



## AGENDA

### BOARD OF ZONING AND BUILDING APPEALS THURSDAY, FEBRUARY 16, 2017 6:30 PM

PLACE: COUNCIL CHAMBERS  
7232 E. MAIN ST, REYNOLDSBURG, OH 43068

#### A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
  1. Board of Zoning and Building Appeals – Regular Meeting – January 19, 2017
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

#### B. PUBLIC COMMENT

#### C. UNFINISHED BUSINESS

1. 7578 E. Main St.; Application #176211; Applicant: Evans Capital Investments, Ltd.; Business: Reynoldsburg DG, LLC; Variance from Section 1193.12(C)(1,3) of the Zoning Code to Allow Signage that Exceeds the Area Requirements of that Section.

#### D. NEW BUSINESS

1. 1051 S. Waggoner Rd.; Application #175748; Applicant John A. Eberts, Architect; Business: St. Pius X Catholic Parish; Variance from Section 1175.05 and Section 1180.10(B)(1) of the Reynoldsburg Zoning Code, to Allow a Building with a 6FT Side Setback and Site Development with Reduced Landscaping Standards.
2. 6475 E. Main St.; Application # 176265; Applicant: Jason Daniel; Business: Capital City Strength, LLC; Special Exception Use Permit - Commercial Recreation Facility

#### E. OTHER BUSINESS

1. Proposed Updates to the Rules of the Board of Zoning and Building Appeals

#### F. ADJOURNMENT

# **CITY OF REYNOLDSBURG**

## MINUTES

### BOARD OF ZONING AND BUILDING APPEALS THURSDAY, JANUARY 19, 2017 6:30 PM

**PLACE: COUNCIL CHAMBERS  
7232 E. MAIN ST, REYNOLDSBURG, OH 43068**

#### A. CALL TO ORDER

PRESENT: Rettke, Linder, Donovan  
ABSENT: Armstead, Darling

#### 2. Approval of Minutes

1. Board of Zoning and Building Appeals – Regular Meeting – December 12, 2016

Minutes stand approved.

#### 3. Approval of Agenda

Mr. Havener: Mr. Chair, Item number 3, the applicant has proposed tabling to the next meeting of the BZBA.

Chairman Rettke: With that change, we will approve the agenda.

#### 4. Swearing in of Speakers

Chairman Rettke: Before we begin tonight's agenda items, would everyone addressing the Board please stand and raise their right hand? Do you swear or affirm that the testimony that you will give in front of the Board will be truthful? If so, say, "I do." (*Multiple I do's heard.*) I will remind you to sign in and state your name and address for the record.

#### B. PUBLIC COMMENT

No Public Comment.

#### C. UNFINISHED BUSINESS

#### D. NEW BUSINESS

- 7578 E. Main St.; Application #175689; Applicant: Evans Capital Investments, Ltd.; Business: Reynoldsburg DG, LLC; to Grant a Variance from Section 1193.06(A), Section 1193.07(D), Section 1193.08(A), to Allow Construction of a New Commercial Building with Reduced Development Standards.**

Mr. Havener: 7578 E. Main Street - Dollar General - Variance. Application: #175689 - Variance. Location: Property is located on the north side of E. Main Street just west of Waggoner Road. Existing Zoning: CC - Community Commerce District / HD - Historic Overlay District. The request is for a variance from Sections 1193.06(a), 1193.07(d), and 1193.08(a) of the Zoning Code. Current Use: Vacant Land. Proposed Use: Retail Sales. Applicant: Evans Capital Investments, Ltd. Background Information - The applicant is

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requesting the Board review and approve a variance from Sections 1193.06(a), 1193.07(d), and 1193.08(a) of the Zoning Code in order to construct a new commercial building with reduced development standards. Site Context - The site is a vacant lot which is within an existing shopping center. Other uses include various retail sales businesses, a bar and pizza shop (eating or drinking establishment), and small office uses. To the north, the property is screened from a multi-family housing complex by a creek and natural vegetation. All properties that front E. Main Street are within the Historic Overlay District. Staff Review - Regulation Intent;

The purpose of the various regulations contained with Chapter 1193, is for new development within Historic Olde Reynoldsburg to be consistent with the existing character of the area and to reduce the impact of certain suburban style uses such as parking lots and drive-thrus. In order to accomplish this, that chapter requires that buildings be generally built to the street and that parking be placed behind or beside the main structure. Site Context - This vacant parcel is integrated within the existing suburban style shopping center. When this shopping center was originally constructed, in the mid-1980s, it met the typical zoning regulations of the Community Commerce District that were in place at the time. The Historic District regulations were originally enacted in 1996 and expanded in 2008. The applicant is proposing to locate their building in the location that was intended for expansion of the existing shopping center when it was originally built. Utilities - The applicant's claim of hardship is based upon the location underground public utilities on the site. Section 1193.06(a) would require the building to be constructed over those utilities. This is fantastically expensive for the property owner and may not be in the public interest. The applicant's request for a variance Section 1193.08(a) is predicated upon Section 1193.06(a). If the building is relocated to the rear of the site, there is no other location on the site that can accommodate the required parking. Architecture & Building Materials - The applicant also claims that the clear glass requirement of Section 1193.07(d) presents a hardship. Although clear glass store fronts were a typical feature of historic districts such as Olde Reynoldsburg, most modern retailers attempt to monetize all interior walls and spaces by displaying products. Staff's position is that the applicant should be required to meet all the architecture and materials requirements of the Historic Overlay District, but if the Board and the Design Review Board feel that non-clear windows can meet the intent of this section, Staff can support the variance. Signage - The applicant is also requesting variances for signage size and materials, but has requested the Board table Application #176211 to the next regular meeting of the Board, in order to allow the applicant additional time to present sign plans for review by Staff and the Board. Given the proposed location of the building and hardship caused by the utilities, there may be some justification of additional sign area. However, Staff's position is that the materials requirements should not be varied. More information will be available once the applicant submits revised plans for that application. Going on to staff recommendations, the Board should apply the standards for review of variances contained in Section 1147.05 of the Zoning Code and determine if the requested variance complies with those standards. Mr. Chairman, you can take it from there.

Mr. Frazier: Alex Frazier of Kalamazoo, Michigan.

Chairman Rettke: Any questions, concerns, or comments from the Board?

Mr. Havener: The applicant does have a board in the front of the room showing the proposed site layout.

Mr. Frazier: Yes, this is the site layout. We have made sure that the utilities stick out that we are talking about. It is mainly the sanitary line. (*Inaudible.*) To relocate this would cause quite a bit of excavation. This line is a reinforced concrete storm line. In itself, that is a pretty large pipe and would be quite an expense to relocate those and we don't know if engineering wise, if it is even possible, cause this is a major carrier of stormwater into this creek. By relocating these pipes, we would have to reduce the slope, and it might reduce the capacity of those pipes. So, we are not even sure if it would even be feasible. I also have hard copies of this is anybody would like.

Mr. Havener: I have got the survey on the screen also, if the Board would like to see a little closer where those easements and utilities are.

Chairman Rettke: So we are looking at three variances from 1193.06, which is the reference to the location and orientation of the proposed building and parking areas. Which basically is going to be parking in front of the building instead of behind. 1193.07 says that 60% of the area between the height of two and ten feet above the nearest sidewalk grade shall be clear non-tinted windows. 1193.08, the parking and stacking and circulation aisles are not permitted between the right of way line and the principle building. So, that is with the orientation as well.

Mr. Havener: That is correct.

Chairman Rettke: I can kind of see where moving that building up and putting parking behind, you cant really do it in line with the regular strip mall. And, with the property you have left, I don't know that it works very well either that way. You cant get it up far enough to avoid those utilities. Those two are easily rectified. The 1193.07 with the windows, is the hard part. Any discussion on that?

Pastor Linder: Just stepping back a little bit for staff, we are going to be stuck with this plaza in the sense that in the sense that anything moving forward is always going to be this issue. We always try to do the best we can with where it is in terms of now looking forward.

Mr. Havener: That is correct.

Pastor Linder: The question is, just help us understand, I know why from a retail standpoint that you want the change in terms of the glass frontage, but let us know what you have considered in terms of trying to comply with what we wanted.

Mr. Frazier: What we have right now are paved windows, so they are basically fake windows to match the actual intent. We are matching the district's materials requirements, the style requirements. The only deviation is the see thru portion of the windows. So, if you look on the floor planner to the left, there are windows in front here, you would be looking at back side of coolers. Then you have break room, register areas here. This is Dollar Generals

plan for their urban prototype. It is very well set. There is no where else to put these coolers to sell these products that they wish to sell here. That definitely is the biggest hardship, having to relocate inside the store is really not an option, given this is already a reduced, urban type, from their normal prototypical building. There is not any space to relocate anything inside the store. What we are proposing will definitely meet the intent from an architectural standpoint. It will be very esthetically pleasing. Just below note 11 on the bottom, you will see that we do exceed the required square footage. Required is 416SF and we show 488. We are doing our best to maximize the appearance of windows on that wall. It is just the fact that they are not see thru.

Mr. Donovan: But they are not really windows.

Mr. Frazier: Yeah, they are fake windows. They are meant to look architecturally on the outside of the building like windows, but they are not.

Chairman Rettke: We used them in our office where the old windows were. It was almost like looking in a mirror. You didn't know they were not windows.

Mr. Frazier: Until you walk up to them, you will think they are just glazed windows and that you just cant see into the store. You won't really be able to tell.

Chairman Rettke: Maintain the balance and put it back to the way it was back when we first opened that building. I thought they did a bang up job on it.

Mr. Frazier: We have used these in other stores before and they look really nice.

Mr. Donovan: The only problem I have is that you are building this in a historic district and you are trying to use new gimmicks to make it look like you are complying with what the rest of the people are doing.

Mr. Frazier: Yeah, we are trying to make it look like they are real windows. But, from the naked eye, from the street, you shouldn't be able to tell the difference. It is just that the interior floor plan of the Dollar General doesn't...

Mr. Donovan: I have seen how you have them laid out. I can't even walk down the aisles in them places.

Chairman Rettke: The rest of the building is going to conform with all the other characteristics they have down there? I thought it was suppose to be close to man made material.

Mr. Havener: I guess that is still up for discussion. If this Board would like to see some additional natural materials, in place of what is showing here this evening, this is your opportunity to speak to that.

Mr. Frazier: It is our intent, when we meet with the DRB as well, to bring in samples of the

roofing, and the brick, we propose to use, so they can see in person.

Chairman Rettke: I know we have looked at some sign packages down through there and I can not remember all of the sections of code that are involved, but it is pretty lengthy to try to meet those requirements in a historical district. I did not know if that was our jog, or Design Review Boards, to make sure that that was adhered to.

Mr. Havener: Design Review Board will go over those items, but if the Board has comments that they would like to relay onto the DRB, I am sure they would be happy to consider any suggestions you have. I have a question for Alex, in terms of the proposed brick that you are seeing above the entry there, one thing I just looked at was the fact that you have this massive brick hovering over the entrance with no substantial side elements. To me, it would make sense to have the brick continue down along the sides of the entry doors, at the same time, to give it a little more of a look of support, a natural way of handling the material. I am not sure about the columns that you have spaced along the exterior, but I think what we did on the one on Broad Street, did we not make those brick?

Mr. Frazier: I think you are right. I was not directly involved in those.

Mr. Havener: I am thinking, just to break up the facade.

Chairman Rettke: I know in our district, every 25FT it had to have a deflection or something to break up the facade. I did not know if those columns would satisfy that requirement.

Mr. Havener: I'm thinking that might help the situation also. Again, these are just recommendations.

Chairman Rettke: I do not want to step on the Design Review Board. It that is not our expertise, then I will let them have at it, but I am in support of 1193.06 and 1193.08. 1193.07, I can see what you are trying to do. With that being such a fairly new revision to the Code, I hate to step over it. I can see the utilities and that you are trying to fit in the existing site and move that building up to where you possibly could get it. Your back wall is in direct line with the front wall of the shopping center, that does not make any sense to try and do. I can live with, you are trying to do your best with 1193.06 and 1193.08, 1193.07 is the tougher one for me. Any comments from you guys?

Mr. Donovan: It says right here, plain and clear glass storefront.

Mr. Frazier: One thing I noticed with that clear glass, in my opinion, it kind of goes hand in hand with the building being up next to the sidewalk. Being that it is within the zero to ten foot. Dan, correct me if you think different. But, I think the intent of that is to create an atmosphere where if you walk along the sidewalk, you can window shop. But now if the building is pushed back, you have to walk back to window shop. In my opinion, you will see the Dollar General sign and think you have to grab whatever, you will have a list, and walk directly to and in.

Chairman Rettke: That is a good point. If that was along the frontage of Main Street I could see that being.

Mr. Frazier: It is set back. I don't know if I have a dimension on here, but it is set back to match the other. The tanning salon immediately to the east, I just walked by it about a half hour, 45 minutes ago and I could hardly see inside of the windows because they are so tinted. It is kinda hard to see in some of the existing businesses that are there.

Mr. Havener: There are a good probably 250FT back from the right of way of E. Main St. It is quite a distance.

Chairman Rettke: Can you go back to the Google Earth version? So, are they going to come back to us with a sight plan?

Mr. Havener: This is the site plan they are proposing. They will go through major site plan review, plot grade. As you see the plan here, this is how they will move forward, unless the Board has some changes to...

Chairman Rettke: I do not see anything about lighting.

Mr. Havener: I do not know if lighting was addressed in these drawings.

Mr. Frazier: Lighting was not a required item for this submittal, but we intend to comply with the city's lighting requirements.

Mr. Havener: That will definitely be something that again the Major Site Plan review will be addressing.

Chairman Rettke: Are we going to see it again then?

Mr. Havener: Probably not.

Chairman Rettke: It's a minor site plan?

Mr. Havener: Yes.

Mr. Donovan: What about deliveries? How are you going to handle that? I do not see a dock or anything like that.

Mr. Frazier: The delivery truck will come in, we are going to get a mutual access easement and will come in here through this drive. This path here, that is the truck pass thru. The truck will pull through, back up to here, and that's a delivery door. It will be tucked in next to the building and make it (*inaudible*) and then it will pull out onto E. Main St.

Mr. Havener: You can see the path of the truck here as I pointed out on the screen.

Mr. Frazier: This colored plan is a little difficult to see. We have a truck template that we use that models the full size semi, and we draw it on there to see. That is one of the most important aspects of site design is to make sure we are not going into landscaping and hitting the curb here and there.

Mr. Donovan: Where are you going to be turning and backing those trucks? Is there like a drive thru awning or whatever there? We gave those people all kinds of grief about a drive thru and the mobility of vehicles going through there. We might be in contention with that.

