	POOR	EXEMPT	4
94	LOCUST	10"	POOR	EXEMPT	4
95	LOCUST	10"	POOR	EXEMPT	4
96	LOCUST	10"	POOR	EXEMPT	4
97	MAPLE	10"	POOR	EXEMPT	4
98	MAPLE	10"	AVERAGE		2
99	MAPLE	8"	POOR	EXEMPT	4
100	MAPLE	8"	POOR	EXEMPT	4
101	LOCUST	16"	POOR	EXEMPT	2
102	MAPLE	12"	AVERAGE	EXEMPT	2
103	MAPLE	10"	AVERAGE	EXEMPT	2
104	LOCUST	15"	POOR	EXEMPT	2
105	MAPLE	10"	AVERAGE	EXEMPT	2
106	LOCUST	18"	POOR	EXEMPT	2
107	MAPLE	8"	AVERAGE	EXEMPT	2
108	LOCUST	12"	POOR	EXEMPT	2
109	HICKORY	10"	AVERAGE	EXEMPT	2
110	HICKORY	14"	GOOD	EXEMPT	2
111	MAPLE	7"	GOOD	EXEMPT	2
112	MAPLE	16"	POOR	EXEMPT	2
113	MAPLE	16"	POOR	EXEMPT	2
114	LOCUST	10"	POOR	EXEMPT	2
115	MAPLE	8"	AVERAGE	EXEMPT	2
116	LOCUST	10"	POOR	EXEMPT	2
117	MAPLE	8"	POOR	EXEMPT	2
118	MAPLE	8"	POOR	EXEMPT	2
119	MAPLE	10"	POOR	EXEMPT	2
120	MAPLE	12"	AVERAGE	EXEMPT	2
121	MAPLE	12"	POOR	EXEMPT	2
122	HICKORY	8"	GOOD	EXEMPT	2
123	HICKORY	7"	AVERAGE	EXEMPT	2
124	HICKORY	8"	AVERAGE	EXEMPT	2
125	HICKORY	18"	POOR	EXEMPT	2
126	HICKORY	12"	GOOD	EXEMPT	2
127	HICKORY	12"	AVERAGE	EXEMPT	2
128	MAPLE	12"	AVERAGE	EXEMPT	2
129	MAPLE	10"	POOR	EXEMPT	2
130	MAPLE	14"	GOOD	EXEMPT	2
131	MAPLE	18"	POOR	EXEMPT	2
132	MAPLE	20"	POOR	EXEMPT	2
133	WALNUT	20"	POOR	EXEMPT	2
134	MAPLE	8"	AVERAGE	EXEMPT	2
135	MAPLE	14"	AVERAGE	EXEMPT	2
136	MAPLE	14"	AVERAGE	EXEMPT	2
137	MAPLE	13"	POOR	EXEMPT	2
138	OAK	24"	POOR	EXEMPT	2
139	MAPLE	10"	POOR	EXEMPT	2
140	HICKORY	10"	AVERAGE		2
141	WALNUT	16"	AVERAGE	EXEMPT	2
142	WALNUT	12"	AVERAGE	EXEMPT	2
143	MAPLE	12"	AVERAGE	EXEMPT	2
144	WALNUT	15"	AVERAGE	EXEMPT	2
145	MAPLE	12"	AVERAGE	EXEMPT	2
146	WALNUT	15"	POOR	EXEMPT	2
147	WALNUT	18"	POOR	EXEMPT	4
148	WALNUT	16"	AVERAGE	EXEMPT	2
149	MAPLE	14"	AVERAGE	EXEMPT	2
150	MAPLE	14"	AVERAGE	EXEMPT	2
151	MAPLE	12"	AVERAGE	EXEMPT	2
152	HICKORY	8"	AVERAGE	EXEMPT	2
153	MAPLE	18"	POOR	EXEMPT	2
154	MAPLE	8"	AVERAGE	EXEMPT	2
155	MAPLE	10"	AVERAGE	EXEMPT	2
156	HICKORY	10"	AVERAGE	EXEMPT	2

TREE INVENTORY

TREE NUMBER	SPECIES	DBH	CONDITION	COMMENTS	1180.5
157	MAPLE	10"	AVERAGE	EXEMPT	2
158	MAPLE	10"	AVERAGE		2
159	MAPLE	8"	AVERAGE	EXEMPT	2
160	HICKORY	12"	AVERAGE		2
161	WALNUT	12"	AVERAGE	EXEMPT	2
162	MAPLE	36"	GOOD		2
163	MAPLE	14"	POOR	EXEMPT	2
164	MAPLE	10"	AVERAGE	EXEMPT	2
165	MAPLE	12"	AVERAGE	EXEMPT	2
166	WALNUT	16"	AVERAGE	EXEMPT	2
167	WALNUT	16"	AVERAGE		2
168	MAPLE	12"	AVERAGE		2
169	MAPLE	30"	POOR		4
170	MAPLE	24"	POOR	EXEMPT	2
171	OAK	20"	AVERAGE	EXEMPT	2
172	OAK	18"	AVERAGE	EXEMPT	2
173	OAK	18"	GOOD	EXEMPT	2
174	SYCAMORE	24"	GOOD	EXEMPT	2

CONDITION CATEGORIES

GOOD
AVERAGE
POOR
DEAD

MAJOR TREES REMOVED PER
'TREE PRESERVATION' SECTION 1180.5 (b) 18

MAJOR TREE REMOVED INDICATED BY TONE.

EXISTING WOODED AREA TO REMAIN
SHALL BE CREDITED TOWARD REQUIRED
LANDSCAPING PER 1180.9. SEE PLANTING
PLANS L2.01 - L2.02

CONSULTANTS

SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TITLE

UDF
REYNOLDSBURG, OH

CLIENT

PROJECT NO.

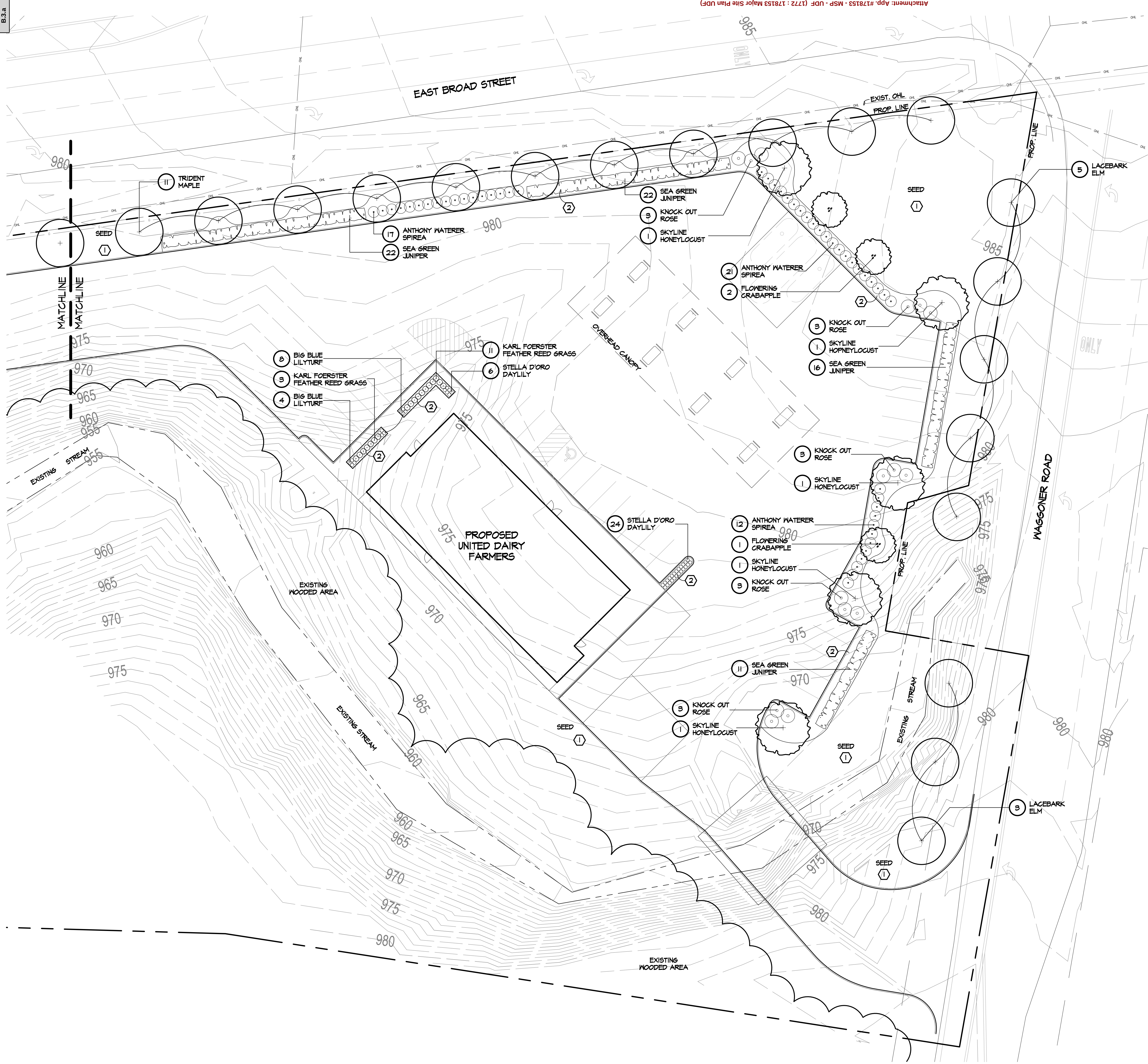
Date 01/06/2017

Revisions

Sheet Title

TREE
PRESERVATION
&
REMOVAL PLAN
Sheet Number

L1.02



GENERAL NOTES

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN 9" DEEP HARDWOOD BARK MULCH BED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES

- ① LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 4". MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24". MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

EDGE

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN

330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
614-486-3343

CONSULTANTS

SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TITLE

UDF
REYNOLDSBURG, OH

CLIENT

PROJECT NO.