Mr. Frazier: We only expect one, maybe two, of these deliveries a week. I am not exactly sure what time, but I think it is probably up to the driver to make sure if he sees a vehicle, to start his turning movement once he sees that everything is clear and he is not going to interfere with any pedestrians or any other vehicular traffic going through there. One, and I think busy stores may get two deliveries a week. I think some are even at off hours. It all is going to depend on how it factors into their delivery schedule.

Pastor Linder: Maybe Staff, or even the Chairman, can we speak to, I appreciate what you have speculated as the reason for the glass being the way that it is, but do we have a real reading from our own records as to why we want that particular requirement.

Mr. Havener: I really feel it is to maintain the consistency in the Historic District. I think the applicant is trying to do that. He trying to achieve that appearance even though they are not going to be functional windows in terms of being able to see through them, if you look at them from the street view, it is going to give you that consistent look down through there. They are trying to achieve what was proposed by code. I think that is the main thing, just maintaining that consistent look, even though they aren't functional, they are maintaining that look and that consistency.

Pastor Linder: My follow up, not to grill you Mr. Havener, but would we then be locked in with every succeeding opportunity in that plaza for change to try to match this particular...

Mr. Havener: Anything that would come in there would want to maintain that same consistency throughout the center, correct.

Pastor Linder: Ok.

Mr. Havener: We would want to see that glazing maintained between that two to ten foot range of the facade.

Chairman Rettke: Any other discussions, comments?

*(Vote)*

Mr. Havener: Alex, if you look at the "Next Steps", it gives you the outline of what you need to focus on from tonight, moving forward. You have a copy, if you have any questions, feel free to contact us and I am sure Eric will be in touch to guide you through that process.

Mr. Frazier: Thank you all for your time.

Chairman Rettke: Thank you.

Mr. Havener: Thank you very much.

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| <b>RESULT:</b>   | <b>APPROVED [UNANIMOUS]</b> |
| <b>MOVER:</b>    | Anthony Rettke, Chairman    |
| <b>SECONDER:</b> | Robert Linder               |
| <b>AYES:</b>     | Rettke, Linder, Donovan     |

2. **1391 Brice Rd.; Application #175691; Applicant: Brandon Ivery; Business: Capital City Car Sales, LLC; Special Exception Use Permit - Auto Sales**

Mr. Havener: 1391 Brice Road - Capital City Car Sales, LLC - Special Exception Use Permit. Application: #175691 - Special Exception Use Permit. Location: Property is located on the west side of Brice Road, south of E. Main Street. Existing Zoning: CC - Community Commerce District / CCO - Community Commercial Overlay District. The request is for a special exception use permit for a new auto sales use. Current Use: Vacant. Applicant: Brandon Ivery. Background Information - Proposal - The request of the applicant is for a special exception use permit for a new auto sales use at an existing commercial building. Site Context - The site is developed with an existing commercial building which was previously used as offices and storage for a building contractor (business services.) All neighboring properties are zoned CC and within the Community Commercial Overlay District. To the north, the property abuts a nail salon (personal services.) To the west and south, the property abuts a storm water control facility maintained by the City of Columbus Department of Public Utilities as open space. To the east, the property is adjacent to the Reynoldsburg Branch of the Columbus Metropolitan Library, a commercial office building and a shopping center with various retail uses. Staff Review - Compatibility - The existing site is primarily auto-oriented in nature. The structure fronts to Brice Road, which is designated as a major arterial street by the Thoroughfare Plan. Although no other auto related uses directly abut this property, there are auto repair and auto services uses in the immediate vicinity. The proposed use is not inconsistent with the land use pattern of the area. Given the number of employees employed by the previous use, Staff's position is that this use may decrease traffic to the site. Site Layout - The applicant proposes to utilize the main building, a former residence, as offices, and utilize the existing garage for storage. The applicant does not intend to perform any maintenance work on automobiles on the site, which is not allowed under this special exception use. The applicant has provided an aerial photograph indicating the proposed location of the 10-14 cars they intend to store on the site. Let me pull that up. Here you can see the aerial view and where they are proposing to park the cars on the site. The applicant is aware of the regulation of Section 1196.05(c) that prohibits storage of vehicles or other outdoor goods within 25FT of the public ROW, and has indicated compliance with that regulation on their drawing. The applicant is not proposing any additional curb cuts or driveways that would lead to a review of a site plan by our City Engineer or other Staff. The applicant should be advised that the gravel driveway at the extreme southern end of the property appears to be on the neighboring parcel owned by the

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City of Columbus. Staff cannot require removal of the drive based on this, but recommends the applicant work with their legal team and contact Staff if there are any proposed changes. Staff Recommendation - The Board should apply the standards for review of special exceptions contained in Section 1145.09 of the Zoning Code and determine if the proposed special exception complies with those standards. Staff recommends approval of the special expectation use permit application as submitted. Back to you Mr. Chairman.

Chairman Rettke: Before we get busy with this one, I think you gentlemen had stepped out so I need you to raise your right hand. Do you swear or affirm that the testimony that you give in front of the Board will be truthful? If so, say "I do." (*Two I do's heard.*) State your name and address for the record please.

Mr. Stevens: Good evening Mr. Chair. My name is Drew Stevens, 303 N. Front St. I am counsel for Brandon Ivery from Capital City Car Sales.

Mr. Ivery: Brandon Ivery, Poppy Hills Dr.

Chairman Rettke: Looking at this before, I really did not see a problem, but looking at the map and the ortho, the 25FT kinda puts you at a disadvantage, it looks like. Did you guys step that off when you made that diagram where you are going to park cars?

Mr. Stevens: He has been on the site. I should add that the diagram is not to scale.

Chairman Rettke: It looked tight. When I pull it up on Google Earth, I see the old Starter's vans and I am thinking I don't know if we can get that many cars in there or not. If you guys have looked at it and kind of laid that off, I would think the building face is probably what, 25FT? I don't think anybody is going to give you too much grief if you keep them in line with the front of that old house. Do you have access to the house and the garage behind it? What are you going to do with the house and the garage?

Mr. Ivery: The house will be our office space. The garage storage.

Mr. Donovan: Detailing, is that all you are going to do?

Mr. Ivery: Basically, I have a (*inaudible*) utilize him (*inaudible*).

Chairman Rettke: Where is your other location?

Mr. Ivery: 14 N. Wilson Rd.

Chairman Rettke: West side. That one is going to remain open?

Mr. Ivery: Yes and no. Small children, so I am going to come closer to home to spend more time with the children. So, I am trying to ease out of that location to where I can be here.

Chairman Rettke: Not very often we steal business from Columbus. Any other questions,

comments. The only question I had was to make sure you could get the amount of cars in there you can. Any signage?

Mr. Ivery: The existing sign, we are going to put our name there.

Mr. Havener: Just re-facing the existing sign.

Mr. Ivery: Yes.

Mr. Havener: You will have to submit the sign design and the Design Review Board will approve that.

Chairman Rettke: Where is that sign located? It is on the building, right?

Mr. Ivery: Actually, If you are heading north on Brice and make a left, the sign is kind of right by the light pole, on the other side of the light pole.

Mr. Havener: Let me correct my statement, I said Design Review Board would review and approve for a sign reface, I think that can be done by Staff. So, Eric would review that and approve it, as needed.

Mr. Donovan: Just a reface, right?

Mr. Havener: Yes.

Chairman Rettke: So, it is back by the barn? Or is there one out by the road?

Mr. Ivery: There's two.

Chairman Rettke: It has been a while since I have been down there and I can't remember.

Pastor Linder: Similar number of vehicles in your present business as what you will do here?

Mr. Ivery: My present business we actually had forty to sixty. It was a lot bigger, more stress and time. Just slipping it down a size.

Chairman Rettke: You just have to get the right 14, right?

Mr. Donovan: What vintage of vehicles are you going to be having over there?

Mr. Ivery: 2010 to 2016. Special finance. Focus more on second chance financing. *(Inaudible.)*

Mr. Stevens: This is like a satellite operation and 14 cars is a worse case scenario.

Mr. Ivery: No major deliveries. No major car carriers.

Chairman Rettke: Go to the auction and bring one back.

Mr. Ivery: That is exactly what we intend on doing.

Chairman Rettke: Somebody comes in and wants a particular one, you can watch the auctions for it?

Mr. Ivery: Yes, if they want something specific, they come in and tell me what they are looking for and I find it in three to five businesses days typically. We get them fast.

Mr. Donovan: That is a wonderful thing.

Chairman Rettke: Any other questions, concerns? I do not see anything major with it.

*(Vote)*

Mr. Havener: The next steps are listed in the Staff Report.

Mr. Ivery: I talk to Eric a lot.

Mr. Havener: Feel free to contact Eric. He will lead you down the right paths.

|                |                            |                                |
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| <b>RESULT:</b> | <b>REFERRED TO COUNCIL</b> | <b>Next: 2/13/2017 8:00 PM</b> |
|----------------|----------------------------|--------------------------------|

3. **7578 E. Main St.; Application #176211; Applicant: Evans Capital Investments, Ltd.; Business: Reynoldsburg DG, LLC; to Grant a Variance from Section 1193.12(C)(1,3) of the Zoning Code to Allow Signage that Exceeds the Area Requirements of that Section.**

|                  |                           |
|------------------|---------------------------|
| <b>RESULT:</b>   | <b>TABLED [UNANIMOUS]</b> |
| <b>MOVER:</b>    | Anthony Rettke, Chairman  |
| <b>SECONDER:</b> | Richard Donovan           |
| <b>AYES:</b>     | Rettke, Linder, Donovan   |

4. Annual Organizational Meeting to Elect a Chairman, Vice Chairman, and a Secretary

Mr. Havener: Mr. Chair, I think in order to move ahead with these elections, I will chair the meeting temporarily. Are there any recommendations for election for Chairman of the Board?

Pastor Linder: I nominate Mr. Rettke.

Mr. Rettke: I accept the nomination.

Mr. Havener: I will call the vote. Mr. Donovan. "Yes." Pastor Linder. "Yes." Mr. Rettke. "Yes." Moving on to election of Vice Chairman.

Pastor Linder: I nominate Mr. Donovan.

Mr. Donovan: I accept the nomination.

Mr. Havener: With no other nominations, I will call the vote again. Mr. Donovan. "Yes."  
 Pastor Linder. "Yes." Mr. Rettke. "Yes." At the recommendation of Eric Snowden, he  
 would like to remain as Secretary. I will call the official vote. Mr. Donovan: "Yes." Pastor  
 Linder. "Yes." Mr. Rettke. "Yes." With that, I will turn the meeting back over to the  
 Chairman.

#### E. OTHER BUSINESS

No other business.

#### F. ADJOURNMENT

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 Chairman

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 Planning Administrator

Minutes Acceptance: Minutes of Jan 19, 2017 6:30 PM (APPROVAL OF MINUTES)

**CITY OF REYNOLDSBURG**  
Planning and Zoning Division  
City of Reynoldsburg  
7232 East Main Street  
Reynoldsburg, Ohio

Application #: 176211  
Permit #:  
Date Submitted: 12/19/16  
Fee Amount: \$0

**Section 1139**  
**BOARD OF ZONING & BUILDING APPEALS**  
**APPLICATION**

☒ Paid: On other App

|                                                                                                                                                                                                                                                                                                 |                                                                        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|
| <b>I. PROPERTY INFORMATION</b>                                                                                                                                                                                                                                                                  |                                                                        |
| Property Address:<br><b>7578 E. Main St. Reynoldsburg, OH</b>                                                                                                                                                                                                                                   |                                                                        |
| <b>II. PROPERTY OWNER OF RECORD</b>                                                                                                                                                                                                                                                             |                                                                        |
| Property Owner Name(s):<br><b>Evans Capital Investments, Ltd.</b>                                                                                                                                                                                                                               |                                                                        |
| Contact Email:<br><b>tschueler@evansadhesive.com</b>                                                                                                                                                                                                                                            | Contact Phone Number:<br><b>614-553-7013 Tammy Schueler, President</b> |
| <b>III. BUSINESS INFORMATION (IF APPLICABLE)</b>                                                                                                                                                                                                                                                |                                                                        |
| Business Name:<br><b>Reynoldsburg (E. Main) DG, LLC</b>                                                                                                                                                                                                                                         | Contact Name:<br><b>Mark Bush</b>                                      |
| Contact Phone Number:<br><b>205-263-4584</b>                                                                                                                                                                                                                                                    | Contact Email:<br><b>mbush@cgpre.com</b>                               |
| Description of Use:<br><b>7,500 sqft Dollar General Store</b>                                                                                                                                                                                                                                   |                                                                        |
| <b>IV. APPLICANT INFORMATION</b>                                                                                                                                                                                                                                                                |                                                                        |
| Applicant Name:<br><b>Evans Capital Investments, Ltd.</b>                                                                                                                                                                                                                                       | Applicant Address:<br><b>925 Old Henderson Rd. Columbus, OH 43220</b>  |
| Applicant Phone Number:<br><b>614-553-7013 or 614-451-2665</b>                                                                                                                                                                                                                                  | Applicant Email:<br><b>tschueler@evansadhesive.com</b>                 |
| <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Architect                                                                                                                               |                                                                        |
| <b>PROJECT INFORMATION</b>                                                                                                                                                                                                                                                                      |                                                                        |
| CHECK AND DESCRIBE IF APPLY:<br>Variance ( <input checked="" type="checkbox"/> Non-Residential (\$450) / <input type="checkbox"/> Residential (\$100): <u>See attached document summarizing variance requests from Section 1193.12 (c) (1, 3) - (Per 2016 Revised Reynoldsburg Zoning Code)</u> |                                                                        |
| <input type="checkbox"/> Special Exception Use (\$350): _____                                                                                                                                                                                                                                   |                                                                        |
| <input type="checkbox"/> Major Site Plan Review (\$500): _____                                                                                                                                                                                                                                  |                                                                        |
| <input type="checkbox"/> Other: _____                                                                                                                                                                                                                                                           |                                                                        |

Applicant shall submit **nine (9) copies** of application and materials to the Planning Administrator. Please review the attached sections of the Zoning Code and note the items you are responsible for submitting with this application.