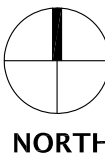
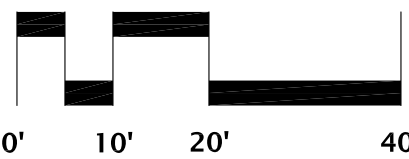
Date 01/06/2017
Revisions

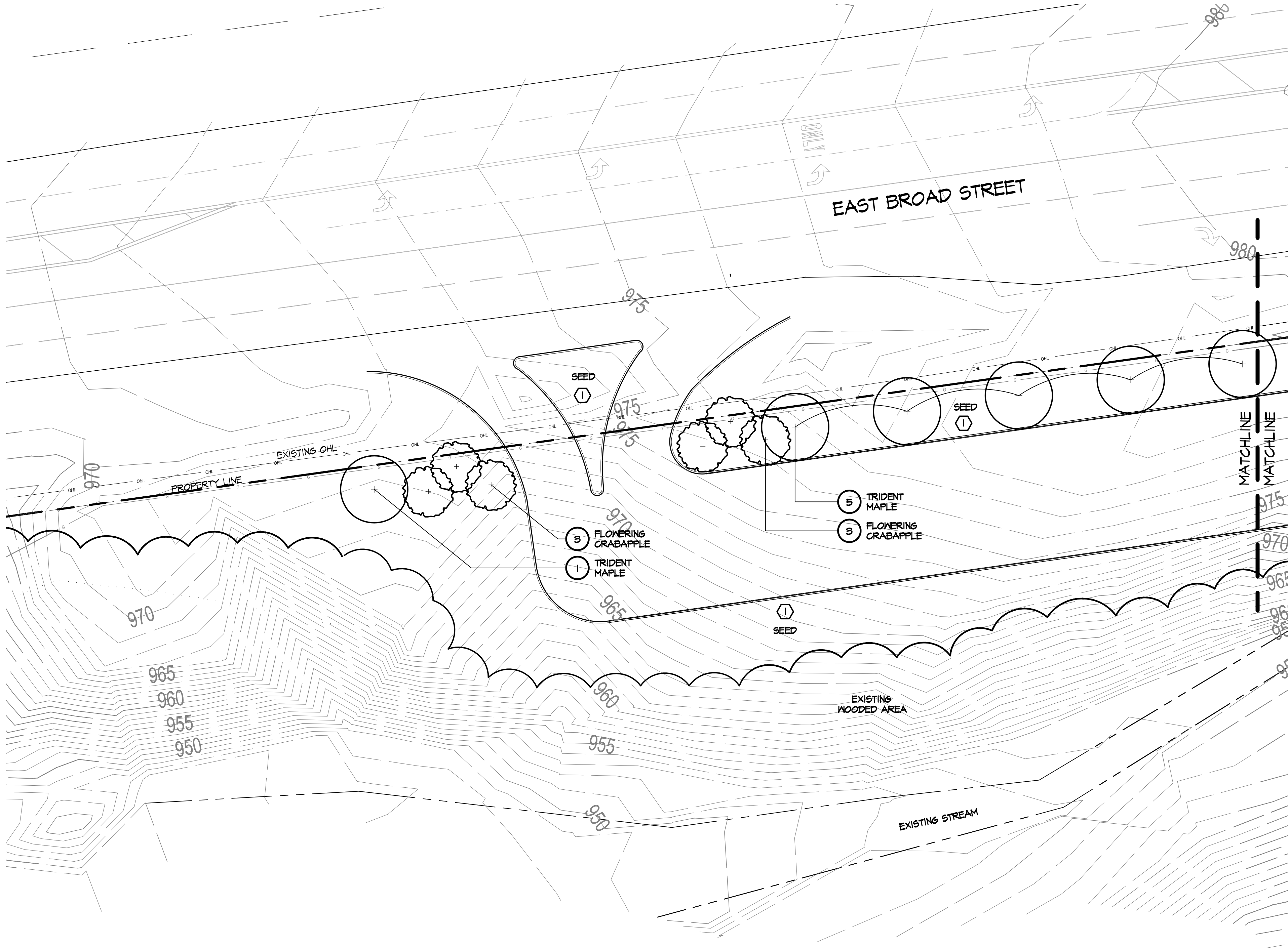
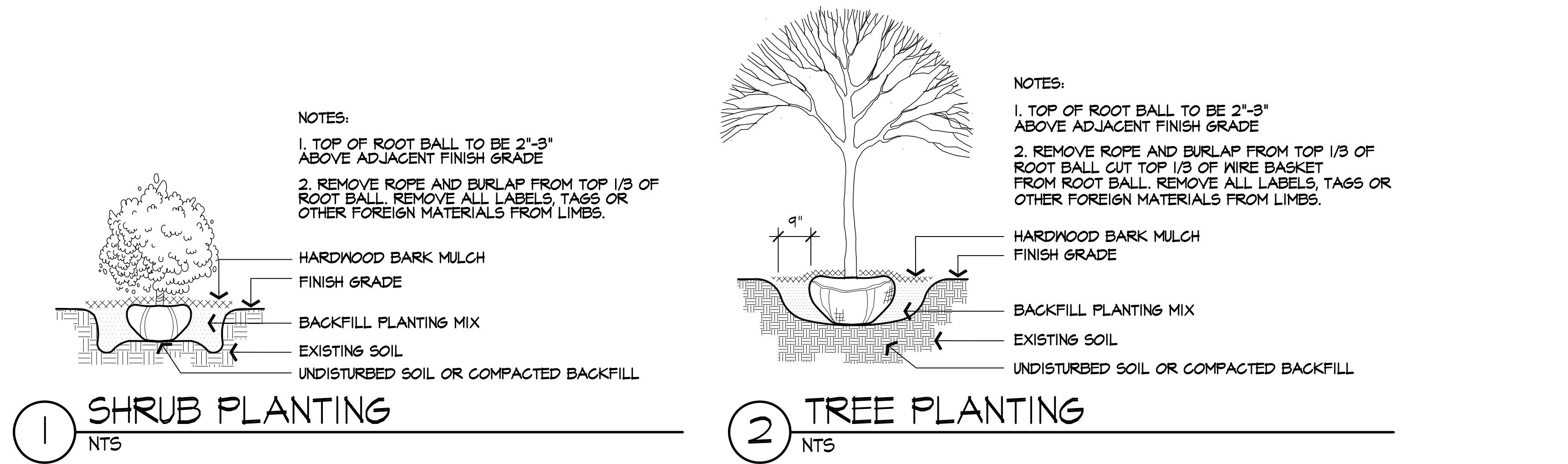
Sheet Title

PLANTING PLAN
EAST

Sheet Number

L2.01





GENERAL NOTES

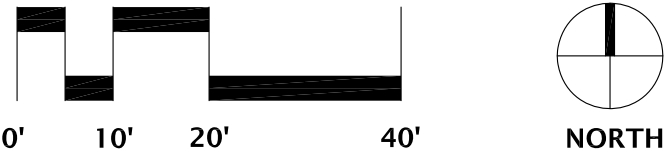
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 9" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES

- ① LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 4". MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

PLANT MATERIALS LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
TREES					
8	LACEBARK ELM	Ulmus parvifolia	2 1/2" Cal.	B&B	
5	SKYLINE HONEYLOCUST	Gleditsia triacanthos f. inermis 'Skycole' SKYLINE	2 1/2" Cal.	B&B	
16	TRIDENT MAPLE	Acer buergerianum	2 1/2" Cal.	B&B	REPLACEMENT
ORNAMENTAL TREES					
4	FLOWERING CRABAPPLE	Malus	2" Cal.	B&B	MULTI-STEM
SHRUBS					
50	ANTHONY WATERER SPIREA	Spiraea Japonica 'Anthony Waterer'	24" Hgt.	Cont.	
15	KNOCK OUT ROSE	Rosa 'Radrizz' KNOCK OUT	18"-24" Hgt.	Cont.	
71	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	24" Hgt.	Cont.	
PERENNIALS					
12	BIG BLUE LILLYTURF	Liriope muscari	1 Gal.	Cont.	
14	KARL FOERSTER FEATHER REED GRASS	Calamagrostis acutiflora Karl Foerster	1 Gal.	Cont.	
30	STELLA D'ORO DAYLILY	Heemerocallis 'Stella de Oro'	1 Gal.	Cont.	



EDGE

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN

330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
614-486-3343

CONSULTANTS

SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TITLE

UDF
REYNOLDSBURG, OH

CLIENT

PROJECT NO.
Date 01/06/2017
Revisions

Sheet Title

PLANTING PLAN
WEST

Sheet Number

L2.02

ALTA/NSPS LAND TITLE SURVEY

TITLE COMMITMENT LEGAL DESCRIPTION
Title Commitment #A34363-1304-06

Auditor's Parcel No. 067-000073 and 067-000068:

Situate in the State of Ohio, County of Franklin, City of Reynoldsburg, Quarter Township 4, Township 1, Range 16, United States Military Lands and being all of the remainder of Tracts Five and Seven as shown in the deed to REYNO Holding Co. of record in Official Record 30723107 and described as follows:

Beginning, for reference, at monument FCOS 5011 fowid marking the centerline intersection for East Broad Street (State Route 16) with Waggoner Road;

Thence South 09° 48' 44" West, with said centerline of Waggoner Road, 86.33 feet, being North 09° 48' 44" East, with said centerline of Waggoner Road, 705.49 feet from monument FCOS 4409 found;

Thence North 80° 11' 16" West, leaving said centerline, 40.00 feet to an iron pin set marking the intersection of the south right-of-way line for said East Broad Street with the west right-of-way line for said Waggoner Road, as shown on plan FRA/LIC-16-10.30/0.00 and on file with the Ohio Department of Transportation, the True Point of Beginning;

Thence South 09° 48' 44" West, with said west right-of-way line (Official Record 17771G07), 175.23 feet to an iron pin set;

Thence South 74° 19' 59" West, partly with said west right-of-way line (Official Record 16464D07) and partly with the original north line of the remainder of that 1.373 acre tract conveyed to Robert O. Peatross of record in Official Record 19785G13, 302.30 feet to an iron pin set marking the original northwest corner to said 1.373 acre tract;

Thence south 16° 51' 24" West, with the original west line of said 1.373 acre tract, 118.98 feet to a 3/4-inch iron pin found marking the southwest corner thereof, in the north line of Lot 9 of "Deerfield Estates" as recorded in Plat Book 33, Page 19;

Thence North 88° 22' 07" West, with a north line of said subdivision, (passing 5/8-inch iron pins found at 24.93 and 474.72 feet and a 3/4-inch iron pin found at 582.90 feet) 616.11 feet to an iron pin set marking a corner to Lot 14 of said subdivision as shown on said plat and in an old location of the centerline of Stone Quarry Rwi, being South 88° 22' 07" East, 23.7 feet from the current centerline of said Stone Quarry Run (2005);

Thence North 10° 31' 13" East, with an east line of said Lot 14 as shown on said plat and said old centerline, 106.34 feet to an iron pin set marking the most north corner to said Lot 14 as shown on said plat, said corner being in the old centerline of Stone Quarry Run in 1953, being 22.2 feet east of the current centerline of said Stone Quarry Run (2005);

Thence North 15° 52' 02" West, with said old centerline of Stone Quarry Run (1953), 72.70 feet to the said south right-of-way line, being in the current centerline of said Stone Quarry Run (2005);

Thence with said south right-of-way line (Official Record 17771G10); the following courses:

North 82° 02' 13" East, 86.93 feet to an iron pin set;

North 48° 20' 47" East, 72.11 feet to an iron pin set;

North 82° 02' 13" East, 839.82 feet to the True Point of Beginning. Containing 5.159 acres, more or less, 1.212 acres from Auditor's Parcel 067-000073 and 3.947 acres from Auditor's Parcel 067-000068.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

This description was prepared from existing records and an actual field survey performed in April 2005.

Bearings are based on the Ohio State Plane Coordinate System per NAD83, South Zone. Control for bearings was from coordinates of monuments FCGS 5011 and FCGS 4409, having a bearing of South 09° 48' 44" West, as established by the Franklin County Engineering Department.

All references refer to the records of the Recorder's Office, Franklin County, Ohio unless noted otherwise.

The property described and shown hereon is the same property as described in title commitment order number A34363-1304-06 with an effective date of SEPTEMBER 6, 2016 AT 7:59 a.m. prepared by Old Republic National Title Insurance Company.

SCHEDULE B - SECTION II
Title Commitment #A34363-1304-06

THIS ALTA/NSPS SURVEY IS EXECUTED HEREON PER TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FOR THE PROPOSED INSURED UNITED DAIRY FARMERS, INC AN OHIO CORPORATION,

THE POLICY OR POLICIES TO BE ISSUED WILL CONTAIN EXCEPTIONS TO THE FOLLOWING UNLESS THE SAME ARE DISPOSED OF TO THE SATISFACTION OF THE COMPANY:

COMMITMENT NO.: A34363-1304-06
EFFECTIVE DATE: SEPTEMBER 6, 2016 AT 7:59 a.m.