Applicant Signature: Evans Capital Investments, Ltd. By: [Signature], President Date: 12/16/16

|                   |                                                                                                                                                                                                                        |                                                                                                                                                                                                                                    |
|-------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Additional Notes: | <b>**OFFICE USE ONLY**</b>                                                                                                                                                                                             |                                                                                                                                                                                                                                    |
|                   | <u>Zoning Information</u>                                                                                                                                                                                              |                                                                                                                                                                                                                                    |
|                   | Zoning District: <u>CC</u>                                                                                                                                                                                             |                                                                                                                                                                                                                                    |
|                   | <input type="checkbox"/> Historic District<br><input checked="" type="checkbox"/> CC Overlay                                                                                                                           |                                                                                                                                                                                                                                    |
|                   | <u>Other Board Approval</u>                                                                                                                                                                                            |                                                                                                                                                                                                                                    |
|                   | <input type="checkbox"/> DRB                                                                                                                                                                                           |                                                                                                                                                                                                                                    |
|                   | <u>BZBA Meeting</u><br>Date: <u>1/19/17</u><br><input type="checkbox"/> Approved as Submitted<br><input type="checkbox"/> Approved w/ Conditions<br><input type="checkbox"/> Tabled<br><input type="checkbox"/> Denied | <u>City Council Meeting</u><br>Date: _____<br><input type="checkbox"/> No Action Taken<br><input type="checkbox"/> Approved (w/ Conditions)<br><input type="checkbox"/> Introduced As Ordinance<br><input type="checkbox"/> Denied |
|                   | Clerk of Council<br>Initials: _____ Date: _____<br>Planner Initials: _____ Date: _____                                                                                                                                 |                                                                                                                                                                                                                                    |

Attachment: Application #176211 (1635 : 7578 E. Main St.; Application #176211; Applicant: Evans Capital Investments, Ltd.)

Reynoldsburg, OH – Variance Application Summary

Reynoldsburg (E. Main), OH DG, LLC

December 15, 2016

## Description of Variance Requests/Statements of Hardship:

*Requesting a variance from Section 1193.12 (c) (1,3), in reference to maximum areas of business identification signs permitted. We are requesting to increase the proposed ground and wall sign areas from the current maximum allowable of 18/20 square feet to 50 square feet and 50 square feet, respectively. Increased signage area will enhance store visibility and recognition from roadway. Signage will be sized and positioned on site so as not to distract or impede motorists and/or pedestrians.*



Packet Pg. 16

Attachment: Application #176211 (1635 : 7578 E. Main St.: Applicant: Evans Capital Investments, Ltd.)

P.O. Box 193 275 McGregor Way  
Grawn, MI 49637  
PHONE: 231-943-0050  
FAX: 231-943-0051  
www.landtechps.com

SURVEY DESCRIPTION

Part of Half Section No. 8 in Section 7,  
Township 16 North, Range 20 West, Refugee Lands,  
City of Reynoldsburg, County of Franklin, State of Ohio

LOCATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF REYNOLDSBURG, PART OF HALF SECTION NO. 8 IN SECTION 7, TOWNSHIP 16 NORTH, RANGE 20 WEST, REFUGEE LANDS, AND BEING A PART OF THE LAND CONVEYED TO EVANS CAPITAL INVESTMENTS, LTD AS RECORDED IN INSTRUMENT #: 200211050280743, FRANKLIN COUNTY RECORDS, MORE FULLY DESCRIBED AS:

COMMENCING AT A POINT AT THE CENTERLINE INTERSECTION OF EAST MAIN STREET (US-40) (80' PUBLIC/ASPHALT) & WAGGONER ROAD (80' PUBLIC/ASPHALT);

THENCE S84°48'42"W ALONG THE CENTERLINE OF EAST MAIN STREET A DISTANCE OF 469.93 FEET TO A SET MAG NAIL ON THE WEST LINE OF SAID LAND CONVEYED TO EVANS CAPITAL INVESTMENTS, LTD;

THENCE N5°11'18"W ALONG SAID WEST LINE A DISTANCE OF 40.00 FEET TO A FOUND 3/4" PIPE ON THE NORTHERLY RIGHT OF WAY OF EAST MAIN STREET AND THE POINT OF BEGINNING;

THENCE CONTINUING N5°11'18"W ALONG SAID WEST LINE A DISTANCE OF 160.00 FEET TO A SET 5/8-INCH REBAR WITH 'S-8066' CAP;

THENCE N25°30'00"W ALONG SAID WEST LINE A DISTANCE OF 120.00 FEET TO A FOUND 3/4" PIPE;

THENCE N41°48'47"W ALONG SAID WEST LINE A DISTANCE OF 87.91 FEET TO A FOUND 3/4" PIPE;

THENCE N6°37'05"E ALONG SAID WEST LINE A DISTANCE OF 100.00 FEET TO THE NORTH LINE OF SAID LAND AND A FOUND 3/4" PIPE, BEING THE SOUTH LINE OF A PARCEL OWNED BY CAROLYN EISELE;

THENCE S83°22'55"E ALONG SAID NORTH LINE AND THE SOUTH LINE OF LAND OWNED BY JANET COCHRAN A DISTANCE OF 209.44 FEET TO A SET 5/8-INCH REBAR WITH 'S-8066' CAP;

THENCE S4°13'32"E A DISTANCE OF 398.18 FEET TO A SET 5/8-INCH REBAR WITH 'S-8066' CAP AND THE NORTHERLY RIGHT OF WAY OF EAST MAIN STREET;

THENCE S84°48'42"W ALONG THE NORTHERLY RIGHT OF WAY OF EAST MAIN STREET A DISTANCE OF 124.68 FEET TO THE POINT OF BEGINNING.

CONTAINS 67,549 SQUARE FEET OR 1.551 ACRES.

BEARING BASIS: S84°48'42"W ALONG THE CENTERLINE OF EAST MAIN STREET (US-40), AS RECORDED IN INSTRUMENT #:200211050280743, FRANKLIN COUNTY RECORDS.

This description was made in accordance with a survey conducted under my direct supervision on November 6, 2016. To the best of my knowledge and belief, said survey was executed in accordance with Ohio Administrative Code Chapter 4733-37, Standards for Boundary Surveys.

Matthew T. Mokanyk, P.S., P.E.  
Ohio P.S. No. S-8066

Date

 CITY OF REYNOLDSBURG  
Department of Development  
Planning & Zoning Division  
7232 East Main Street  
Reynoldsburg, Ohio

Section 1139  
BOARD OF ZONING & BUILDING APPEALS  
APPLICATION

Application #: 175748  
Permit #:  
Date Submitted: 1/23/17  
Fee Amount: \$450.00  
☒ Paid: #57312

|                                                                                                                                                                                              |                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|
| <b>I. PROPERTY INFORMATION</b>                                                                                                                                                               |                                              |
| Property Address:<br>1051 S. Waggoner Road, Reynoldsburg OH 43068                                                                                                                            |                                              |
| <b>II. PROPERTY OWNER OF RECORD</b>                                                                                                                                                          |                                              |
| Property Owner Name(s):<br>Bishop Edward Herrmann (Catholic Diocese of Columbus) / St. Pius X Parish                                                                                         |                                              |
| Contact Email:<br>jbeyer@spxreynoldsburg.com                                                                                                                                                 | Contact Phone Number:<br>614-322-6376        |
| <b>III. BUSINESS INFORMATION (IF APPLICABLE)</b>                                                                                                                                             |                                              |
| Business Name:<br>St. Pius X Catholic Parish                                                                                                                                                 | Contact Name:<br>John Beyer                  |
| Contact Phone Number:<br>614-866-2859                                                                                                                                                        | Contact Email:<br>jbeyer@spxreynoldsburg.com |
| Description of Use:<br>Church & Elementary School Campus                                                                                                                                     |                                              |
| <b>IV. APPLICANT INFORMATION</b>                                                                                                                                                             |                                              |
| Applicant Name:<br>St. Pius X / John A. Eberts, Architect                                                                                                                                    | Applicant Address:<br>1051 S. Waggoner Road  |
| Applicant Phone Number:<br>614-866-2859 / 614-370-1699                                                                                                                                       | Applicant Email:<br>jeberts@iwaynet.net      |
| <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Architect/Engineer |                                              |

**PROJECT INFORMATION**

CHECK AND DESCRIBE IF APPLY:

Variance ( ☒ Non-Residential (\$450) / ☐ Residential (\$100) ): \_\_\_\_\_  
Variance to Sect. 1175.05, side yard setback from 60' to existing building side yard 6'-3"

Variance to Sect. 1180.10(b)(1) buffering to be modified to larger evergreen trees along north property line to provide year around screening and preserve the nature of the existing ravine topograpy and character.

☐ Special Exception Use Permit (\$350): \_\_\_\_\_

☐ Other: \_\_\_\_\_

Applicant shall submit ten (10) copies of application and materials to the Planning Administrator. Please review the attached sections of the Zoning Code and note the items you are responsible for submitting with this application.

Applicant Signature: John Beyer    Asst. Pres. Mgr.    Date: 1/16/17

\*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.\*

|                   |                                                                                                                                                                                                                        |                                                                                                                                                                                                                                |
|-------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Additional Notes: | <b>**OFFICE USE ONLY**</b>                                                                                                                                                                                             |                                                                                                                                                                                                                                |
|                   | <u>Zoning Information</u>                                                                                                                                                                                              |                                                                                                                                                                                                                                |
|                   | Zoning District: _____<br><input type="checkbox"/> Historic District<br><input type="checkbox"/> CC Overlay                                                                                                            |                                                                                                                                                                                                                                |
|                   | <u>Add'l Approvals Req'd</u><br><input type="checkbox"/> Planning Commission<br><input type="checkbox"/> DRB                                                                                                           |                                                                                                                                                                                                                                |
|                   | <u>BZBA Meeting</u><br>Date: <u>2/16/17</u><br><input type="checkbox"/> Approved as Submitted<br><input type="checkbox"/> Approved w/ Conditions<br><input type="checkbox"/> Tabled<br><input type="checkbox"/> Denied | <u>City Council Meeting</u><br>Date: _____<br><input type="checkbox"/> No Action Taken<br><input type="checkbox"/> Approved as Submitted<br><input type="checkbox"/> Approved w/ Conditions<br><input type="checkbox"/> Denied |
|                   | P&Z Admin.: _____ Date: _____                                                                                                                                                                                          | Clerk of Council: _____ Date: _____                                                                                                                                                                                            |

Attachment: Application #175748-1 (1665 : 1051 S. Waggoner Rd.; Application #175748; Applicant John A. Eberts, Architect)



JOHN A. EBERTS, ARCHITECT

165 ERIE ROAD  
614 430 8770 voice/fax

COLUMBUS, OHIO 43214  
jeberts@iwaynot.net

### St. Pius X Hardship Statement

St. Pius X has been a part of the Reynoldsburg/Waggoner Road community since the late 50's, operating 7-4 during the weekdays and having masses on Saturday at 5pm and Sunday 8:30am thru 1:00pm. St. Pius has evolved to remain a vibrant and active church and school campus. Some of the existing structures date back to the early 1960's and have served the parish well. However, for these buildings to remain useful they have received minimal upgrades or are in need of renovation and / or additions to fulfill the changing and expanding needs of the parish. Although the number parishioners and students have remained relatively consistent over the years, the number of parish committees, curriculum and activities (both church and school) has grown. Of course, this translates into meeting spaces (large and small), seasonal décor, storage for committee displays and supplies, educational equipment, athletic uniforms and equipment, maintenance tools and equipment and supplies for numerous community outreach committees.

The St. Pius X campus consists of approximately 15.14 acres. Unfortunately, with the current front & side yards setbacks, parking & circulation requirements, drainage area, ball field and flood plain area the actual total buildable area is approximately 4.0 acres (26.4%). Discounting existing structures (0.94 acres), only 3 acres remain for possible expansion of usable spaces for the campus. Although this may sound adequate, this additional space isn't necessarily configured or located in the optimal area of the campus to accommodate the future spatial needs of specific structures. The lack of usable buildable area is compounded with its unusual shape and topographic features, which lessens the practicality of this area. We feel that maximize the efficiency of the usable buildable area would be to construct additions to the existing structures using the previously set setback guidelines in place when the buildings were originally constructed. This would require a variance to Zoning article 1175.05, side yard setback, allowing the construction of an addition inline with the existing Holman Hall structure, currently 4.3' south of the north property line.

This would allow for the remodeling and addition to one of the oldest structures on campus. The proposed addition to Holman Hall would update the existing latchkey area and add needed meeting spaces, work areas and storage for the parish. Expanding to the east of the existing hall would maximize the utilization of space, preserve existing parking area and the openness of the campus. The proposed Holman Hall addition along with the others future proposed improvements would virtually not be visible from Waggoner Road or surrounding properties. The other proposed building additions follow in this manner. This would also maintain the open green space along property frontage without impeding into the heavily wooded area to the north. There would be no adverse traffic, noise, glare, odor, fumes, vibration, or storm water to affect the neighboring single-family residences or apartment dwellers. The additions would actually act to reduce any such elements

We feel that such improvements also add to the surrounding community and future vibrancy of the existing campus."

Variance summary:

To Zoning Article 1175.05: Variance to the required 60 ft. side yard setback to the 6'-3", the existing setback of the Holman structure, to be renovated and added to, at the northwest corner of the property.

To Zoning Article 1180.10(b)(1): Variance to the existing screening / buffering requirements to allow for the preservation of the existing natural, heavily wooded, ravine setting by planting larger evergreen trees to screen the structure from the adjacent neighboring properties to the north vs. mounding and/or fencing.

John A. Eberts, AIA, LEED AP, CSI  
John A. Eberts, Architect Office  
165 Erie Road, Suite B  
Columbus, Ohio 43214



Nov 25, 2016

To the City of Reynoldsburg,

We are fine with the extension and renovation of Hohman Hall, it is heavily screened by the existing trees and ravine. Second, we would be in favor of new evergreens being planted along the property line for year round screening versus mounding or fencing, which would be very out of character for such a natural setting. Finally, third, with the building being as close as 6'-3" from the property line to the west end, we would permit the planting of some of the trees on our side of the property to allow for the proper spacing and growth of the said trees. Of course, also that we love what you are doing to the place!



Terry Dean-999 Waggoner Road, Reynoldsburg Ohio 43068



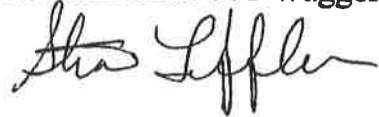
Karon Dean-999 Waggoner Road, Reynoldsburg Ohio 43068

Nov 30, 2016

To the City of Reynoldsburg,

We are fine with the extension and renovation of Hohman Hall, it is heavily screened by the existing trees and ravine. Second, we would be in favor of new evergreens being planted along the property line for year round screening versus mounding or fencing, which would be very out of character for such a natural setting. Finally, third, with the existing building (Hohman Hall) being as close as 4'-3" from the property line to the west end and the corner of the building of the new build would be 6'3" from the property line, we would permit the planting of some of the trees on our side of the property to allow for the proper spacing and growth of the said trees. Of course, also that we love what you are doing to the place!