15. Easements, Covenants, Conditions and Restrictions by and between One Reynoldsburg Company, LLC, an Ohio limited liability company, and Lowe's Home Centers, Inc., a North Carolina corporation, dated August 15, 2007 and recorded August 15, 2007 as Document No. 200708160144766, Franklin County, Ohio Records.
- This item is not on the surveyed property.

16. Declaration of Covenants and Restrictions by Reyno Holding Co., a Delaware corporation, dated as of January 22, 2007 and recorded January 23, 2007 as Document No. 200701230013867, Franklin County, Ohio Records.
- Subject parcel is cited in this document.

A) Affidavit in Aid of Title by Lowe's Home Centers, Inc., a North Carolina corporation, dated as of August 15, 2007 and recorded August 16, 2007 as Document No. 200708160144760, Franklin County, Ohio Records.

17. Pipeline easement in favor of Columbia Gas of Ohio, Inc., as set forth in Right of Way recorded in Official Record Book 16346, Page F14, Franklin County, Ohio Records.
- This item is shown hereon within the subject parcel.

18. Easement for the construction of a perpetual watercourse, ditch, channel or other drainage facility in favor of the State of Ohio, as set forth in Easement for Channel Purposes recorded in Official Record Book 17771, Page F19, Franklin County, Ohio Records.
- This item is shown hereon within the subject parcel.

19. Pipeline right of way in favor of The Columbia Natural Gas Company, as set forth in Pipe Line Right of Way recorded in Miscellaneous Volume 12, Page 484, Franklin County, Ohio Records.
- This item is shown hereon crossing the subject parcel.

A) Assigned to the Central Ohio Gas Company by Assignment Right of Way recorded in Miscellaneous Volume 17, Page 522, Franklin County, Ohio Records.

B) Assigned to The Ohio Public Service Company by Assignment of Rights of Way recorded in Miscellaneous Volume 22, Page 492, Franklin County, Ohio Records.

C) Assigned to The Ohio Central Gas Company by Assignment of Rights of Way recorded in Miscellaneous Volume 27, Page 532, Franklin County, Ohio Records.

D) Assigned to The Ohio Fuel Gas Company by Assignment of Way recorded in Miscellaneous Volume 33, Page 235, Franklin County, Ohio Records.

E) Assigned to Columbia Gas of Ohio, Inc., an Ohio corporation, recorded Deed Volume 2548, Page 90, Franklin County, Ohio Records.

NOTES

- North and bearing system based upon NAD 83 (2011), OHIO NORTH Vertical datum based on NAVD 88.
- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by Old Republic National Title Insurance Company, commitment number A34363-1304-06 dated September 6, 2016 AT 7:59 a.m.
- All underground utilities are shown to the best of our knowledge and are based on locations taken from observed evidence. No certification is made or implied that the utilities shown are correct or that all underground utilities are shown.
- All data sources, documents and records shown hereon are on file in the Franklin County register of deeds.
- All monumentation shown hereon is in good condition unless otherwise noted.
- Access to the subject parcel is available along Waggoner Road (public). No Roadway improvement plans were disclosed to CESO during the survey.
- Utilities in the form of water, electric, natural gas, telephone, cable, and storm sewer are all located either on the subject property or within the public right-of-way adjoining said parcel.
- Structures are as shown hereon, no evidence of recent earthwork and recent building construction.
- No evidence that subject property is being used as a sanitary landfill.
- There was evidence of wetland delineation areas were evident at the time of the survey.
- This is not a recordable document for transfer of title.
- Parcel is located within "ZONE X" (Areas determined to be outside the 0.2% annual chance floodplain) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 39049C0356K, effective date: June 17, 2008; published by the Federal Emergency Management Agency.
- Site Location: LAT 39.984515°, LONG -82.791923°
- There currently exist NO parking spaces on site.

SURVEYOR'S CERTIFICATION:

TO: UNITED DAIRY FARMERS, INC AN OHIO CORPORATION and Old Republic National Title Insurance Company

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 7(b)(6), 8, 11, 13, 14, 16 and 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN JUNE 2016.

DATE OF PLAT OR MAP: _____

PRELIMINARY

SIGNED _____ DATE _____
Steven W. Clutter, P.S. 7655
CESO, INC.
395 Springdale Drive, Suite 202
Akron, OH 44333

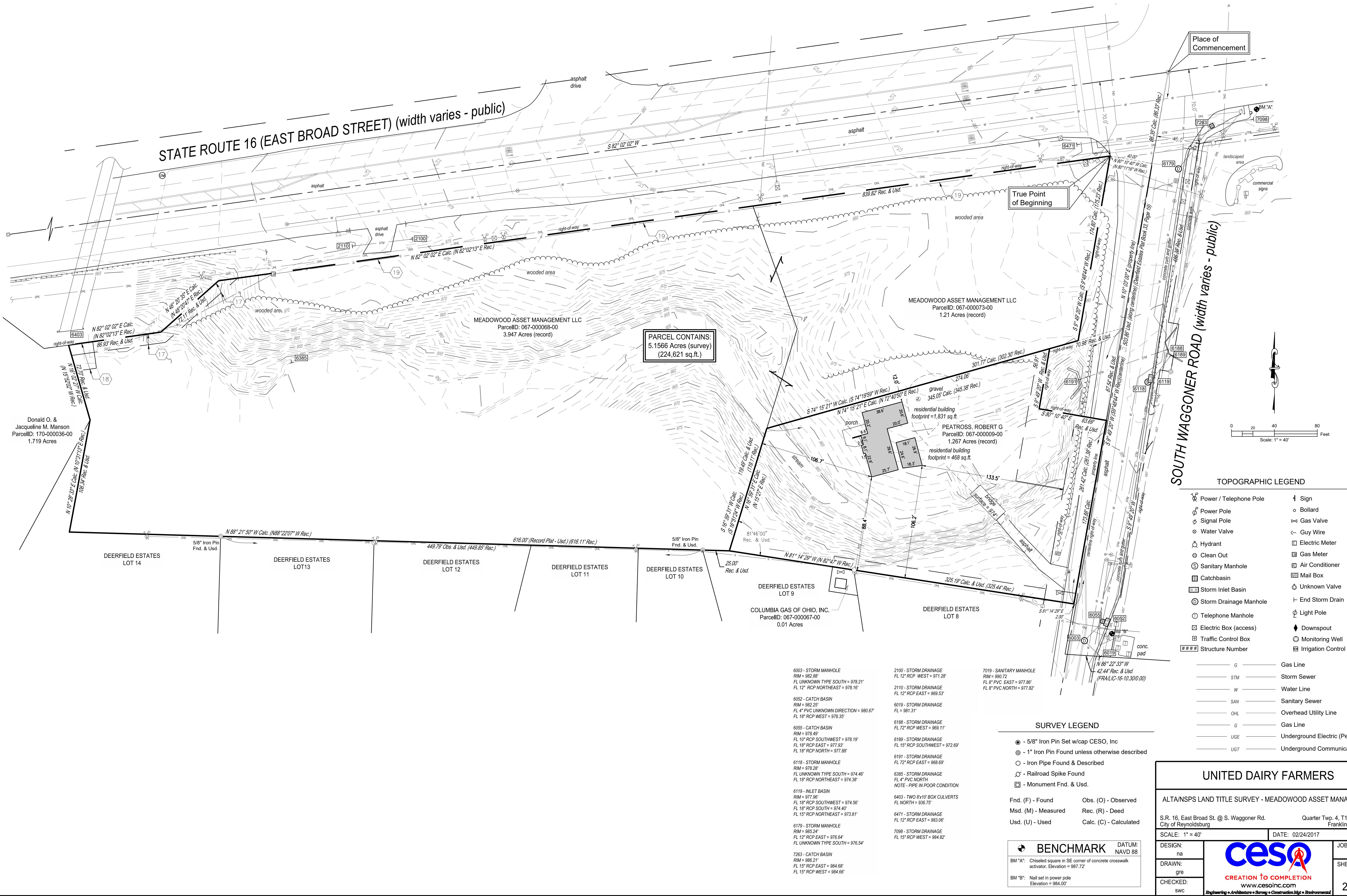
UNITED DAIRY FARMERS

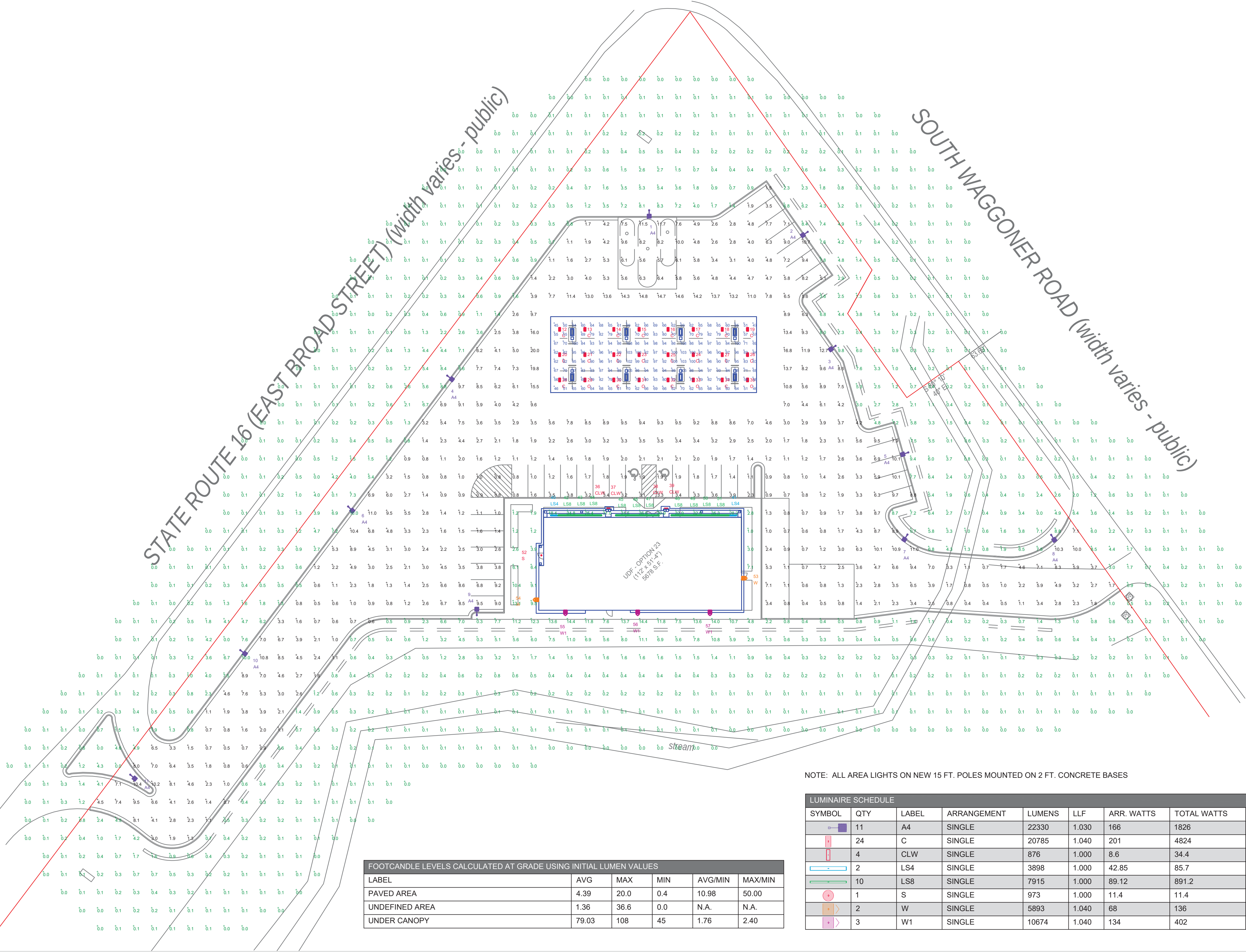
ALTA/NSPS LAND TITLE SURVEY - MEADOWOOD ASSET MANAGEMENT

S.R. 16, East Broad St. @ S. Waggoner Rd. Quarter Twp. 4, T1, R16 USML
City of Reynoldsburg Franklin County, OH