Steven Leffler-971 Waggoner Road, Reynoldsburg Ohio 43068



Mary Leffler-971 Waggoner Road, Reynoldsburg Ohio 43068



## WARRANTY DEED

1853

KNOW ALL MEN BY THESE PRESENTS: That NORTHFIELD ESTATES, INC., a corporation duly incorporated under the Laws of the State of Ohio, of the City of Columbus, County of Franklin and State of Ohio in consideration of the sum of One Dollar (\$1.00) and other good and valuable considerations to be paid by Clarence E. Elwell, Bishop of the Diocese of Columbus, of the City of Columbus, County of Franklin and State of Ohio, the receipt of which is hereby acknowledged, doth hereby GRANT, BARGAIN, SELL AND CONVEY to the said Clarence E. Elwell, Bishop of the Diocese of Columbus, his successors and assigns forever, the following REAL ESTATE, situated in the County of Franklin in the State of Ohio and in the City of Reynoldsburg and bounded and described as follows:

Situate in the County of Franklin, State of Ohio, City of Reynoldsburg, being located in Half Section 8, Section 7, Township 16, Range 20, Refugee Lands, and being all of Reserve "A" of SAFFRON HILL as the plat of same is shown of record in Plat Book 37, Page 28, all references being to records of the Recorder's Office, Franklin County, Ohio, and bounded and described as follows:

Beginning at a point in the easterly right-of-way line of Northfield Place South at the northwesterly corner of Lot No. 19, or, the southwesterly corner of Reserve "A" of the said SAFFRON HILL;

thence along the westerly line of the said Reserve "A", being the arc of a curve to the left, (Radius = 50 feet, Sub-Delta =  $11^{\circ} 31' 50''$ ), a chord bearing and distance of North  $3^{\circ} 01'$  East, 10.05 feet to a point at the northwesterly corner of the said Reserve "A", or, the southwesterly corner of Lot No. 18 of the said SAFFRON HILL;

thence along the northerly line of the said Reserve "A", or, the southerly line of the said Lot No. 18, South  $81^{\circ} 11' 10''$  East, 100.98 feet to a point at the northeasterly corner of the said Reserve "A";

thence along the easterly line of the said Reserve "A", South  $8^{\circ} 23'$  West, 10.0 feet to a point at the southeasterly corner of the said Reserve "A";

JAN 31 1969  
 Received  
 FEB 4 - 1969  
 In Franklin County  
 JAMES A. SCHAEFER, Recorder  
 Recorder's Fee \$ 3.00

019

TRANSFERRED

JAN 31 1969

ARCH J. WARREN  
 AUDITOR  
 FRANKLIN COUNTY, OHIO

TRANSFER TAX  
 EXEMPT  
 By [Signature]  
 ARCH J. WARREN  
 FRANKLIN COUNTY, AUDITOR

Summary

Parcel Info

Summary

- Print View

Residential

Commercial

Improvements

Sketch/Photo

Map (GIS)

Transfer

Property Report

Tax Information

Levy Info

Tax Estimator

Tax Distribution

Search By

Parcel ID

Owner

Street Address

Site Functions

Property Search

On-Line Help

Email Auditor

Home

Auditor's Home

Tax Estimator by School/District

Contact Us

Summary

Parcel ID

Address

Index Order

Card

060-001027-80

1051 WAGGONER RD

Street Address

1 of 1

Owner Information

Call 614-462-4663 if incorrect

HERRMANN EDWARD J BISHOP

Tax Bill Mailing Information

Mail Changes Only - Click Here

ST PIUS X RECTORY

1051 WAGGONER RD

REYNOLDSBURG OH 43068

Value Information

Market Land Value

Agricultural Value

Market Impr. Value

Market Total Value

68,500

0

156,900

225,400

Sales Data

Sale Amount

Date

# of Parcels

Conveyance #

Exempt #

\$0

10/26/1973

Building Data

Year Built

Total Rooms

Bedrooms

Full Bathrooms

Half Bathrooms

Square Footage

1966

12

4

3

2

4202

Tax Dist

School Dist

Land Use

Neighborhood

060 CITY OF REYNOLDSBURG

2509 REYNOLDSBURG CSD

[511] 1-FAMILY DWLNG (UNPLAT): 0 TO 9.99 AC

06201

Board of Revision

Homestead

2.5% Reduction

Assessments

CDQ Year

No

No

No

No

2005 Annual Taxes

\$4,044.14

2005 Total Taxes Paid

\$4,044.14

Leffler

0.500 Acres

Situated in the state of Ohio, county of Franklin, city of Reynoldsburg, township of Truro, and being part of Half Section 8, Township 16, Range 20, of the Refugee Tract, and being part of a 12.97 acre tract of land conveyed to Mary E and Robert S. Leffler as recorded in instrument no. 20020328007888, as recorded in Franklin County Records Office.

Beginning at a point in the center of Waggoner Road, said point being South  $16^{\circ} 54' 13''$  East, a distance of 431.71 feet from a railroad spike found at the southeast corner of a 47 acre tract of land conveyed to Jane C. Baer as described and recorded in Official Record 0545C18;

thence, South  $16^{\circ} 54' 13''$  East, a distance of 65.84 feet with said Waggoner Road, to a point at the northeast corner of a 14.9 acre tract conveyed to Edward J. Herrman (Bishop) as described and recorded in Deed Book 3377, page 404;

thence, South  $73^{\circ} 52' 37''$  West, with the north line of said Herrmann lands, passing a  $5/8''$  rebar found 30' perpendicular to said Waggoner Road, a total distance of 351.33 feet to a  $5/8''$  rebar and cap set;

thence, North  $15^{\circ} 13' 00''$  East, with a new line running entirely within the subject tract, a distance of 77.08 feet to a  $5/8''$  rebar and cap set;

thence, North  $73^{\circ} 52' 37''$  East, with a new line running entirely within the subject tract, passing a  $5/8''$  rebar and cap set 30' perpendicular to said Waggoner Road, a total distance of 310.34 feet to the place of beginning and containing 0.500 acres, more or less, subject to any right-of-ways and or laws and restrictions of record.

This description, is based on field observations made by me in June of 2004, and the bearings of the same are based on a meridian system in which the west line of subject tract is North  $02^{\circ} 49' 37''$  West as described in OR 13309G07.

  
Professional Surveyor 7081  
Mark A. Berry

North Point Surveying  
6202 Outville Road SW  
Pataskala, Ohio

43062-9595

(740) 927-2474



# NORTH POINT SURVEYING

6202 Outville Road SW  
Pataskala, Ohio 43062-9595  
Phone (614) 927-2474

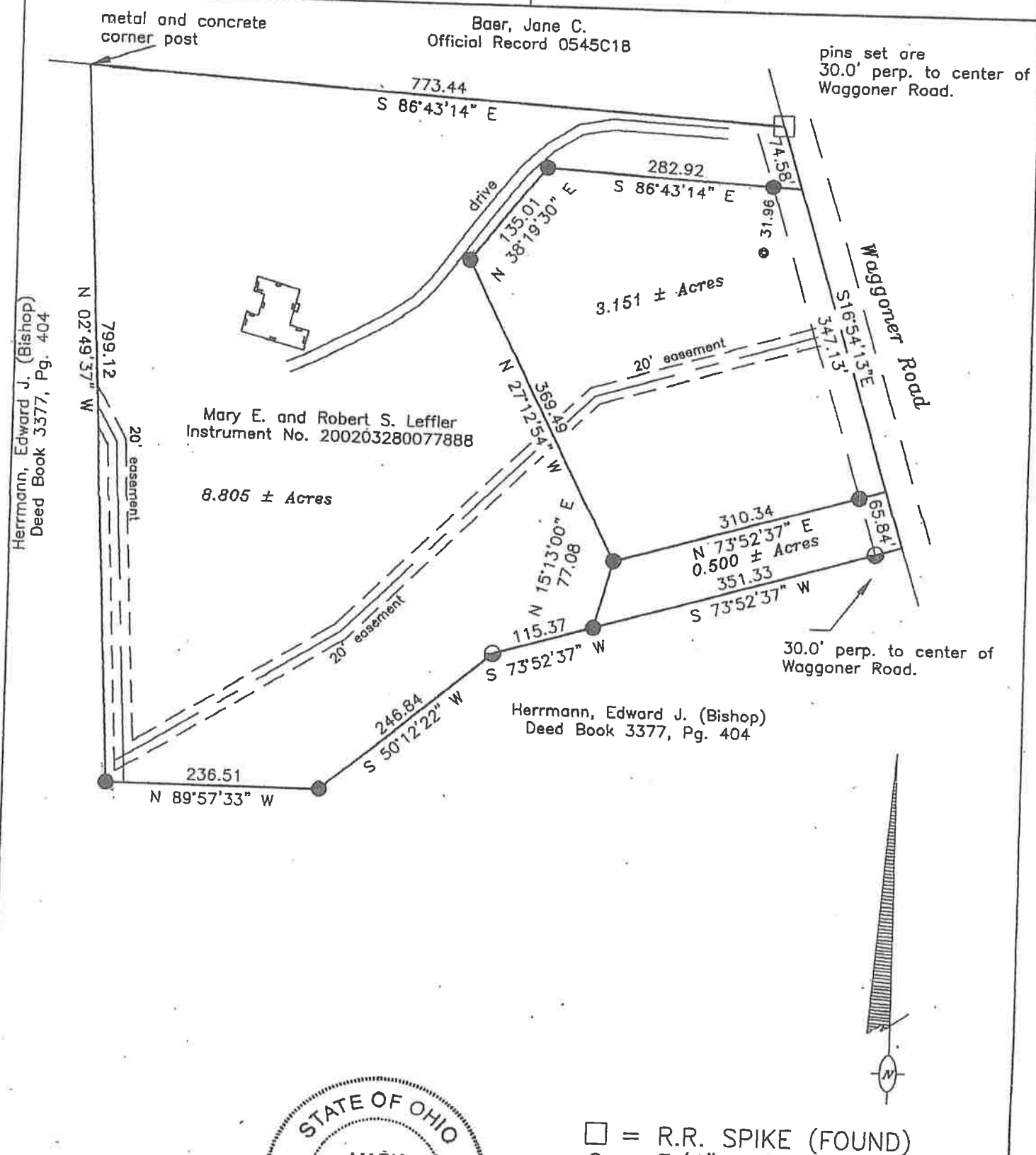
20011106

## BOUNDARY SURVEY

Situated in the state of Ohio, county of Franklin, City of Reynoldsburg, township of Truro, and being part of half section 8, Township 16, Range 20, of the Refugee Tract, and being all of 12.968 acre tract of land conveyed to Mary E. and Robert S. Leffler, as described and recorded in Instr. Number 20020328077888 in Franklin County Recorders Office.

Baer, Jane C.  
Official Record 0545C18

pins set are  
30.0' perp. to center of  
Waggoner Road.



Parcel Info

- Summary
- Print View
- Residential
- Commercial
- Improvements
- Sketch/Photo
- Map (GIS)
- Transfer
- Property Report
- Tax Information
- Levy Info
- Tax Estimator
- Tax Distribution

Search By

- Parcel ID
- Owner
- Street Address

Site Functions

- Property Search
- On-Line Help
- Email Auditor
- Home
- Auditor's Home
- Tax Estimator by School/District
- Contact Us

Summary

|                                                                                                                                                                             |             |                                                                                                                                                   |        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------|--------|
| Parcel ID                                                                                                                                                                   | Address     | Index Order                                                                                                                                       | Card   |
| 060-008893-00                                                                                                                                                               | WAGGONER RD | Street Address                                                                                                                                    | 1 of 1 |
| <b>Owner Information</b><br>Call 614-462-4663 if incorrect<br>GRIFFIN JAMES A BISHOP<br>198 E BROAD ST<br>COLUMBUS OH 43215                                                 |             | <b>Tax Bill Mailing Information</b><br><u>Mail Changes Only - Click Here</u><br>ST PIUS X CHURCH<br><br>1051 WAGGONER RD<br>REYNOLDSBURG OH 43068 |        |
| <b>Value Information</b><br>Market Land Value 11,800<br>Agricultural Value 0<br>Market Impr. Value 0<br>Market Total Value 11,800                                           |             | <b>Legal Description</b><br>WAGGONER RD<br>R20 T16 S7 1/4S8<br>0.50 ACRE<br>060-O106B -002-01                                                     |        |
| <b>Sales Data</b><br>Sale Amount \$25,000<br>Date 09/01/2004<br>Deed Type GW<br># of Parcels 1<br>Conveyance # 23722<br>Exempt #                                            |             | <b>Building Data</b><br>Year Built<br>Total Rooms 0<br>Bedrooms 0<br>Full Bathrooms 0<br>Half Bathrooms 0<br>Square Footage 0                     |        |
| <b>Tax Dist</b> 060 CITY OF REYNOLDSBURG<br><b>School Dist</b> 2509 REYNOLDSBURG CSD<br><b>Land Use</b> [501] VACANT RESIDENTIAL: 0 TO 9.99 AC<br><b>Neighborhood</b> 06201 |             | <b>Board of Revision</b> No<br><b>Homestead</b> No<br><b>2.5% Reduction</b> No<br><b>Assessments</b> No<br><b>CDQ Year</b>                        |        |
| <b>2005 Annual Taxes</b> \$211.70                                                                                                                                           |             | <b>2005 Total Taxes Paid</b> \$211.70                                                                                                             |        |

January 18, 2017  
ST PIUS X / SANCTUARY EXPANSION

3. Facilities Demand Worksheet

(To be completed for Major Site Plan, District Amendment, and Plot, Grade, & Utility Plan Applications.)

1. Water:

- a. What will the total demand for water be in gallons per day (gpd) for this proposed site improvement? 12,500 (1) gpd
- b. How much pressure is required? 70 (1) psi

Coordinate with the City Engineer to determine if a Water Usage/Flow Study is required (614.322.6810).

2. Sanitary Sewer:

- a. What will the total anticipated flow in gallons per day for this proposed site improvement? 12,500 (1) gpd

Coordinate with the City Engineer to determine if a Utility Study is required (614.322.6810).

3. Traffic: (1) Information supplied by project MEP

- a. Definitions:
  - i. Traffic Access Study: This type of study is to be used for small scale projects generating 50- 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. These studies are applicable to projects that do not have a significant impact on the overall transportation system, but will have impacts on site access points. Analysis is typically limited to review of access point location, type, and size. Analysis of turn lane requirements on the public road at the proposed access point may also be reviewed.
  - ii. Traffic Impact Study: An impact study is to be completed for uses that generate more than 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. This type of evaluation usually includes all access points and nearby intersections. The scope of the Traffic Impact Study is to be determined by affected agencies and the Applicant.
  - iii. Regional Traffic Analysis: This type of analysis is suited for large scale or groups of smaller projects that impact a large geographical area significant enough in the judgment of City to require an evaluation of impacts on a Comprehensive or Thoroughfare Plan Scale. Road segments, intersections, and perhaps alternative road networks shall be analyzed and long term needs identified. The scope is to be determined by affected agencies and the Applicant.