SCALE: na DATE: 02/24/2017

DESIGN: na		JOB NO.: 752862
DRAWN: gre		SHEET NO.:
CHECKED: SWC		1 OF 2





LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	A4	17
6	A4	17
7	A4	17
8	A4	17
9	A4	17
10	A4	17
11	A4	17
12	C	15
13	C	15
14	C	15
15	C	15
16	C	15
17	C	15
18	C	15
19	C	15
20	C	15
21	C	15
22	C	15
23	C	15
24	C	15
25	C	15
26	C	15
27	C	15
28	C	15
29	C	15
30	C	15
31	C	15
32	C	15
33	C	15
34	C	15
35	C	15
36	CLW	10
37	CLW	10
38	CLW	10
39	CLW	10
40	LS4	10.5
41	LS4	10.5
42	LS8	10.5
43	LS8	10.5
44	LS8	10.5
45	LS8	10.5
46	LS8	10.5
47	LS8	10.5
48	LS8	10.5
49	LS8	10.5
50	LS8	10.5
51	LS8	10.5
52	S	10.5
53	W	9.5
54	W	9.5
55	W1	9.5
56	W1	9.5
57	W1	9.5

NOTE: ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER
	11	A4	SINGLE	22330	1.030	166	1826	Cree Inc
	24	C	SINGLE	20785	1.040	201	4824	Cree Inc
	4	CLW	SINGLE	876	1.000	8.6	34.4	FC/SSL Lighting
	2	LS4	SINGLE	3898	1.000	42.85	85.7	Cree Inc
	10	LS8	SINGLE	7915	1.000	89.12	891.2	Cree Inc
	1	S	SINGLE	973	1.000	11.4	11.4	Cree Lighting -
	2	W	SINGLE	5893	1.040	68	136	CREE, INC.
	3	W1	SINGLE	10674	1.040	134	402	CREE, INC.
				DESCRIPTION				
				OSQ-DA-XX + OSQ-A-NM-4ME-T-57K-UL XX				
				CAN-228-SL-RM-09-E-UL-WH-700				
				CWLWET-1-4K-1040 + ADB90 + BEA6				
				LS4-40L-40K-10V				
				LS8-80L-40K-10V				
				LR6 10L-40K-GU24 + RC6-GU24				
				SEC-EDG-3M-WM-04-E-UL-XX-525				
				SEC-EDG-3M-WM-06-E-UL-XX-700				

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.39	20.0	0.4	10.98	50.00
UNDEFINED AREA	1.36	36.6	0.0	N.A.	N.A.
UNDER CANOPY	79.03	108	45	1.76	2.40





AREA

A4



CANOPY

C



LUMINAIRE

CLW



SOFFIT

LS4



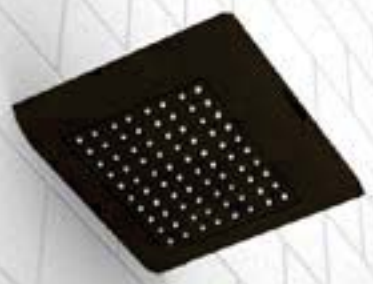
SOFFIT

S



SOFFIT

LS8



WALL MOUNTED

W

W1



CLICK OR SCAN HERE FOR EXTERIOR OPTIONS

Planning Commission**Eric Snowden****7232 E. Main Street****Reynoldsburg OH 43068****614-322-6829 phone****Memo**

DATE: June 1, 2017**TO: Planning Commission****CC:****RE: Application #178049 Major Site Plan; Applicant Brad Williams,
1933 Baltimore Reynoldsburg Road.**

**Application #178049 Major Site Plan; Applicant Brad Williams, 1933 Baltimore
Reynoldsburg Road.**

See attached documentation for details.



Department of Development
Planning & Zoning Division
7232 East Main Street
Reynoldsburg, Ohio

Application #: _____

Permit #: _____

Date Submitted: _____

Fee Amount: _____

☐ Paid: _____

PLANNING COMMISSION APPLICATION

II. PROPERTY INFORMATION

Property Address:

1933 Baltimore-Reynoldsburg Road, Columbus, OH 43068

FOR DISTRICT CHANGE ONLY

Description of Location:

A half mile north of I-70 on SR 256

Proposed Zoning:

Parcel ID(s):

060-005564

Size of Area to be Rezoned:

Number of

Lots: 1

Present Zoning:

CS

Present Use:

Car Wash

Existing Structures:

Complete Where Applicable:

Engineer/Surveyor: EMH&T

Builder: _____

Proposed Use:

III. PROPERTY OWNER OF RECORD

Property Owner Name(s):

Whirlwind Car Wash, Inc.

Property Owner Address(s):

1370 Le Anne Marie Circle, Columbus, OH 43235

IV. APPLICANT INFORMATION

Applicant Name:

Brad Williams

Applicant Address:

725 East 65th Street, Suite 300, Indianapolis, IN 46220

Applicant Phone Number:

(317) 574-7448 ext 109

Applicant Email:

bwilliams@thomasenglish.com

I. PROJECT TYPE

☐ District Change (Rezoning)

 (\$750 Residential plus \$50 per lot/\$1,000
Non-Residential)

☐ Amendment of

 Development Plan or Text
(\$500)

☒ Major Site Plan

(\$500)

Applicant Signature:

Date: 4-28-17

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information

☐ Historic District

☐ CC Overlay

Add'l Approvals Req'd

☐ DRB

☐ BZBA

Planning Com. Meeting

Date: _____

☐ Approved as Submitted

☐ Approved w/ Conditions

☐ Tabled

☐ Denied

City Council Meeting

Date: _____

☐ Approved as Submitted

☐ Approved w/ Conditions

☐ Tabled

☐ Denied

P&Z Admin.: _____ Date: _____

Clerk of Council: _____ Date: _____



MEMO

Date: April 26th, 2017

To: City of Reynoldsburg

From: EMH&T

Subject: 1933 Baltimore-Reynoldsburg Road Site Traffic

This memo summarizes our projections for the Facilities Demand Worksheet related to redevelopment of 1933 Baltimore-Reynoldsburg Road, in Reynoldsburg, Ohio. To comply with the Reynoldsburg Development Handbook, this analysis determines the likely trip generation for the existing use of the property and the redeveloped site.

For the existing site, trip generation methodology contained in Trip Generation, 9th Edition (ITE) was used to generate site traffic. For this site, trips were based on a combination of a self-service car wash (land use #947) and an automated car wash (land use #948), consistent with existing operations that include 9 self-serve wash bays and two automated wash bays. Combined, both components generate a total of 72 trip ends during the weekday PM Peak hour of adjacent street traffic (one hour between 4 and 6 PM). Morning peak data and some daily (ADT) data is not available for these land uses in Trip Generation. **Table 1** below illustrates the trip generation calculations for the existing site.

Table 1: Trip Generation for Existing Site

Land Use	Square Feet or Units	ITE Code	Time Period	ITE Formula	Total Trips	Trips Entering	Trips Exiting
Self Service Car Wash	9	947	ADT	Average Rate = 108	972	486	486
Weekday Peak of Adjacent Street	Stalls		AM Peak	Average Rate = N/A			
			PM Peak	Average Rate = 5.54	50	26	24
Self Service Car Wash	9	947	ADT	Average Rate = 132.8	1,195		
Saturday Peak of Generator	Stalls		Peak Hour	Average Rate = 20.6	185	93	92
Automated Car Wash	1,588	948	ADT	Average Rate = N/A			
Weekday Peak of Adjacent Street	sf		AM Peak	Average Rate = N/A			
			PM Peak	Average Rate = 14.12	22	11	11
Automated Car Wash	1,588	948	Peak Hour	Average Rate = 14.12	22	11	11
Saturday Peak of Generator	sf						



For the redeveloped site, trips were based on the total space, in square footage, of the proposed buildings under the category of Shopping Center (land use #820) in Trip Generation. The proposed site redevelopment is expected to generate a total of 112 trip ends during the weekday PM Peak hour of adjacent street traffic (one hour between 4 and 6 PM). **Table 2** below illustrates the expected trip generation calculations for the proposed redevelopment.

Table 2: Trip Generation for Proposed Redevelopment

Land Use	Square Feet or Units	ITE Code	Time Period	ITE Formula	Total Trips	Trips Entering	Trips Exiting
<u>Shopping Center</u>	8,200	820	ADT	$\ln(T)=0.65\ln(x)+5.83$	1,336	668	668
Weekday Peak of Adjacent Street	sf		AM Peak	$\ln(T)=0.61\ln(x)+2.24$	34	21	13
			PM Peak	$\ln(T)=0.67\ln(x)+3.31$	112	56	56
<u>Shopping Center</u>	8,200	820	ADT	$\ln(T)=0.63\ln(x)+6.23$	1,912	956	956
Saturday Peak Hour of Generator	sf		Peak Hour	$\ln(T)=0.65\ln(x)+3.78$	172	107	65

Shopping Center (land use #820) is typically used to represent general retail centers containing multiple tenants. It provides the best fit for this site considering the number of samples in the ITE data that are comparable to the proposed building and availability of data for time periods required by the Facilities Demand Worksheet. We considered and dismissed a methodology analyzing 3 specific tenant types identified for this project because Trip Generation data was based on limited samples and proposed tenant spaces were significantly outside (lower than) the samples represented in the ITE data for those tenant types. The Shopping Center land use provided a much more robust data set that is representative of this redevelopment and supported full documentation on the Facilities Demand Worksheet.

Our review of the expected trip generation for the site found that the proposed redevelopment is expected to generate 40 more trips than the existing land uses on the site during the weekday PM Peak hour of adjacent street traffic. The additional trips created by redevelopment are less than 50 and therefore no additional traffic assessment is required in accordance with the Reynoldsburg Development Handbook.

3. Facilities Demand Worksheet

(To be completed for Major Site Plan, District Amendment, and Plot, Grade, & Utility Plan Applications.)

1. Water:

- a. What will the total demand for water be in gallons per day (gpd) for this proposed site improvement? 8500 avg gpd
- b. How much pressure is required? N/A psi

Coordinate with the City Engineer to determine if a Water Usage/Flow Study is required (614.322.6810).

2. Sanitary Sewer:

- a. What will the total anticipated flow in gallons per day for this proposed site improvement?

8,500 avg gpd

Coordinate with the City Engineer to determine if a Utility Study is required (614.322.6810).