- b. What are the anticipated Average Daily Traffic (ADT), Generator Peak Traffic, Adjacent Street Peak Traffic volumes, generated by the site improvement and what are the Peak Hours of operation (using ITE Trip Generation Manual).

(See attached letter)

\_\_\_\_\_ ADT

Generator Peak

Adjacent Street Peak

Peak Hour

\_\_\_\_\_AM

\_\_\_\_\_AM

\_\_\_\_\_AM

\_\_\_\_\_PM

\_\_\_\_\_PM

\_\_\_\_\_PM

- c. Is a zoning district being requested for uses that can generate 200 or more peak hour trip ends that the current zoning does not anticipate?

\_\_\_\_\_ Yes, Traffic Impact Study or Regional Traffic analysis is required.

☒ No, Traffic Access Study Required.

- d. Check the following as applicable to the site development:

\_\_\_\_\_ District Amendment

☒ There are between 50-200 Peak Hour trips anticipated.  
(Traffic Access Study is required.)

\_\_\_\_\_ There are 200 or more Peak Hour trips anticipated.  
(Traffic Impact Study or Regional Traffic Study is required.)

- e. The information presented in this section is to assist the applicant with the requirements for traffic analysis within the City of Reynoldsburg. The City reserves the right to change these requirements if special conditions exist. If a Traffic Impact Statement or Regional Traffic Analysis is required, the applicant and the City Engineer must schedule a scope verification meeting with the City and any other local, state, or federal agencies affected by the proposed site improvements.

I certify that the information provided with this application is correct and accurate to the best of my knowledge, in filing this application with the City of Reynoldsburg.

George A. Schweitzer (signature)  
Applicant's Signature  
George A. Schweitzer  
Ohio PE 53903

Date





December 27, 2016

Mr. George Schweitzer, PE, PS  
Geo-Graphics, Inc.  
3331 Livingston Avenue  
Columbus, OH 43227

**Re: St Pius X Catholic Church**  
City of Reynoldsburg, Franklin County, Ohio

Dear George:

Please consider this letter a summary of the trip generation for the subject development that will need to be incorporated into the City of Reynoldsburg’s Facilities Demand Worksheet. The City will likely need to see the background to the traffic numbers in the Facilities Demand Worksheet, so please forward it to them when you submit.

**BACKGROUND**

St. Pius X Catholic Church is proposing to expand the existing buildings on the subject site to include a 1,870 SF Church entry addition, 1,350 SF additional parish office space, and 5,180 SF of additional space in the community hall and latchkey area. The site is located on the west side of Waggoner Road between Ridgemont Court and Quarry Cliff Court. The proposed site has direct access to Waggoner Road. The City of Reynoldsburg’s *Development Handbook* contains a Facilities Demand Worksheet that has a section related to traffic that is used to determine what type of traffic study, if any, needs to be performed. While the peak hour of a church occurs on Sunday morning, this expansion is related to ancillary uses and does not affect seating for services. Based on past experience in the City, it is presumed that the trip calculations should be focused on weekday activity. The expansion is also proposed to add an additional 8,400 SF of space to an existing K-8 school, however no additional student capacity will be added.

**TRIP GENERATION ANALYSIS**

In traffic engineering, the accepted method for computing trip generation is utilizing data from the *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). The land use “Church” (ITE Code #560) was used to represent the site. The area of the expansion is 8,400 square feet. Smart Services, Inc. typically uses the independent variable ‘students’ to project school trips. Since the expansion will not increase student capacity, there are not additional trips associated with the school expansion.

Table 1 which is attached shows a summary of the weekday trip generation calculations for the land use which includes both the peak hour of the adjacent street and the peak hour of the generator.

88 W. Church Street  
Newark, Ohio 43055  
740.345.4700

1900 Crown Park Court  
Columbus, Ohio 43235  
614.914.5543

Attachment: Application #175748-1 (1665 : 1051 S. Waggoner Rd.; Application #175748; Applicant John A. Eberts, Architect)

St Pius X Catholic Church Expansion  
City of Reynoldsburg, Franklin County, Ohio

Smart Services, Inc.  
12/27/2016

Referencing Table 1, the input to Section 3b of the Facilities Demand Worksheet would be as follows:

|                |                      |           |
|----------------|----------------------|-----------|
| 77 ADT         |                      |           |
| Generator Peak | Adjacent Street Peak | Peak Hour |
| 7 AM           | 5 AM                 | 7 AM      |
| 8 PM           | 5 PM                 | 8 PM      |

CONCLUSIONS

Based on the trip generation calculations, the proposed expansion will generate 8 trips or fewer in the weekday peak hours. Though sections 3c and 3d of the Facilities Demand Worksheet would indicate an access study is required, the definition of a traffic access study provided in Section 3ai states that an access study is to be used for projects generating 50-200 trips. This range is above the projected trips for the proposed expansion. Therefore, the conclusion is that further study of traffic would not be required for this expansion.

Please let me know if you have any questions. Thank you.

Sincerely,  
SMART SERVICES, INC.

  
Registered Engineer No. E-64507, Ohio  
Todd J. Stanhope, PE, PTOE  
Director of Traffic Engineering

12-27-2016  
Date



Submitted: One electronic copy (PDF format) via e-mail



| Traffic Study Subarea | Land Use                                                                       | Time of Day | Data Set from:<br><i>Trip Generation Manual, 9th Edition</i><br>(Unless noted Otherwise) | Override with Average    | Regression Equation from:<br><i>Trip Generation Manual 9th Edition</i> | Total Trips | Entering |             | Exiting |             |
|-----------------------|--------------------------------------------------------------------------------|-------------|------------------------------------------------------------------------------------------|--------------------------|------------------------------------------------------------------------|-------------|----------|-------------|---------|-------------|
|                       |                                                                                |             |                                                                                          |                          |                                                                        |             | %        | Total Trips | %       | Total Trips |
| 1                     | Church (ITE Code #560)<br><br>Ind. Variable (X) = 8.4 1000 SF Gross Floor Area | Daily       | Weekday                                                                                  | <input type="checkbox"/> | Average Rate= 9.11                                                     | 77          | 50%      | 39          | 50%     | 38          |
|                       |                                                                                | AM Peak     | Peak Hour of Adj. Street Traffic, One Hour between 7 & 9 AM                              | <input type="checkbox"/> | Average Rate= 0.56                                                     | 5           | 62%      | 3           | 38%     | 2           |
|                       |                                                                                | PM Peak     | Peak Hour of Adj. Street Traffic, One Hour between 4 & 6 PM                              | <input type="checkbox"/> | Average Rate= 0.55                                                     | 5           | 48%      | 2           | 52%     | 3           |
|                       |                                                                                |             |                                                                                          | <input type="checkbox"/> |                                                                        |             |          |             |         |             |
| 2                     | Church (ITE Code #560)<br><br>Ind. Variable (X) = 8.4 1000 SF Gross Floor Area | Daily       | Weekday                                                                                  | <input type="checkbox"/> | Average Rate= 9.11                                                     | 77          | 50%      | 39          | 50%     | 38          |
|                       |                                                                                | AM Peak     | AM Peak Hour of Generator                                                                | <input type="checkbox"/> | Average Rate= 0.87                                                     | 7           | 55%      | 4           | 45%     | 3           |
|                       |                                                                                | PM Peak     | PM Peak Hour of Generator                                                                | <input type="checkbox"/> | Average Rate= 0.94                                                     | 8           | 54%      | 4           | 46%     | 4           |
|                       |                                                                                |             |                                                                                          | <input type="checkbox"/> |                                                                        |             |          |             |         |             |

TABLE 1 - SITE TRIP GENERATION SUMMARY

St Pius X Catholic Church Traffic Study - 12/2016







SITE PLAN IMPROVEMENTS

1. HOHMAN HALL RENOVATION AND EXPANSION

- COVER PORTICO FOR DROP OFF AND PICK UP.
- MAIN ENTRY WITH COAT ROOM
- 7,000 S.F. COMMUNITY HALL TO ACCOMMODATE 299 OCCUPANT
- CAPABLE OF BEING SUB DIVIDED INTO THREE MEETING ROOMS
- BRIDE'S ROOM, RESTROOMS AND TABLE STORAGE
- KITCHEN FACILITY AND ADDITIONAL STORAGE SPACE

2. PARISH ADMINISTRATIVE OFFICE EXPANSION

- NEW OFFICE ENTRY ADJACENT TO RECTORY
- WAITING/RECEPTION AREA, ADDITIONAL OFFICES, MEETING ROOMS AND FILE STORAGE
- ADA COMPLIANCE CHAIRLIFT ACCESS

3. CHURCH NARTHEX / VESTIBULE EXPANSION

- REMODELED / EXPANDED VESTIBULE FOR GREETING AND FELLOWSHIP
- ADORATION CHAPEL
- NEW ADA COMPLIANT RESTROOMS, CHOR AND STORAGE SPACE
- MECHANICAL UPGRADES

4. SCHOOL EXPANSION

- NEW 8,200 S.F. FIRST FLOOR ADDITION
- SECURE CENTRAL ENTRANCE AND LOBBY AREA
- FIRST FLOOR ADMINISTRATIVE OFFICES AND CONFERENCE ROOM
- NEW ADA COMPLIANT RESTROOMS AND ELEVATOR
- NEW KINDERGARTEN AND 1ST GRADE CLASSROOMS
- SECOND FLOOR JUNIOR HIGH WING

060-008274; R-3  
HELMKE, DEBRAH C.  
1022 N. NORTHFIELD PL.

060-004575; R-3  
GRAY, JENNIFER L.  
1010 NORTHFIELD

060-004577; R-3  
HELMINGER, CHRISTINA  
7036 NORTHFIELD

060-004578; R-3  
KLEIN, JAMES & LOLA  
7045 NORTHFIELD

060-004579; R-3  
BREENE, MAX & DORE  
7035 NORTHFIELD

060-004584; R-3  
THOMAS, SHAWN M.  
1064 NORTHFIELD

060-004585; R-3  
TUTTLE, ROBERT E.  
1035 NORTHFIELD



BUILDING INFORMATION

ZONING - 1061 WAGGONER ROAD - ST. PIUS X CATHOLIC PARISH CAMPUS  
ZONED = S-1

PID = 060-001027-00, FLOOD ZONE OUT, PANEL 39048C0308K(B/18/2008)  
LOT SQUARE FOOTAGE = 637,718.4 S.F. = 14.64 ACRES

TOTAL PARKING SPACES REQUIRED:

MAIN WORSHIP SPACE  
1 PER 4 SEATS OF MAIN WORSHIP SPACE = 299 OCC. / 4 = 75 PARKING SPACES  
(330 MAX. / 4 = 83 SPACES)

PROPOSED COMMUNITY/PARISH CENTER  
1 PER 200 S.F. = 8,888 / 200 = 45 SPACES  
(LATCHKEY EMPLOYEES = 3 SPACES)

PROPOSED PARISH OFFICE  
1 PER 250 S.F. = 5,423 / 250 = 22 SPACES

ELEMENTARY SCHOOL  
1 PER CLASSROOM = 1 X 28 = 28 SPACES  
(23 EXISTING CLASSROOMS + 5 NEW = 28 CLASSROOMS)  
MEETING SPACE = GYM = 1/4 SEATS OR 1/4 OF BENCH  
(5 X 74 L.F. BLEACHERS / 5 = 48 SPACES)

TOTAL REQUIRED SPACES = 228 SPACES

EXISTING PARKING SPACES = 375 SPACES

BUILDING USE & CONSTRUCTION DATA:  
ELEMENTARY SCHOOL = A-3, E USE & B / 7 BUSINESS/RESIDENCE

CONSTRUCTION CLASSIFICATION:

FLOOR LIVE LOAD:  
FIRST FLOOR = 100 P.S.F. & AS REQ'D. FOR LOADING CONDITIONS

BUILDING SQUARE FOOTAGE

EXISTING HOHMAN HALL: FIRE AREA = 2,866 S.F. (GROSS)  
TYPE VB: A-3 COMMUNITY HALL & E USE LATCHKEY  
PROPOSED ADDITION: LATCHKEY = 3,312.1 S.F. (GROSS)  
PROPOSED ADDITION: COMMUNITY HALL = 8,155 S.F. (GROSS) + 4,400 S.F. FIRE AREA  
PROPOSED A-3 COMMUNITY HALL - ASSOCIATED SPACES  
(RESTROOMS, KITCHEN, TABLE/CHAIR STORAGE, SMALL MTG. RMS, MECHANICAL RM  
& COMMITTEE WORKSHOP)  
TYPE III-B: E USE  
MAXIMUM ALLOWABLE AREA(OBC SECT. 503) = 14,500 S.F. GROSS

EXISTING RECTORY/PARISH OFFICE: FIRE AREA = 4,072 S.F. (GROSS)  
TYPE VB: R-1 & BUSINESS USE  
PROPOSED ADDITION: OFFICE ADDITION = 1,353.3 S.F. (GROSS)  
TOTAL = 3,249.7 S.F. + 4,425.3 S.F. (GROSS) MAX NON-SEPARATED USE  
MAXIMUM ALLOWABLE AREA(OBC SECT. 503) = 9,000 S.F. GROSS

EXISTING CHURCH STRUCTURE: FIRE AREA = 13,301 S.F. (GROSS)  
COVERED PORCH/ENTRY AREA = 800 S.F. (GROSS)  
PROPOSED ADDITION: NARTHEX/ENTRY ADDITION = 1,889.3 S.F. (GROSS)  
EXISTING NARTHEX REMOVAL AREA = 1,370.4 S.F. (GROSS)  
EXISTING SACRISTY AREA = 2,506 S.F. (GROSS) TOTAL = 15,807.7 S.F.  
TYPE III-B: A-3 ASSEMBLY USE PLACE OF RELIGIOUS WORSHIP  
MAXIMUM ALLOWABLE AREA(OBC SECT. 503) = 14,500 S.F. GROSS  
AREA MODIFICATION (OBC SECT. 506)