3. Traffic:

a. Definitions:

- i. **Traffic Access Study:** This type of study is to be used for small scale projects generating 50- 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. These studies are applicable to projects that do not have a significant impact on the overall transportation system, but will have impacts on site access points. Analysis is typically limited to review of access point location, type, and size. Analysis of turn lane requirements on the public road at the proposed access point may also be reviewed.
- ii. **Traffic Impact Study:** An impact study is to be completed for uses that generate more than 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. This type of evaluation usually includes all access points and nearby intersections. The scope of the Traffic Impact Study is to be determined by affected agencies and the Applicant.
- iii. **Regional Traffic Analysis:** This type of analysis is suited for large scale or groups of smaller projects that impact a large geographical area significant enough in the judgment of City to require an evaluation of impacts on a Comprehensive or Thoroughfare Plan Scale. Road segments, intersections, and perhaps alternative road networks shall be analyzed and long term needs identified. The scope is to be determined by affected agencies and the Applicant.

- b. What are the anticipated Average Daily Traffic (ADT), Generator Peak Traffic, Adjacent Street Peak Traffic volumes, generated by the site improvement and what are the Peak Hours of operation (using ITE Trip Generation Manual).

N/A = data not available

1336 ADT

Generator Peak

Adjacent Street Peak

Peak Hour

N/A AM

N/A AM

7-9 AM

-35 PM

40 PM

4-6 PM

172-207 Proposed Existing

112-72 Proposed Existing

- c. USE FOR ZONING DISTRICT CHANGES: Is a zoning district being requested for uses that can generate 200 or more peak hour trip ends that the current zoning does not anticipate?

 Yes, Traffic Impact Study or Regional Traffic analysis is required.

 No, Traffic Access Study Required.

- d. USE FOR MAJOR SITE PLANS: Check the following as applicable to the site development:

 There are 200 or more Peak Hour trips anticipated.
(Traffic Impact Study or Regional Traffic Study is required.)

 There are between 50-200 Peak Hour trips anticipated.
(Traffic Access Study is required.)

✓ There are less than 50 Peak Hour trips anticipated. (No additional requirements.)

- e. The information presented in this section is to assist the applicant with the requirements for traffic analysis within the City of Reynoldsburg. The City reserves the right to change these requirements if special conditions exist. If a Traffic Impact Statement or Regional Traffic Analysis is required, the applicant and the City Engineer must schedule a scope verification meeting with the City and any other local, state, or federal agencies affected by the proposed site improvements.

I certify that the information provided with this application is correct and accurate to the best of my knowledge, in filing this application with the City of Reynoldsburg.

Brent M. Tully
Applicant's Signature

.....
Date

CITY OF REYNOLDSBURG □ FRANKLIN COUNTY □ OHIO

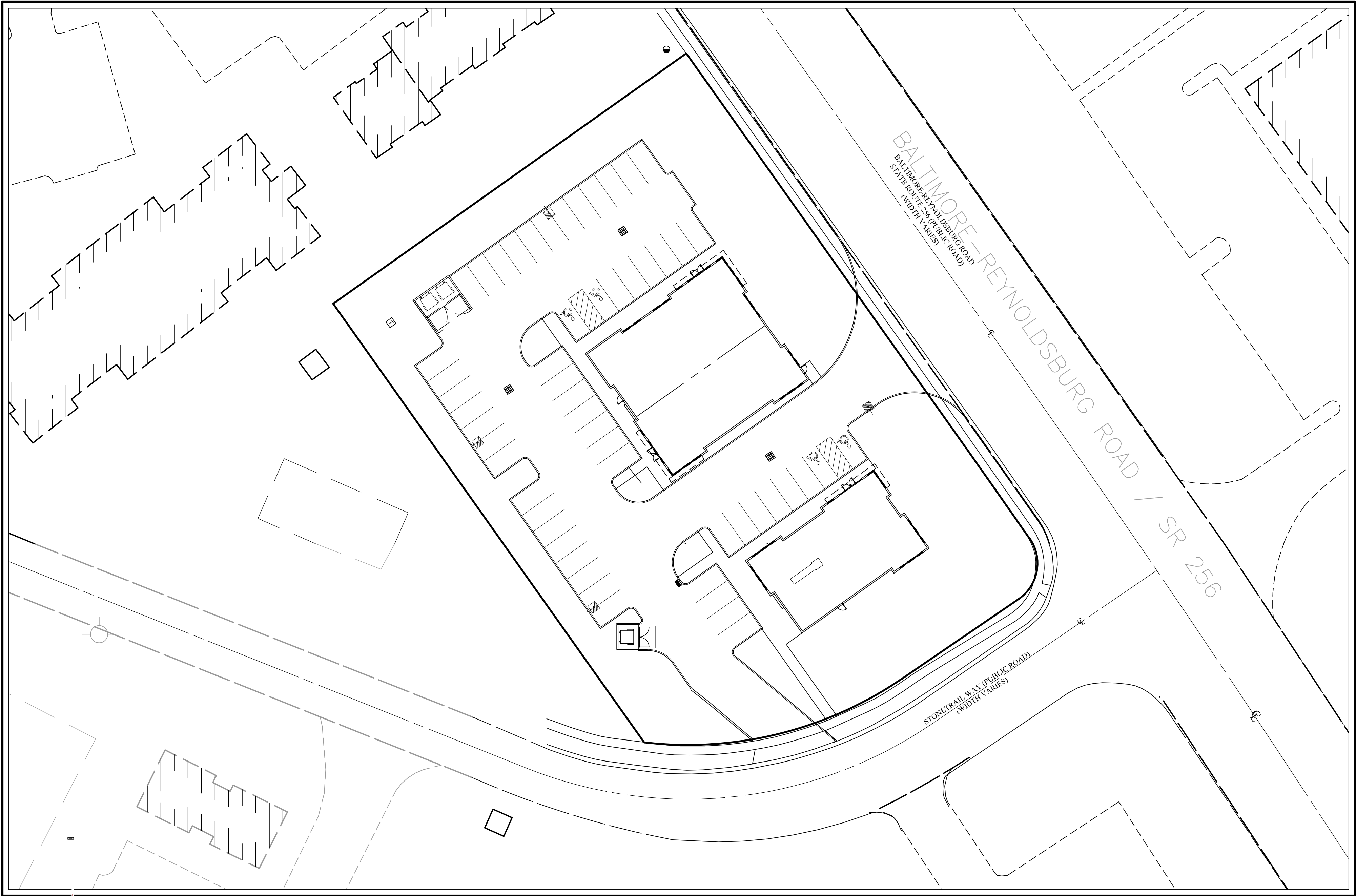
MAJOR SITE PLAN

FOR

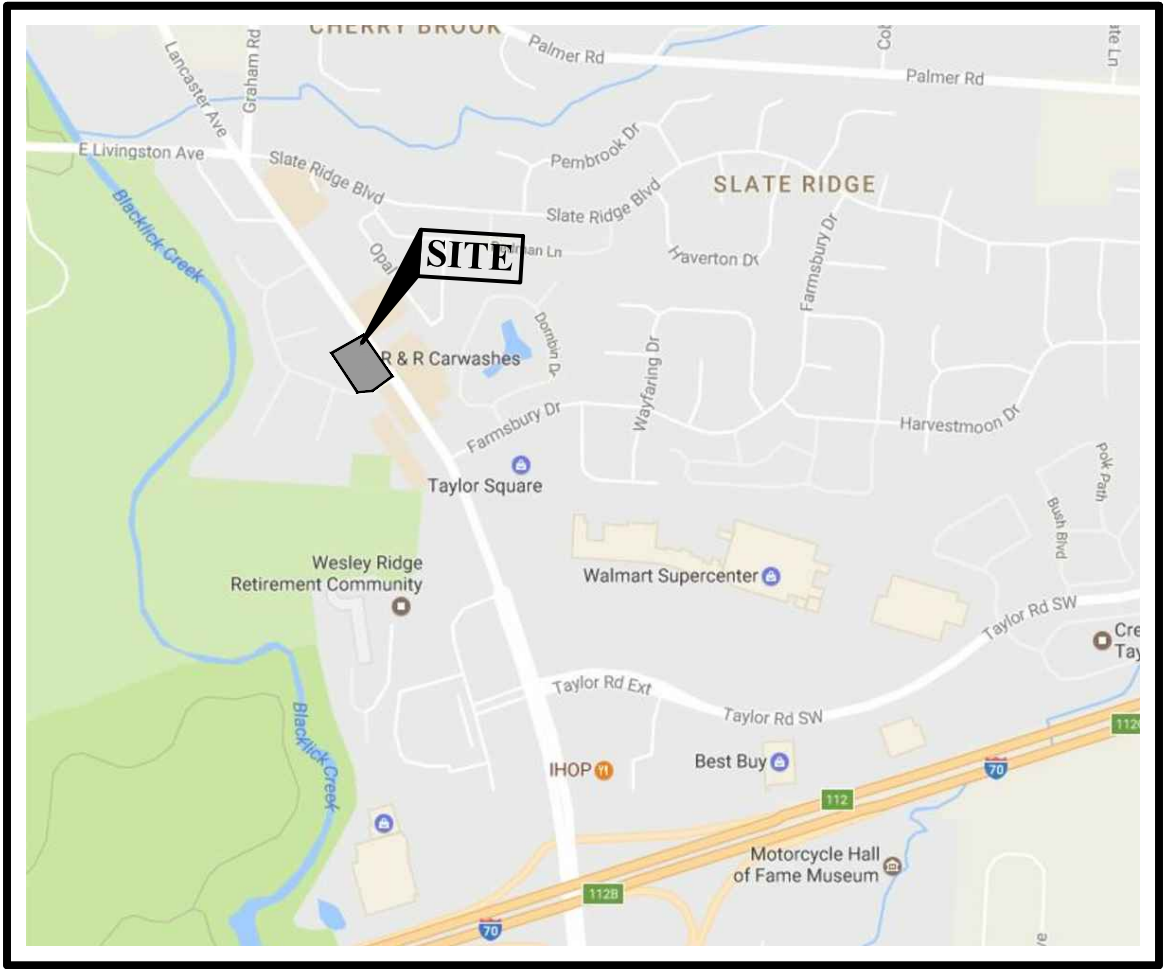
REYNOLDSBURG RETAIL BUILDINGS

BALTIMORE-REYNOLDSBURG ROAD

MAY 2017



INDEX MAP
Scale: 1" = 30'



LOCATION MAP
Not to Scale

SHEET INDEX

Title Sheet	1
Existing Conditions	2
Site Plan	3
Utility Plan	4
Landscape Plan	5
Landscape Details	6
Comprehensive Signage Plan	7
Architectural Elevations	8
Architectural Elevations	9
Footprint and Samples	10
Photometric Plan	11

OWNER
Whirlwind Car Wash, Inc.
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Indianapolis, IN 46220
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Fax: (317) 653-1848

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Tel: (317) 913-6930

ARCHITECT
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Donald Laukka
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Eden Prairie, MN 55344
donaldlaukka@l-m.com
Tel: (952) 828-8182
Fax: (952) 944-7585

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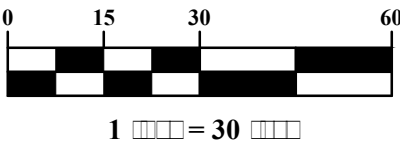
800-362-2764 □ 8-1-1
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ELECTRIC
American Electric Power
Dean Hartzell
1 Riverside Plaza
Columbus, OH 43215
dhhartzell@aep.com
Tel: (614) 716-1000

NATURAL GAS
Columbia Gas of Ohio
Joe Codispoti
290 W Nationwide Boulevard
Columbus OH, 43215
jcodispoti@nisource.com
Tel: (800) 344-4077

WATER/WASTEWATER
City of Reynoldsburg
Jason Worley
7232 E Main Street
Reynoldsburg, OH 43068
jworley@ci.reynoldsburg.oh.us
Tel: (614) 322-6811
Fax: (614) 322-6857