EXISTING ELEMENTARY SCHOOL: FIRE AREA = 17,646 S.F. (GROSS)  
EXISTING GYMNASIUM & ACCESS CORRIDOR: FIRE AREA = 4,407 S.F. (GROSS)  
MAXIMUM ALLOWABLE AREA(OBC SECT. 503) = 20,000 S.F. GROSS  
PROPOSED ADDITION: 1-STORY ADDITION = 8,800 S.F. (GROSS) FIRE SEPARATION  
TYPE III-B: ASSEMBLY USE  
MAXIMUM ALLOWABLE AREA(OBC SECT. 503) = 20,000 S.F. GROSS  
AREA MODIFICATION (OBC SECT. 506)  
OPEN PERIMETER = 954 L.F. / 770 L.F. = 80.7% ACCESSIBLE TO OPEN SPACE  
PER OBC SECTION 506; AREA MODIFICATIONS

$A_B = AT + (AT \times IF) + (AT \times IS)$  WITH  $AT = 14,500$  S.F.;  
 $IF = 0.557$  WITH AN OPEN PERIMETER OF 770 L.F. OF THE TOTAL PERIMETER 954 L.F.  
 $IS = (770 / 954) - 0.25 = 0.557$  IS = 0.  
 $A_B = 14,500 + 8,076 = 22,576$  S.F. MAX. ALLOWABLE S.F. PER SECT. 506 = 22,576 S.F.  
THEREFORE: 16,791 S.F. < 20,000 S.F. MAX PER 903.2.2  
THEREFORE: 13,289 S.F. < 20,000 S.F. MAX PER 903.2.2

RESTROOM REQUIREMENTS:  
EXISTING RESTROOMS AVAILABLE OFF OF CHURCH NARTHEX, PARISH OFFICE, MAIN  
CORRIDORS OF SCHOOL & HOHMAN PARISH CENTER

INTERIOR FINISH CLASSIFICATIONS:

EXIT ACCESS CORRIDORS = CLASS B  
ROOMS & ENCL. SPACES = CLASS C  
LOBBY AREA = CLASS B  
(PER OBC 2009, TABLE 903.5)

285-001025-00 R-1  
RA LONG PROPERTIES LLC  
100 WAGGONER RD

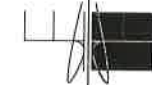
060-008287-00  
CITY OF REYNOLDSBURG  
106 WAGGONER RD

285-000719-00 R-1  
WILLIAMS CLAUDE A JR  
140 WAGGONER RD



MASTER PLAN  
for  
ST. PIUS X CATHOLIC PARISH CAMPUS  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

JOHN A. EBERTS  
ARCHITECT



REVISIONS

01-14-17

COMM. NO.

0315

DATE

10-28-16

SHEET NO.

A1



Site Plan Prepared by:  
*George W. Schweitzer* 01-19-17  
George W. Schweitzer  
Ohio Professional Engineer No. 63803  
DATE

Geo-Graphics, Inc.  
Land Surveying & Engineering  
3331 Livingston Avenue Columbus, Ohio 43227  
Phone: 614-231-0218 Fax: 614-231-0218

SITE PLAN FOR  
ST. PIUS X CATHOLIC CHURCH  
1051 WAGGONER ROAD  
CITY OF REYNOLDSBURG  
FRANKLIN COUNTY, OHIO

SCALE 1"=30'  
1"=30'  
30'  
60'

| SCALE  | DRAWN | CHECKED | DATE    |
|--------|-------|---------|---------|
| 1"=30' | RWN   | DWS     | 1-19-17 |

# Canadian Hemlock

*Tsuga canadensis*



This hemlock is one of our members’ favorites for privacy screens and hedges because of its handsome, graceful appearance and ability to be sheared to any height or shape. The tree is also one of only few evergreens that can handle full sun and full shade, though it prefers a site where it can receive both shade and sun.

If you’re in need of an evergreen landscape tree for a privacy screen, grouping or foundation planting, the Canadian hemlock may be a good solution.



### Hardiness Zones

The canadian hemlock can be expected to grow in Hardiness Zones 3–8. [View Map](#)



### Tree Type

This is an evergreen tree, keeping its foliage year-round.



### Mature Size

The Canadian hemlock grows to a height of 40–70' and a spread of 25–35' at maturity.



History/Lore

Native Americans and colonists used the tannins from the bark as a curative and for tanning leather. The needles have been used to make a tea high in vitamin C. (Although often confused with the hemlock that poisoned Socrates, the Canadian hemlock is not poisonous.)

Arbor Day Foundation

Thornless Honeylocust

*Gleditsia triacanthos* form *inermis*



The thornless honeylocust has captured the hearts of arborists, community foresters and homeowners throughout America. And no wonder. This tree is easy to plant, grows fast, has reasonably strong branches, is aesthetically pleasing and is tough enough to withstand just about any urban setting.

In nature it grows in both a thorned and thornless form, with thorns growing up to 12" long. Many regions in the South once referred to honelocusts as Confederate pin trees because those thorns were used to pin uniforms together during the Civil War.



Hardiness Zones

The thornless honeylocust can be expected to grow in Hardiness Zones 3–9. [View Map](#)



Attributes

This tree:

- Is very easy to plant and grow.
- Provides showy yellow color in the fall.
- Features pinnately or bipinnately compound leaves approximately 8" long with 8–14 leaflets. They are among the last leaves to emerge in the spring.
- Produces small, greenish-yellow blossoms arranged around spike-like stalks that are notably fragrant.
- Yields large, brown seed pods resembling twisted leather straps that are 7–8" long, sometimes reaching up to 18" in length.
- Develops a thin, airy crown that provides dappled shade while allowing grass to grow beneath.
- Tolerates wet and dry sites, salt, compacted soil, pollution and most other urban stresses.
- Grows in an oval or round shape.
- Can be used on hillsides to stabilize poor soil and control erosion.



Wildlife Value

Thornless honeylocust seed pods and seeds are consumed by livestock and wildlife such as rabbits, deer, squirrels and northern bobwhite. The flowers provide a good source of food for bees.



# Common Boxwood

*Buxus sempervirens*



Sometimes called the aristocrat of hedging plants, the boxwood is famous for its use in formal gardens. Crips, high hedges and ornate topiaries are often the result of nurtured and carefully sheared boxwoods. But don't let that deter you. It is a versatile landscape shrub that works well as a specimen, hedge or mass planting—even in the most casual of gardens.



## Hardiness Zones

The common boxwood can be expected to grow in Hardiness Zones 5–8. [View Map](#)



## Tree Type

This is an evergreen shrub, keeping its foliage year-round.

- Adapts to many soil types.
- Will discolor in severe winter weather.
- Can be used as a specimen, hedge, mass planting or topiary.
- Grows in a rounded shape.



Wildlife Value

Boxwoods contain a toxic alkaloid that makes them unpalatable. As a result, deer and other wildlife tend not to eat them.



History/Lore

Through the years, the boxwood has been associated with formal gardens. Boxwood parterres and hedges can be seen in many of the great gardens of Europe and America. Colonial Williamsburg, especially around the Governor's Mansion, offers wonderful examples of formal boxwood use.

SITE PLAN IMPROVEMENTS

1. HOHMAN HALL RENOVATION AND EXPANSION

- COVER PORCH FOR DROP OFF AND PICK UP
- MAIN ENTRY WITH COAT ROOM
- 4000 SF. COMMUNITY HALL TO ACCOMMODATE 250 OCCUPANT
- CAPABLE OF BEING SUB DIVIDED INTO THREE MEETING ROOMS
- BRIDES ROOM, RESTROOMS AND TABLE STORAGE
- KITCHEN FACILITY AND ADDITIONAL STORAGE SPACE

2. PARISH ADMINISTRATIVE OFFICE EXPANSION

- NEW OFFICE ENTRY ADJACENT TO RECTORY
- WAITING/RECEPTION AREA, ADDITIONAL OFFICES, MEETING ROOMS AND FILE STORAGE
- ADA COMPLIANCE CHAIRLIFT ACCESS

3. CHURCH NARTHEX / VESTIBULE EXPANSION

- REMODELED / EXPANDED VESTIBULE FOR GREETING AND FELLOWSHIP
- ADORATION CHAPEL
- NEW ADA COMPLIANT RESTROOMS, CHOR AND STORAGE SPACE
- MECHANICAL UPGRADES

4. SCHOOL EXPANSION

- NEW 8200 SF FIRST FLOOR ADDITION
- SECURE CENTRAL ENTRANCE AND LOBBY AREA
- FIRST FLOOR ADMINISTRATIVE OFFICES AND CONFERENCE ROOM
- NEW ADA COMPLIANT RESTROOMS AND ELEVATOR
- NEW KINDERGARTEN AND 1ST GRADER CLASSROOMS
- SECOND FLOOR JUNIOR HIGH WING

SITE TREE TABLE  
PER SECTION 1180.09

| EXIST. TREE CALIPER | TREE CREDITS |
|---------------------|--------------|
| 28" DIA.            | (W) 4        |
| 24" DIA.            | (W) 4        |
| 23" DIA.            | (NW) 4       |
| 21" DIA.            | (N) 4        |
| 18" DIA.            | (N) 3        |
| 20" DIA.            | (NE) 4       |
| 20" DIA.            | (NE) 4       |
| 27" DIA.            | (E) 4        |
| 29" DIA.            | (E) 4        |
| 14" DIA.            | (SW) 3       |
| 10" DIA.            | (SW) 2       |
| 10" DIA.            | (W) 2        |
| 12" DIA.            | (NW) 3       |
| 12" DIA.            | (E) 2        |

TOTAL TREE CALIPER TOTAL TREE CREDITS

284" DIA. 48

REQUIRED TREE CALCULATIONS

EXISTING SQ. FT. OF STRUCTURES 40,896 S.F.

EXISTING SQ. FT. OF PARKING AREA 116,761 S.F.

EXISTING SQ. FT. OF STRUCTURES 25,959 S.F.

PER SECTION 1180.09 (a) (3) G, (b) & (c)

$40,896 + 116,761 + 25,959 = 183,616$  S.F.

(C)  $183,616$  S.F. -  $49,501$  =  $134,115$  S.F. OVER

$134,115$  S.F. /  $3,000$  =  $45$  (2) =  $90$  OF ADDIT. CALIPER

$25$  REQ'D +  $90$  OF ADDIT. CALIPER =  $115$  TOTAL REQ'D.

$284$  EXISTING -  $115$  REQ'D. =  $169$  OVER REQUIREMENT

(MINUS  $5$  OF EXISTING TREES REMOVED)

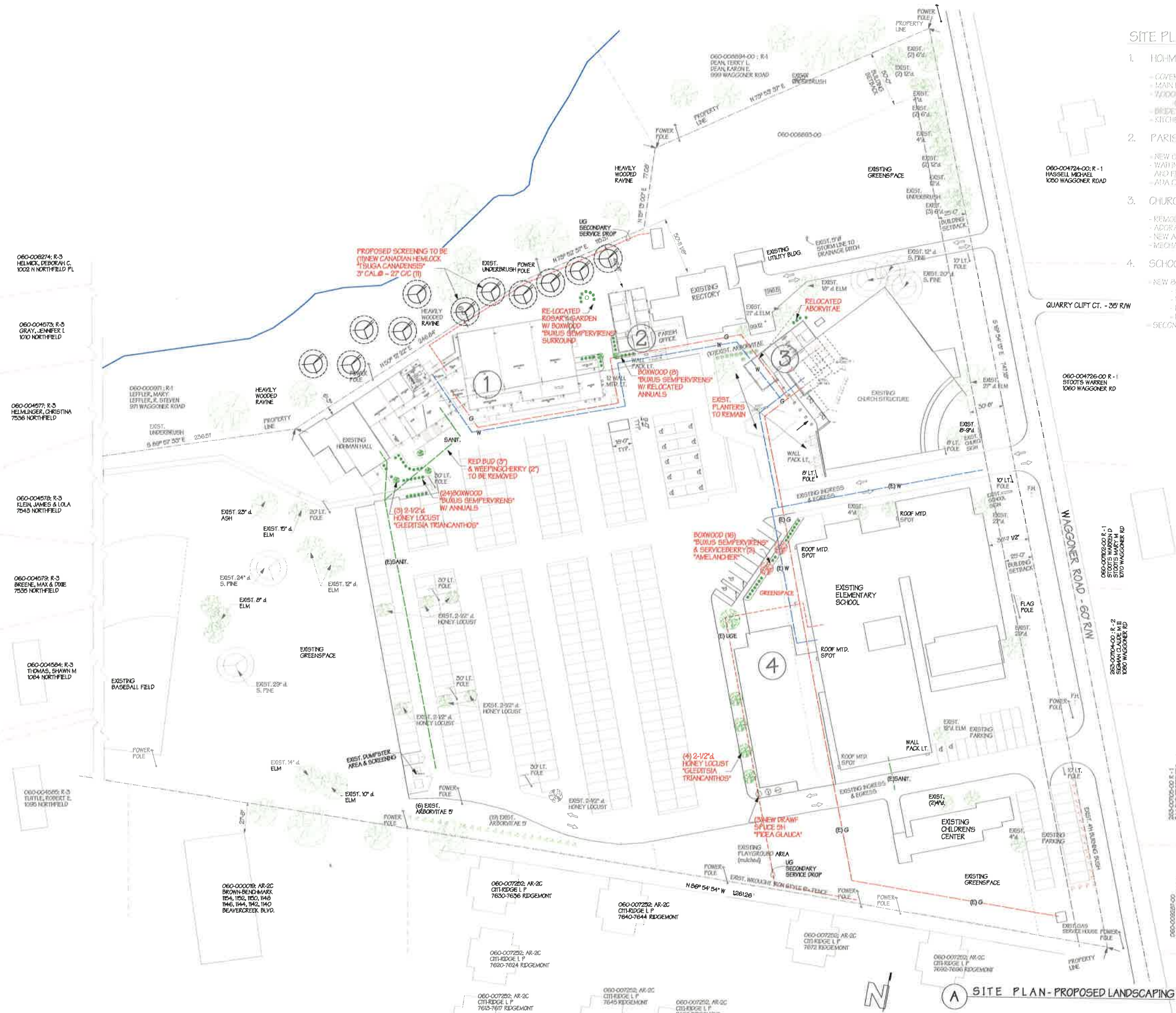
$169$  -  $5$  =  $164$  OVER REQ'D. (ALL EXISTING TREE)

NOTE: ALL NEW TREES TO BE MIN.  $2$ " CALIPER PER  $1180$ .

SCREENING/BUFFER DESCRIPTION

PER SECTION 1180.10:  
VARIANCE REQUESTED FOR THE MODIFICATION OF SCREENING/BUFFER REQUIREMENTS ALONG THE NORTH PROPERTY LINE IN PROXIMITY OF THE PROPOSED BUILDING ADDITION. REQUEST PLANT LARGER EVERGREEN TREES @ APPROX.  $27$  FEET APART ALONG PROPERTY LINE TO CREATE A YEAR LONG SCREEN TO THE PROPOSED STRUCTURE FROM THE NORTHERN NEIGHBORS. THIS AREA IS A PICTURESQUE, HEAVILY WOODED RAVINE. THE INSTALLATION OF MOUNDING AND SHRUBS WOULD BE OUT OF CHARACTER FOR THE AREA AND HAVE MINIMAL BENEFITS FOR SCREENING.