GRAPHIC SCALE



REVISIONS	
MARK	DATE DESCRIPTION

THOMAS ENGLISH REAL ESTATE

CITY OF REYNOLDSBURG, FRANKLIN COUNTY, OHIO
FOR
MAJOR SITE PLAN
REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
TITLE SHEET

EMH&T
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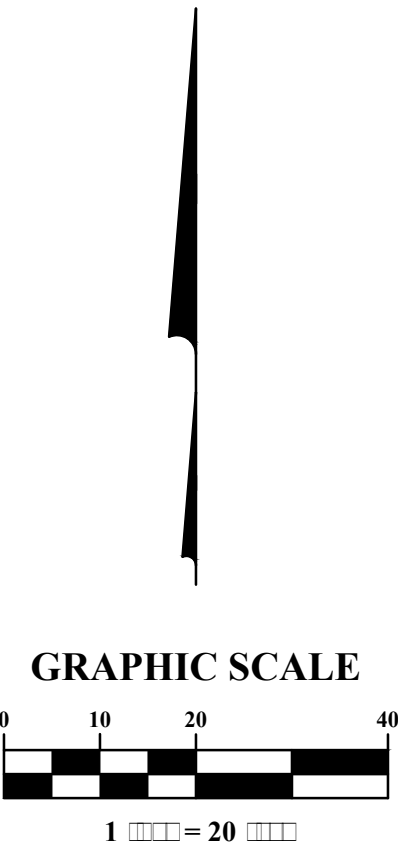
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20170276

SHEET
1/11

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FLOOR AREA	RATIO	REQUIRED PARKING
FURNITURE 3,000 S.F.	1/300 S.F.	10
FOOD 2,800 S.F.	1/100 S.F.	28
RETAIL 2,400 S.F.	1/200 S.F.	12
TOTAL REQUIRED PARKING		50
TOTAL PARKING PROVIDED		54
ADA SPACES REQUIRED		3
ADA SPACES PROVIDED		4
VAN ACCESSIBLE REQUIRED		1
VAN ACCESSIBLE PROVIDED		2



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FOR
MAJOR SITE PLAN
REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
SITE PLAN

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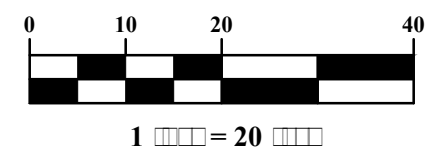
EXISTING LEGEND

- Sign
- Utility Pole
- Telephone Pedestal Box
- Cable TV Pedestal Box
- Light Pole
- Mail Box
- Flagpole
- Air Conditioning Unit
- Credit Card Machine
- Electric Meter
- Electric Transformer
- Vacuum
- Bollard
- Grease Trap Manhole
- Sanitary Sewer Cleanout
- Sanitary Sewer Manhole
- Catch Basin
- Storm Sewer Manhole
- Curb & Gutter Inlet
- Roof Drain
- Gas Marker Post
- Gas Service
- Fire Hydrant
- Water Valve
- Fence Line
- WM Water Line
- GM Gas Line
- STM Storm Line
- SAN Sanitary Line
- E Underground Electric
- C Underground Communication
- OHW Overhead Wires
- Existing Building

PROPOSED LEGEND

- SAN Sanitary Sewer
- SAS Sanitary Service
- STM Storm Sewer
- DWS Domestic Water Service
- E Electric
- C Communication
- FO Fiber Optic
- GS Gas Service
- XX Storm Structure

GRAPHIC SCALE



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REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
UTILITY PLAN

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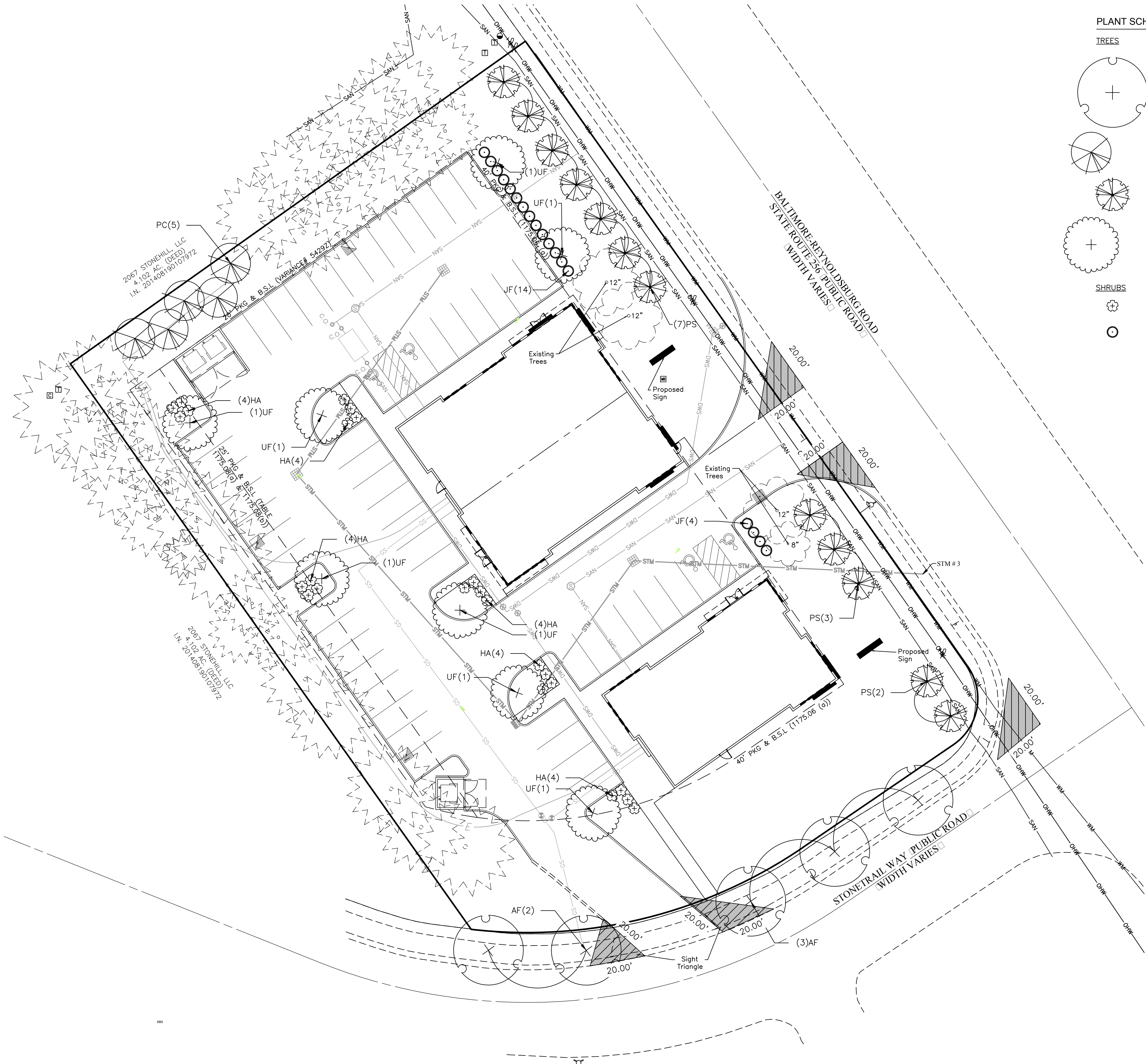
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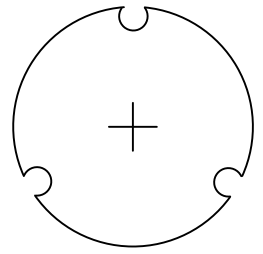
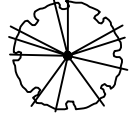
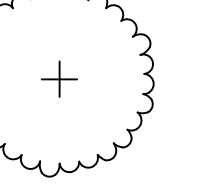
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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	AF	5	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Freeman Maple	2" Cal.	B&B
	PC	5	Picea pungens	Colorado Spruce	6' Ht.	B&B
	PS	12	Prunus subhirtella var. autumnalis	Autumnalis Cherry	1.5" Cal.	B&B
	UF	8	Ulmus x 'Frontier'	Frontier Elm	2" Cal.	B&B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	HA	24	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24" Ht.	B&B or Cont.
	JF	20	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" Ht.	B&B or Cont.

Landscape Calculations

1180.08 Street Trees
Baltimore-Reynoldsburg Road\ SR 256 (±310 l.f.)
12 trees @ 15' O.C. provided.
Small trees used due to overhead lines.

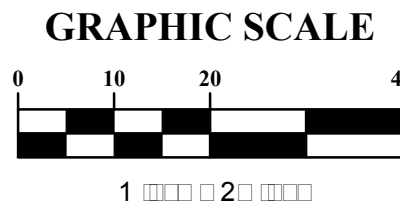
Stone Trail Way (±210 l.f.)
5 trees @ 35' O.C. provided

1180.09.2 Interior Lot Landscaping
Total Building Square Footage = 8200 s.f.
5" Trunk diameter required.
44" provided with existing interior trees (8 tree credits per table 1180.09.c)

1180.10.b.2 Property Buffer Requirements
Southwest Boundary met with 13 existing large evergreen trees.
Northwest property met with 5 existing large evergreen trees and supplemented with an additional 5 evergreen trees.

1180.11.a.1 Parking Lot Landscaping Standards
Total Parking Spaces = 54
Required = 6 Trees & 24 Shrubs
Provided = 6 Trees & 24 Shrubs

1180.11.b Perimeter Landscaping
20 Shrubs and 2 trees provided at parking along
Baltimore-Reynoldsburg Road\ SR 256



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FOR
REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
LANDSCAPE PLAN

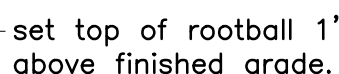
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1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until site conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. Substitutions shall only be permitted with notification and written approval from the Owner. Substitutions shall be of equal or equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-planting conference shall be conducted prior to planting operations with Owner and Contractor present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
8. Contractor shall allow lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
10. Mulch planting beds with a three-inch hardwood mulch of uniform dark brown color. Mulch shall be free of sticks, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Planting of trees shall be done with trees having a minimum height of 6' min.
16. Trees shall be placed a minimum of 3' from sidewalks and curbs.
17. Planting Mix shall be blended, manufactured soil consisting of three (3) parts, topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-Til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Polypropylene material used in Planting Mix shall be Planting Mix Professional Blend or Jones SuperSoyl may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
18. Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal (VAM) and ectomycorrhizal fungi.
19. Excavate planting beds to a depth of 24 inches, unless otherwise indicated. Roto-Til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
20. Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede drainage.
21. Lawn areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Roto-Til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
22. All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
23. Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
24. Contractor to determine plant quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
25. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
26. Contractor shall thoroughly water all plants at time of installation and as needed until plants are established. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
27. Lawn seed mix shall proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Caddisshock or GoodKeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tif Fescue (select 2)
28. Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.