PER SECTION 1180.07(4) & 1180.09: ALL PROTECTION OF EXISTING PLANTS AND ALL NEW PLANTS TO PER THE PROVISIONS OF THIS SECTION.



SITE PLAN - PROPOSED LANDSCAPING

MASTER PLAN  
for  
ST. PIUS X CATHOLIC PARISH CAMPUS  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

JOHN A. EBERTS  
ARCHITECT

LEED AP 080 REG. 0008 AIA  
165 EXETER ROAD, SUITE B  
COLUMBUS, OHIO 43206  
VOICE/FAX 614-455-8770  
joe@stpiusx.net

REVISIONS

COMM. NO.

0315

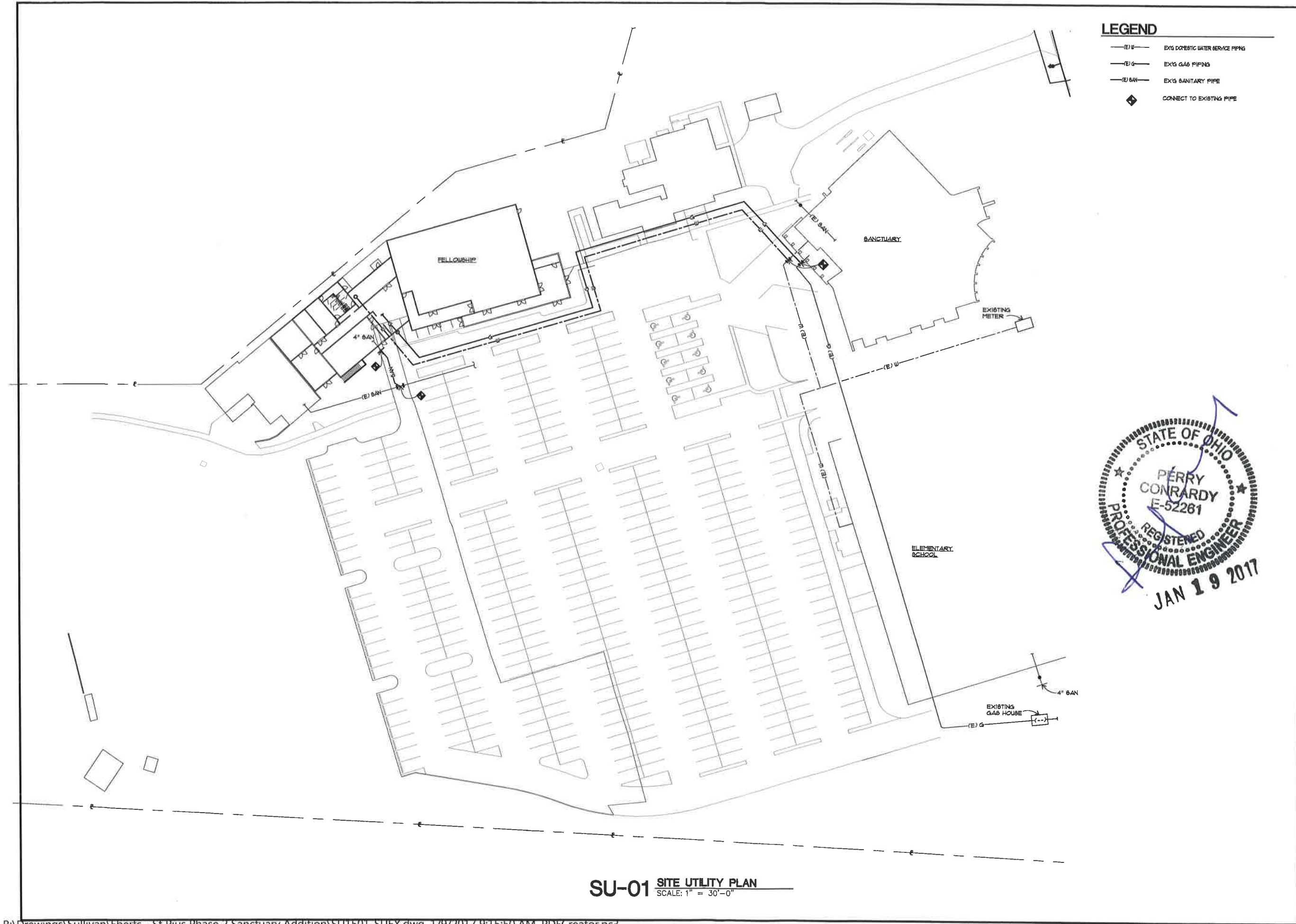


DATE

01-14-17

SHEET NO.

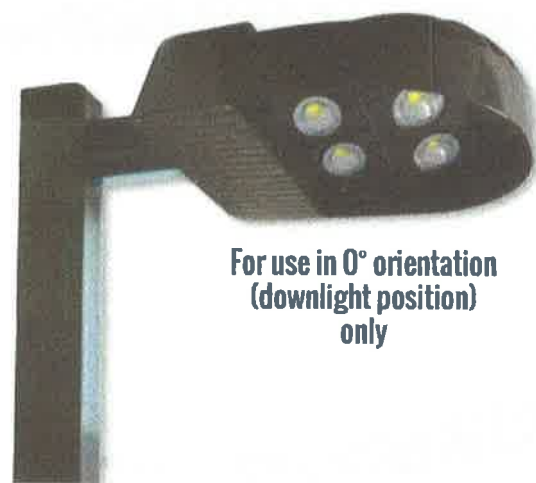
LA1



PARKING LOT - POLE FIXTURE

## E-AL2L Series

LED Area Light - Type III  
Replaces 400W PSMH



For use in 0° orientation  
(downlight position)  
only

### A one-for-one replacement for 400W PSMH.

#### Efficient

- Uses 33% less energy than comparable 400W PSMH fixtures
- Heat dissipating fins keep LEDs running cooler, longer

#### Durable

- Sturdy, low-copper die-cast aluminum construction
- Rugged tempered glass lens

#### Recommended Use

- General area lighting
- Parking lots
- Roadways

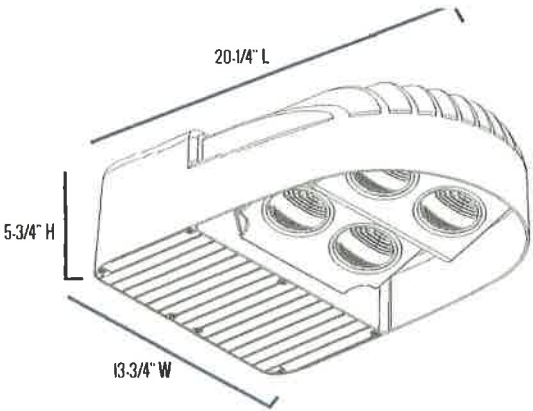
#### Input Voltage

- Universal (120V through 277V Operation)

#### Certifications



E-AL2L Series



Series Overview

| DIMENSIONS                       | PRODUCT WEIGHT | MOUNTING HEIGHT | SPACING                          |
|----------------------------------|----------------|-----------------|----------------------------------|
| 20-1/4" L x 13-3/4" W x 5-3/4" H | 26.71 lbs.     | 20 to 30 feet   | 4 to 5 times the mounting height |

Fixture Specifications

|               |                                                                                                                       |
|---------------|-----------------------------------------------------------------------------------------------------------------------|
| HOUSING       | Low-copper, die-cast aluminum housing<br>Dark bronze polyester powder-coat finish                                     |
| LENS ASSEMBLY | Tempered glass lens is thermal, shock and impact resistant<br>Patented lens design delivers IES Type III distribution |
| MOUNTING      | Fixture comes without mounting (sold separately)<br>For use in 0° orientation (downlight position) only               |

Electrical Performance

| OPERATING MINIMUM   | LIFESPAN<br><small>L<sub>70</sub> AT 25°C (77°F)</small> | POWER FACTOR | TOTAL HARMONIC DISTORTION | DIMMABLE |
|---------------------|----------------------------------------------------------|--------------|---------------------------|----------|
| -40°C (-40°F)       | Estimated<br>100,000 Hours                               | > 0.9        | < 20%                     | No       |
| INPUT VOLTAGE       | 120V                                                     | 208V         | 240V                      | 277V     |
| Current Draw (Amps) | 2.6A                                                     | 1.6A         | 1.4A                      | 1.2A     |

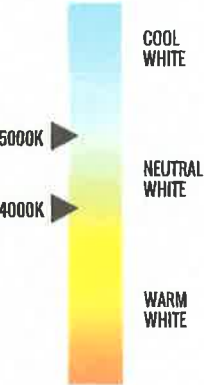
Warranty & Certifications

| WARRANTY       | UL LISTED                       | DLC | ENERGY STAR |
|----------------|---------------------------------|-----|-------------|
| 5-Year Limited | Wet Locations<br>(0° tilt only) | Yes | ---         |

Output Specifications

| SKU         | LIGHT OUTPUT  | COLOR TEMP<br><small>(See chart)</small> | POWER CONSUMPTION | COLOR ACCURACY | REPLACES  |
|-------------|---------------|------------------------------------------|-------------------|----------------|-----------|
| E-AL2L331GZ | 24,200 Lumens | Cool White (5000K)                       | 300W              | ≥ 70 CRI       | 400W PSMH |
| E-AL2L331NZ | 24,000 Lumens | Neutral White (4000K)                    | 300W              | ≥ 70 CRI       | 400W PSMH |

CORRELATED COLOR TEMPERATURE (CCT)



FLOOD & AREA

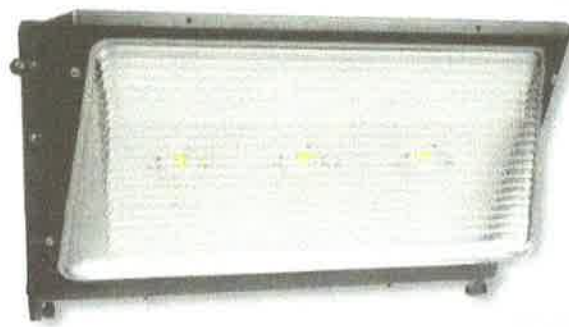
Due to continuous product improvement, information in this document is subject to change.  
Revision Date: 03/16/16



BLDG. WALL PACK

## E-WP10 Series

LED High-Output Traditional Style Wall Pack - 9000+ Lumens  
Replaces 250W MH



### The traditional look you love - in LED!

#### Efficient

- 107 lumens per watt
- Uses 35% less energy compared to 250W MH

#### Durable

- Sturdy die-cast aluminum housing that will last as long as the LEDs inside

#### Recommended Use

- Security
- Pathways
- Perimeter lighting

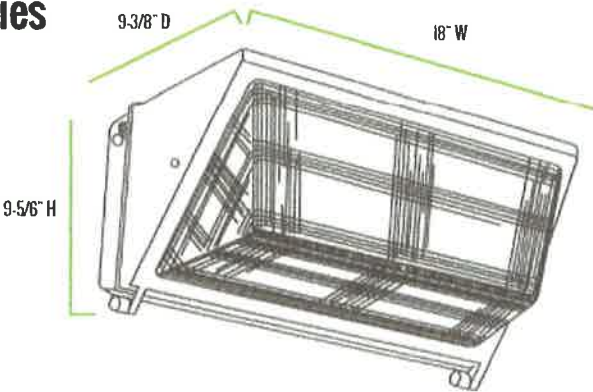
#### Input Voltage

- Universal (120V through 277V Operation)

#### Certifications



E-WP10 Series



Series Overview

| DIMENSIONS                  | PRODUCT WEIGHT | MOUNTING HEIGHT | SPACING                          |
|-----------------------------|----------------|-----------------|----------------------------------|
| 9-3/8" D x 18" W x 9-5/6" H | 14.3 lbs.      | 12 to 20 feet   | 2 to 3 times the mounting height |

Fixture Specifications

|               |                                                                                                          |
|---------------|----------------------------------------------------------------------------------------------------------|
| HOUSING       | Heavy duty, die-cast aluminum housing with hinged door frame<br>Dark bronze polyester powder-coat finish |
| LENS ASSEMBLY | Heat and shock-resistant borosilicate glass prismatic lens                                               |
| MOUNTING      | 1/2" NPS knockouts on top and sides or rear mounting plate for conduit entry                             |

Electrical Performance

| OPERATING MINIMUM   | LIFESPAN<br><small>L<sub>70</sub> AT 25°C (77°F)</small> | POWER FACTOR | TOTAL HARMONIC DISTORTION | DIMMABLE |
|---------------------|----------------------------------------------------------|--------------|---------------------------|----------|
| -40°C (-40°F)       | Estimated<br>172,000 Hours                               | > 0.9        | < 20%                     | No       |
| INPUT VOLTAGE       | 120V                                                     | 208V         | 240V                      | 277V     |
| Current Draw (Amps) | 1.02A                                                    | 0.59A        | 0.53A                     | 0.47A    |

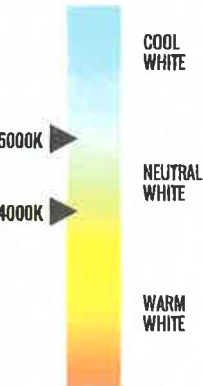
Warranty & Certifications

| WARRANTY       | UL LISTED     | DLC | ENERGY STAR |
|----------------|---------------|-----|-------------|
| 5-Year Limited | Wet Locations | Yes | ---         |

Output Specifications

| SKU         | LIGHT OUTPUT | COLOR TEMP<br><small>(See chart)</small> | POWER CONSUMPTION | COLOR ACCURACY | REPLACES |
|-------------|--------------|------------------------------------------|-------------------|----------------|----------|
| E-WP10L08CZ | 9300 Lumens  | Cool White (5000K)                       | 87W               | ≥ 70 CRI       | 250W MH  |
| E-WP10L08NZ | 9000 Lumens  | Neutral White (4000K)                    | 87W               | ≥ 70 CRI       | 250W MH  |

CORRELATED COLOR TEMPERATURE (CCT)



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Revision Date: 05/23/16

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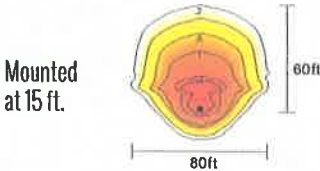
E-WP10 Series

Accessories



Photocell - Button, 120V/208V/240V/277V  
SKU: **E-ACP1** (120V)  
**E-ACP2** (208V/240V/277V)  
USE: Photocell is field installed.  
Drilling of the back box in the field is required.