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MAJOR SITE PLAN
FOR
REYNOLDSBURG RETAIL BUILD
BALTIMORE-REYNOLDSBURG ROAD
LANDSCAPE DETAILS

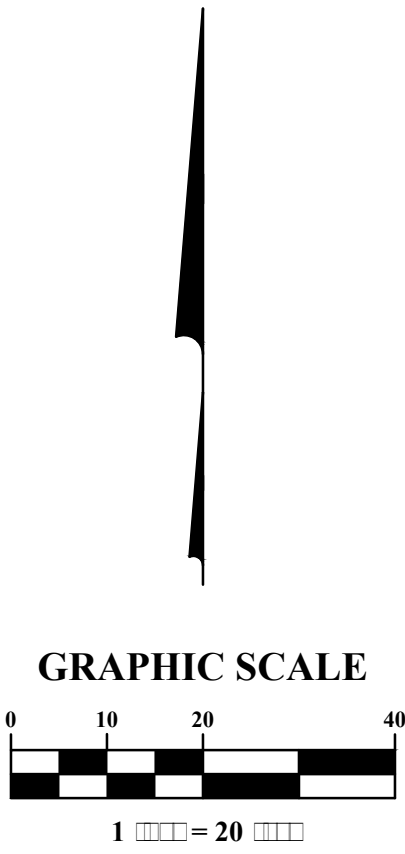
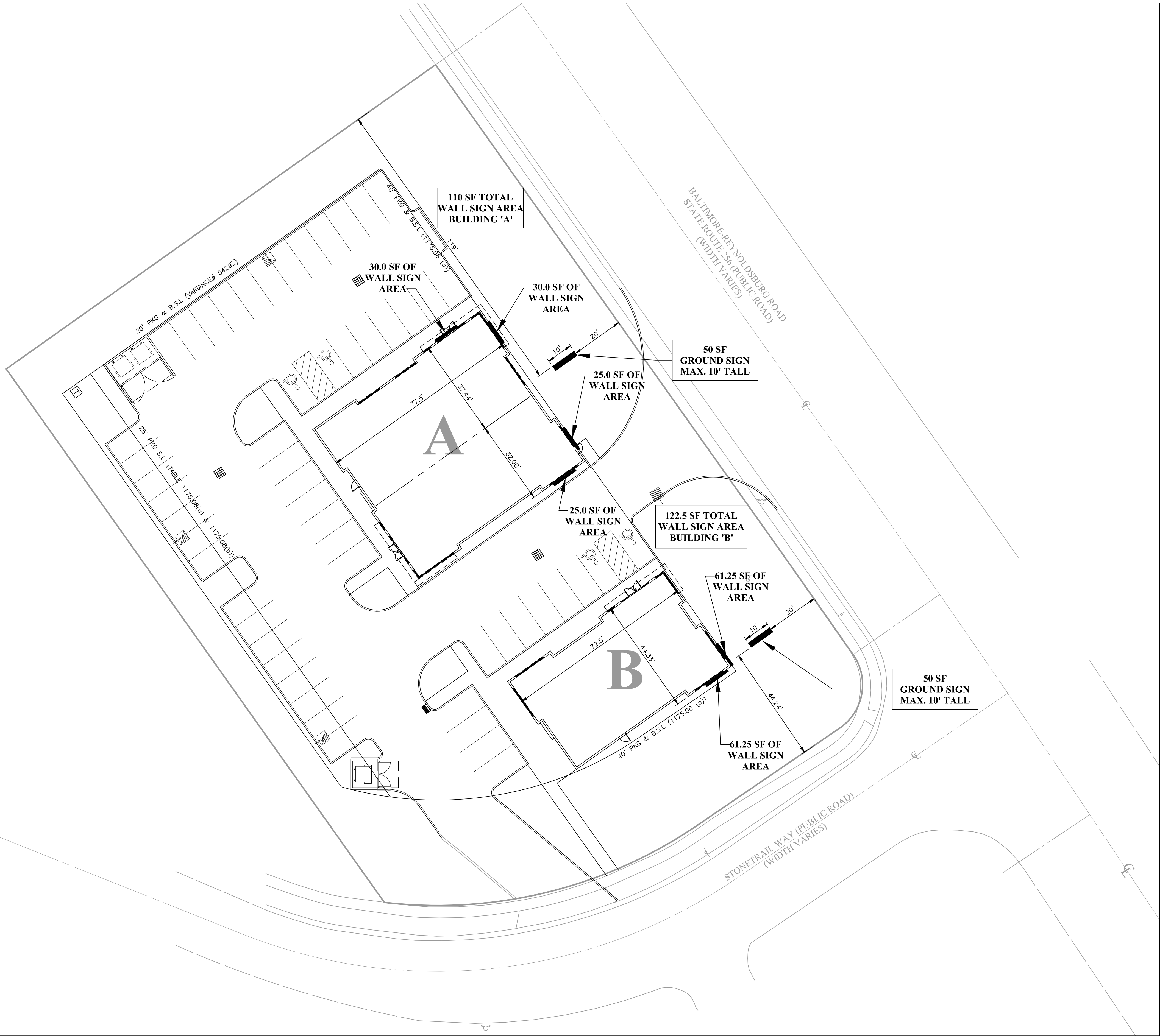
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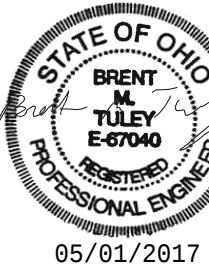


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CITY OF REYNOLDSBURG FRANKLIN COUNTY OHIO
FOR
MAJOR SITE PLAN
REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
COMPREHENSIVE SIGNAGE PLAN

THOMAS ENGLISH REAL ESTATE

REVISIONS	MARK	DATE	DESCRIPTION



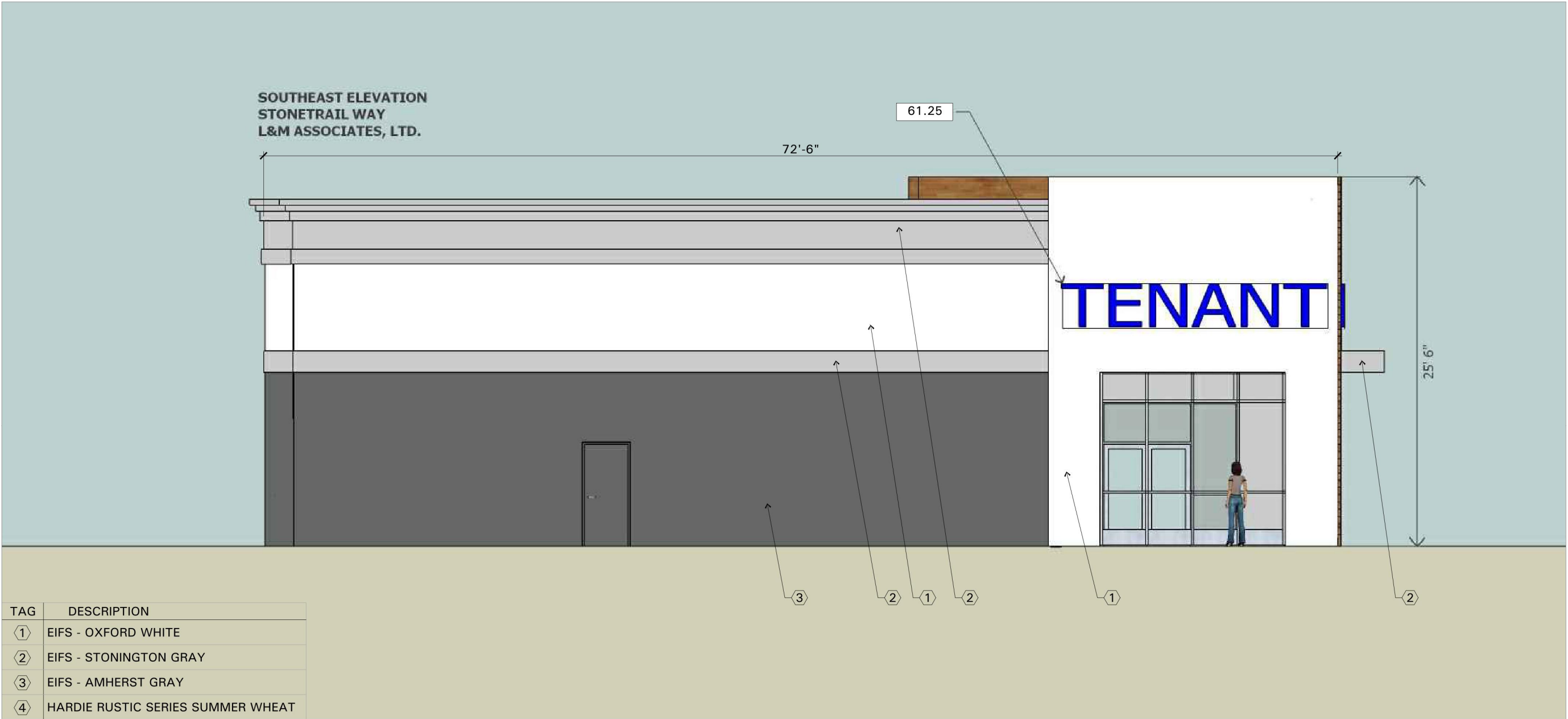
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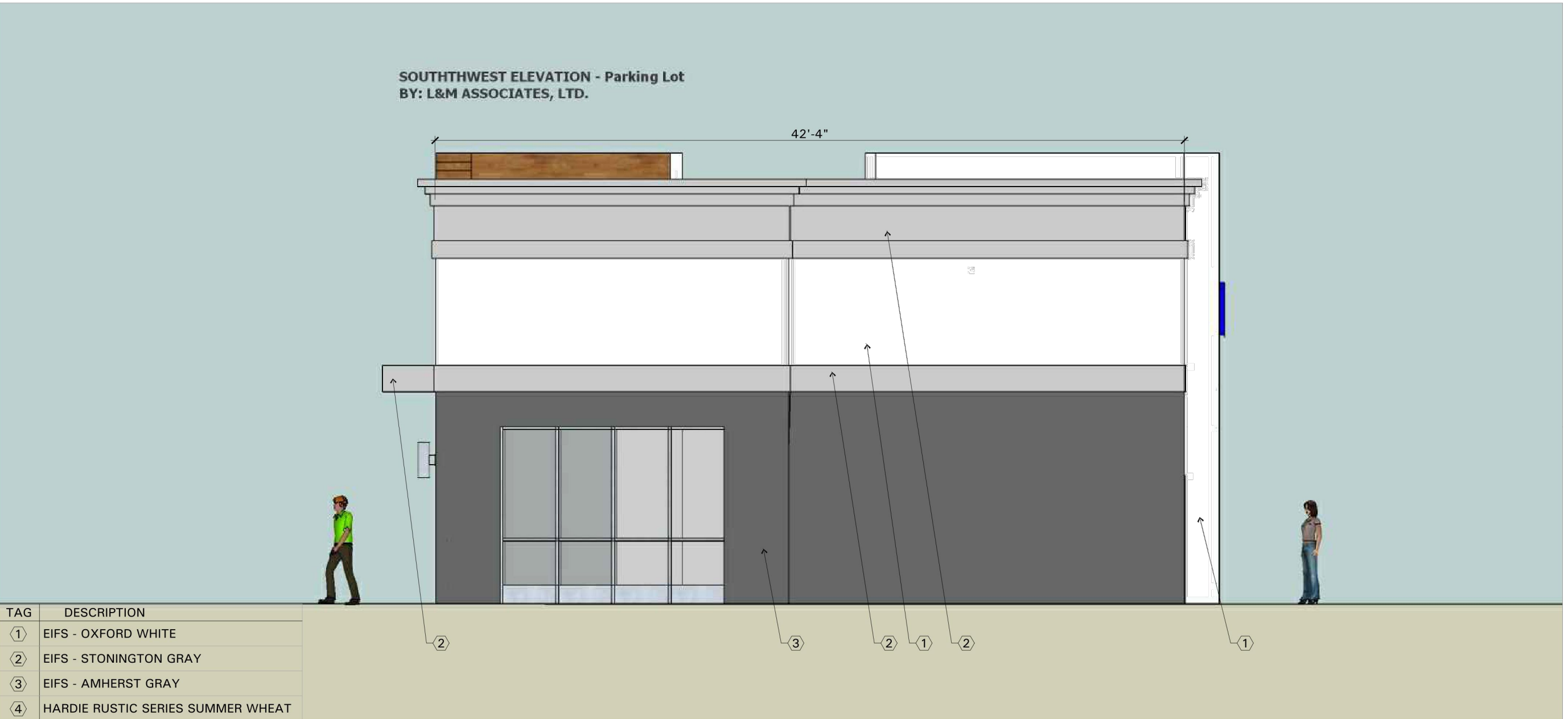
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FOR
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ARCHITECTURAL ELEVATIONS

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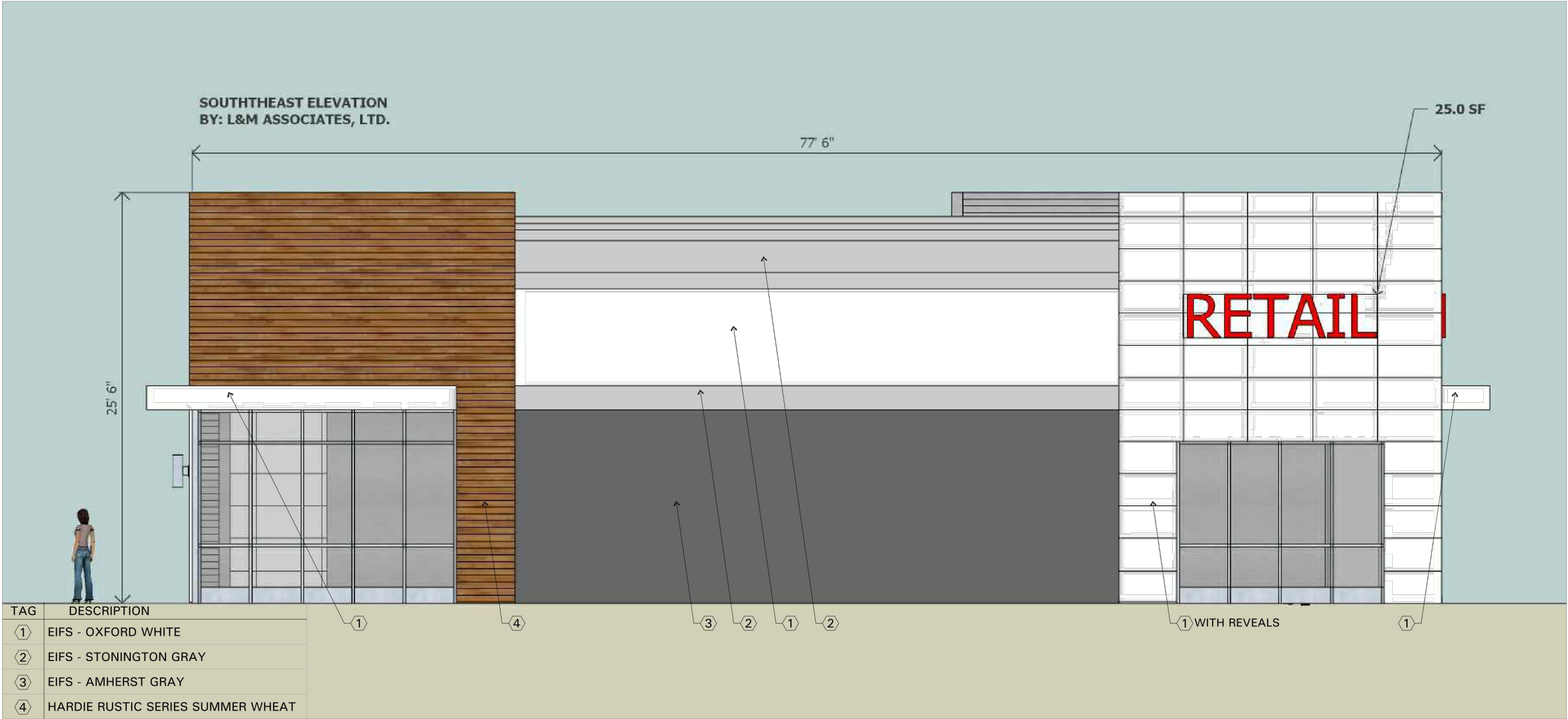


TOTAL NORTH ELEVATION
BUILDING RECORD

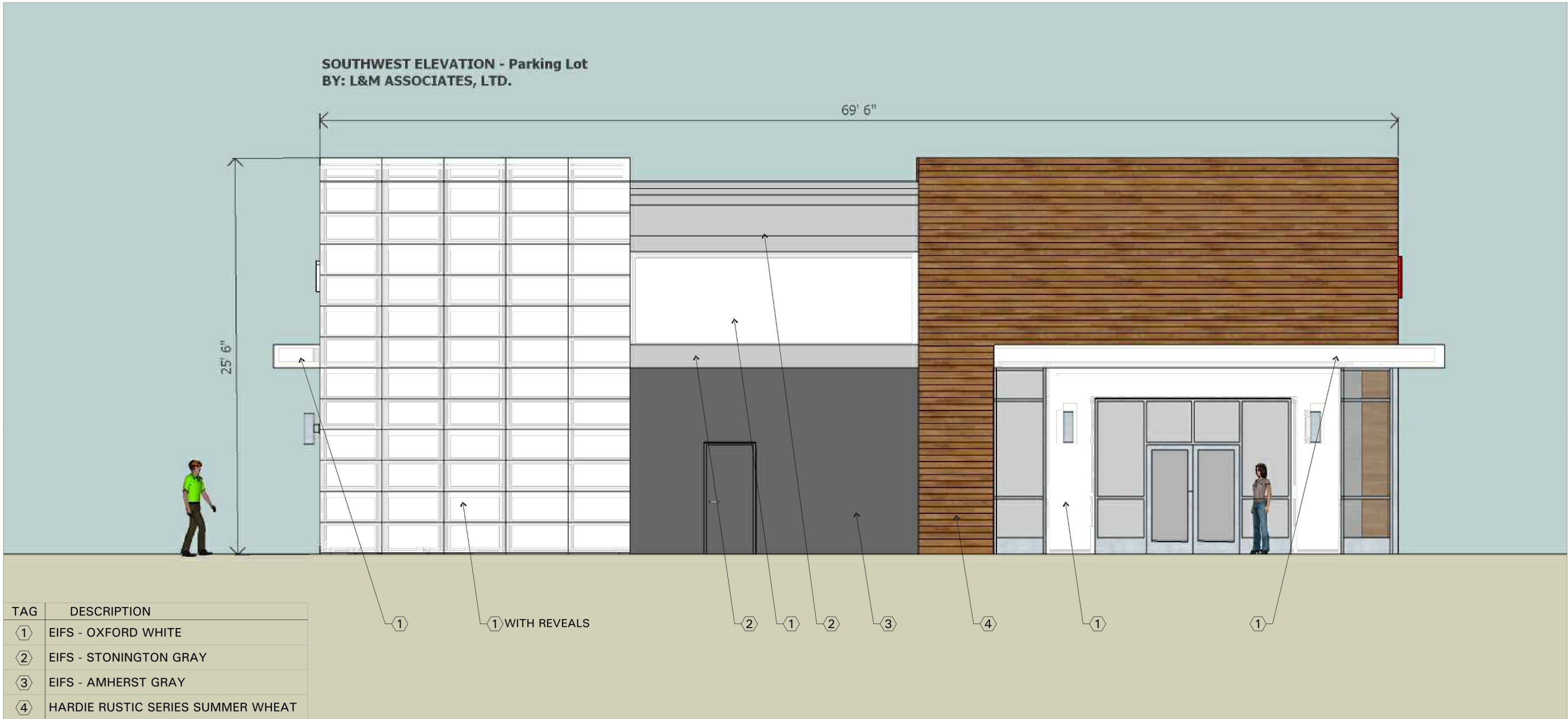
TOTAL NORTH WEST ELEVATION
BUILDING PLAN

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PLAN SET DATE
MAY 2 2017



TOTAL SOUTH ELEVATION
BUILDING PLAN



TOTAL SOUTH WEST ELEVATION
BUILDING PLAN

REVISIONS	
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CITY OF REYNOLDSBURG FRANKLIN COUNTY OHIO
FOR
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REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
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20170276

SHEET
9/11



A close-up photograph of a white, textured surface, likely a wall or ceiling. The texture is granular and uneven, with many small pits and bumps. The lighting is even, highlighting the surface irregularities.

2 EIFS S Gr



A close-up photograph of a dark gray, heavily textured surface, likely a wall or ceiling, showing a rough, stippled finish. The texture is composed of numerous small, irregular bumps and pits, creating a mottled appearance. The lighting is even, highlighting the tactile quality of the material.

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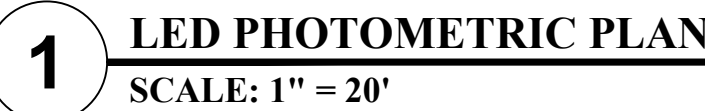
CITY OF REYNOLDSBURG, FRANKLIN COUNTY, OHIO
MAJOR SITE PLAN
FOR
REYNOLDSBURG RETAIL BUILDINGS
BALTIMORE-REYNOLDSBURG ROAD
FOOTPRINT AND SAMPLES

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SHEET

10/11

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	1	A	SINGLE	N.A.	0.900	Visionaire VSX-1-T5W-32LC-7-4K-UNV - 75 watts/4K/7472 lumens mounted at 20' AFG
	3	B	SINGLE	N.A.	0.900	Visionaire VSX-1-T3-32LC-7-4K-UNV - 75 watt/4K/7496 lumens mounted at 20' AFG
	6	WC	SINGLE	N.A.	0.900	Prescolite LD6LED4SW35K8MD25 BL - 6 inch Wall Cylinder at 7' AFG
	5	VS	SINGLE	N.A.	0.900	Visionaire VSC-1-T3-32LC-7-4K-UNV - 75 watt/4K/7496 wall mounted at 16'

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT **MUST** DETERMINE ANY CAPABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS LUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN CONJUNCTION WITH LUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:

On-Site Lighting
& Survey, L.L.C.

PH: 783.684.1548

On-Site Lighting
& Survey, LLC

**1111 HIGHWAY 25 NORTH
SUITE 201
BUFFALO MN 55313**

**PH:763.684.1548
FAX:763.682.9048**

PROJECT INFO	REYNOLDSBURG RETAIL BUILDINGS BALTIMORE-REYNOLDSBURG ROAD REYNOLDSBURG, OHIO
	REYNOLDSBURG, OHIO

ENGINEER INFO	
---------------	--

ENGINEER SEAL

OWNER INFO

**THOMES ENGLISH
RETAIL REAL ESTATE**

725 EAST 65TH STREET
SUITE 300
INDIANAPOLIS, IN 46220

[illegible]

LED PHOTOMETRIC PLAN

TE70501-0

05.01.2017

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W.TOKKESDAL

J. MACKEY

SHEET#:	11/11	REV #:	1
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Planning Commission**Eric Snowden****7232 E. Main Street****Reynoldsburg OH 43068****614-322-6829 phone****Memo**

DATE: **June 1, 2017**

TO: **Planning Commission**

CC:

RE: **Comprehensive Plan**