Photometric Diagrams



All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture.

WALL PACKS

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Revision Date: 05/23/16



BLDG. SPOT LIGHT

## E-HL9 Series

LED High-Output Floodlight  
Replaces 400W PSMH



### Up to 27,400 Lumens - Our Brightest LED Floodlight Ever!

e-conolight's High-Output LED Floodlight is two times brighter than previous models (up to 24,700 lumens).

#### Efficient

- Uses 33% less energy than 400W PSMH

#### Flexible

- Wide (89°) and narrow (37°) beam angles
- Multiple color temperatures to meet any application

#### Recommended Use

- Building facades
- Security
- Uplighting for signs & displays

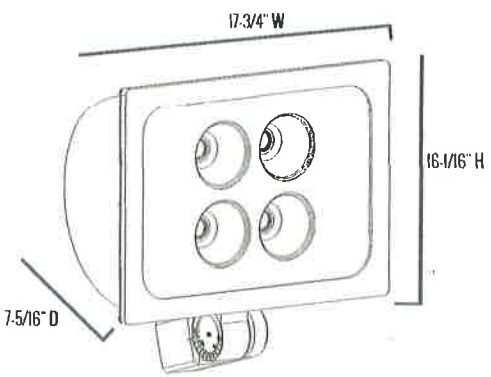
#### Input Voltage

- Universal (120V through 277V Operation)

#### Certifications



E-HL9 Series



Series Overview

| DIMENSIONS                         | PRODUCT WEIGHT | MOUNTING HEIGHT | SPACING |
|------------------------------------|----------------|-----------------|---------|
| 7-5/16" D x 17-3/4" W x 16-1/16" H | 27 lbs.        | 20 to 30 feet   |         |

Fixture Specifications

|               |                                                                                                  |
|---------------|--------------------------------------------------------------------------------------------------|
| HOUSING       | Low-copper, die-cast aluminum housing and lens frame<br>Dark bronze polyester powder-coat finish |
| LENS ASSEMBLY | Tempered glass lens is thermal, shock and impact resistant<br>Polycarbonate reflector            |
| MOUNTING      | Includes 2" adjustable fitter                                                                    |

Electrical Performance

| OPERATING MINIMUM   | LIFESPAN<br><small>L<sub>70</sub> AT 25°C (77°F)</small> | POWER FACTOR | TOTAL HARMONIC DISTORTION | DIMMABLE |
|---------------------|----------------------------------------------------------|--------------|---------------------------|----------|
| -40°C (-40°F)       | Estimated<br>146,000 Hours                               | > 0.9        | < 20%                     | No       |
| INPUT VOLTAGE       | 120V                                                     | 208V         | 240V                      | 277V     |
| Current Draw (Amps) | 2.6A                                                     | 1.6A         | 1.4A                      | 1.2A     |

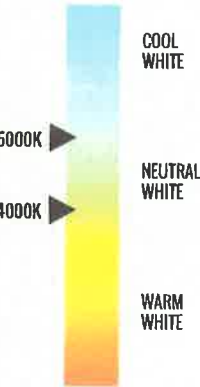
Warranty & Certifications

| WARRANTY       | UL LISTED     | DLC                 | ENERGY STAR |
|----------------|---------------|---------------------|-------------|
| 5-Year Limited | Wet Locations | All but E-HL9S30NSZ |             |

Output Specifications

| SKU         | LIGHT OUTPUT  | COLOR TEMP<br><small>(See chart)</small> | POWER CONSUMPTION | COLOR ACCURACY | DISTRIBUTION       | REPLACES  |
|-------------|---------------|------------------------------------------|-------------------|----------------|--------------------|-----------|
| E-HL9F30CSZ | 27,400 Lumens | Cool White (5000K)                       | 300W              | ≥ 70 CRI       | 89° Flood (Wide)   | 400W PSMH |
| E-HL9F30NSZ | 26,600 Lumens | Neutral White (4000K)                    | 300W              | ≥ 70 CRI       | 89° Flood (Wide)   | 400W PSMH |
| E-HL9S30CSZ | 23,000 Lumens | Cool White (5000K)                       | 300W              | ≥ 70 CRI       | 37° Flood (Narrow) | 400W PSMH |
| E-HL9S30NSZ | 22,200 Lumens | Neutral White (4000K)                    | 300W              | ≥ 70 CRI       | 37° Flood (Narrow) | 400W PSMH |

CORRELATED COLOR TEMPERATURE (CCT)



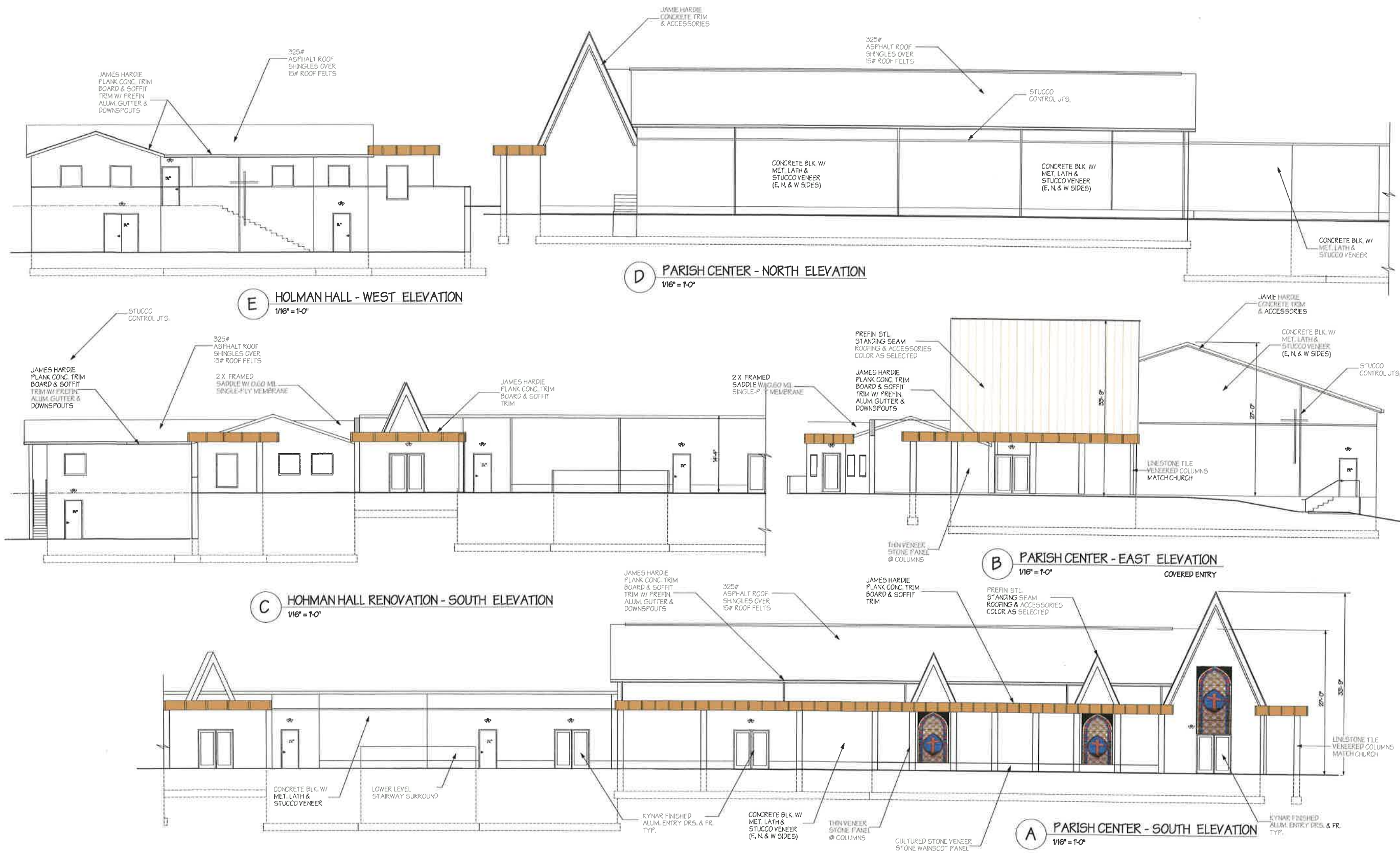
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Revision Date: 05/03/16





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| <b>Designer</b>    |
| <b>Date</b>        |
| 1/5/2017           |
| <b>Scale</b>       |
| Not to Scale       |
| <b>Drawing No.</b> |
| <b>Summary</b>     |



ADDITION AND REMODELING OF  
HOLMAN HALL  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

JOHN A. EBERTS  
ARCHITECT  
LEED AP, OHIO REG. 10409, AIA  
400 EAST WILSON BRIDGE ROAD  
WESTERVILLE, OHIO 43081  
VOICE/FAX 614-450-8770  
jeberts@jeberts.net

REVISIONS

01-11-17

COMM. NO.

0315A

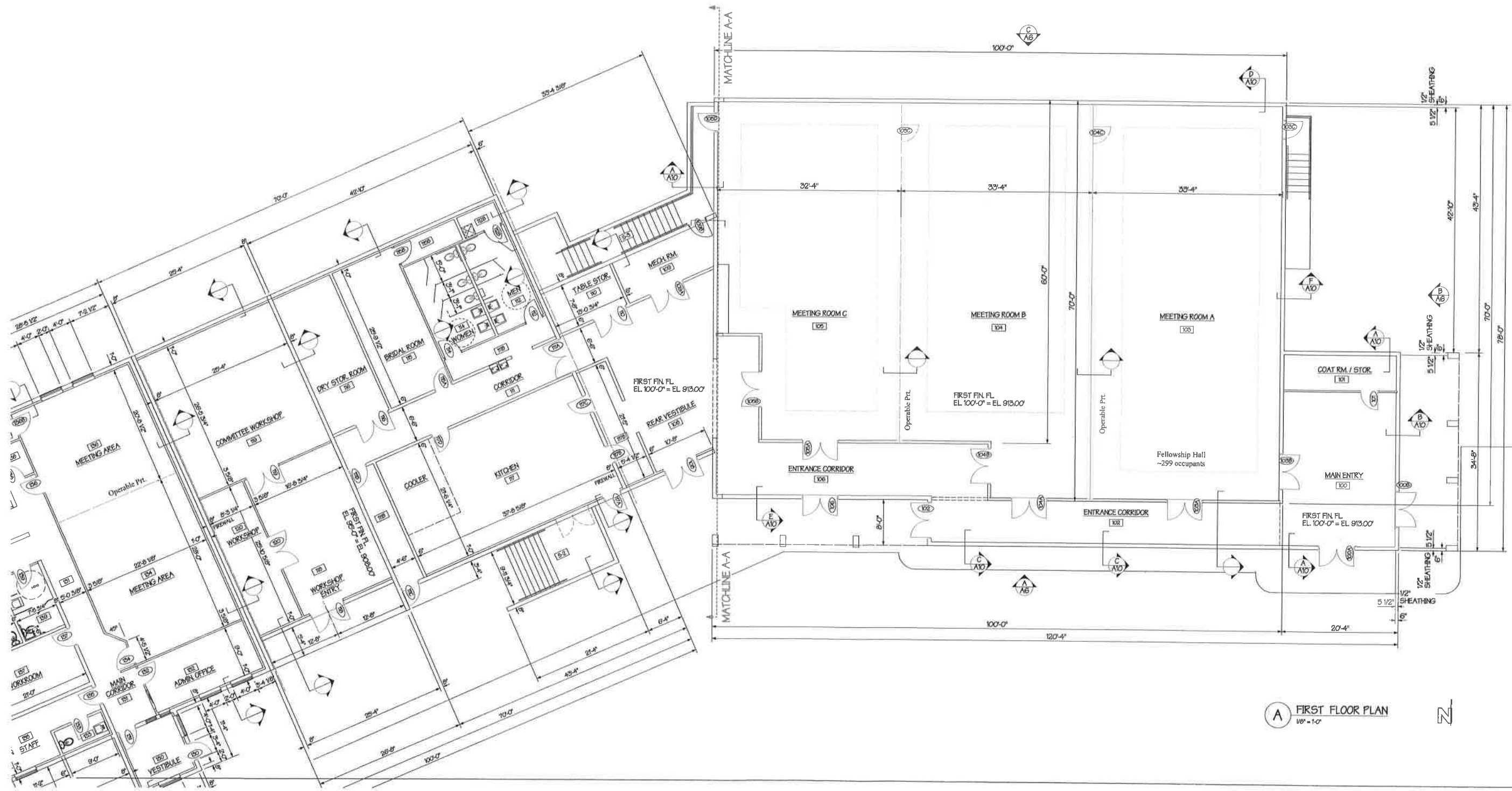


DATE

10-13-15

SHEET NO.

AG



A FIRST FLOOR PLAN  
1/8" = 1'-0"

- GENERAL NOTES:
- 1) GENERAL CONTRACTOR AND SUB-CONTRACTORS TO SECURE ALL NECESSARY BUILDING PERMITS AND APPROVALS FOR THE FULL COMPLETION AND OCCUPANCY OF STRUCTURE.
  - 2) COORDINATE AND VERIFY ALL ACCESS, MATERIAL DELIVERIES AND WORK RELATED GUIDELINES WITH BUILDING OWNER OR REPRESENTATIVE. PROTECT BUILDING STRUCTURE, ACCESS AND SURROUNDING AREAS DURING CONSTRUCTION PHASE. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MECHANICAL SYSTEMS FROM COLLECTING AND DISTRIBUTION OF DIRT AND DUST. ALL CONSTRUCTION DEBRIS TO BE PROMPTLY REMOVED FROM SITE.
  - 3) GENERAL CONTRACTOR TO COORDINATE ALL WORK TO BE COMPLETED BY PLUMBING, ELECTRICAL, HVAC, TELECOMMUNICATION DATA, SUB-CONTRACTORS. WORK TO BE COMPLETED TO BE COORDINATED WITH OWNER'S WORK THROUGHOUT MAJOR STRUCTURE. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
  - 4) CONTRACTORS TO VERIFY ALL EQUIPMENT AND THEIR RESPECTIVE UTILITY REQUIREMENTS AND LOCATIONS PRIOR TO PLACING CONCRETE FLOOR SLAB OR CLOSING WALLS.
  - 5) ALL HARDWARE AND FLOOR TRANSITIONS TO MEET ADAAG REQUIREMENTS AND OBC EGRESS REQUIREMENTS.

ADDITION AND REMODELING OF  
HOHMAN HALL  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
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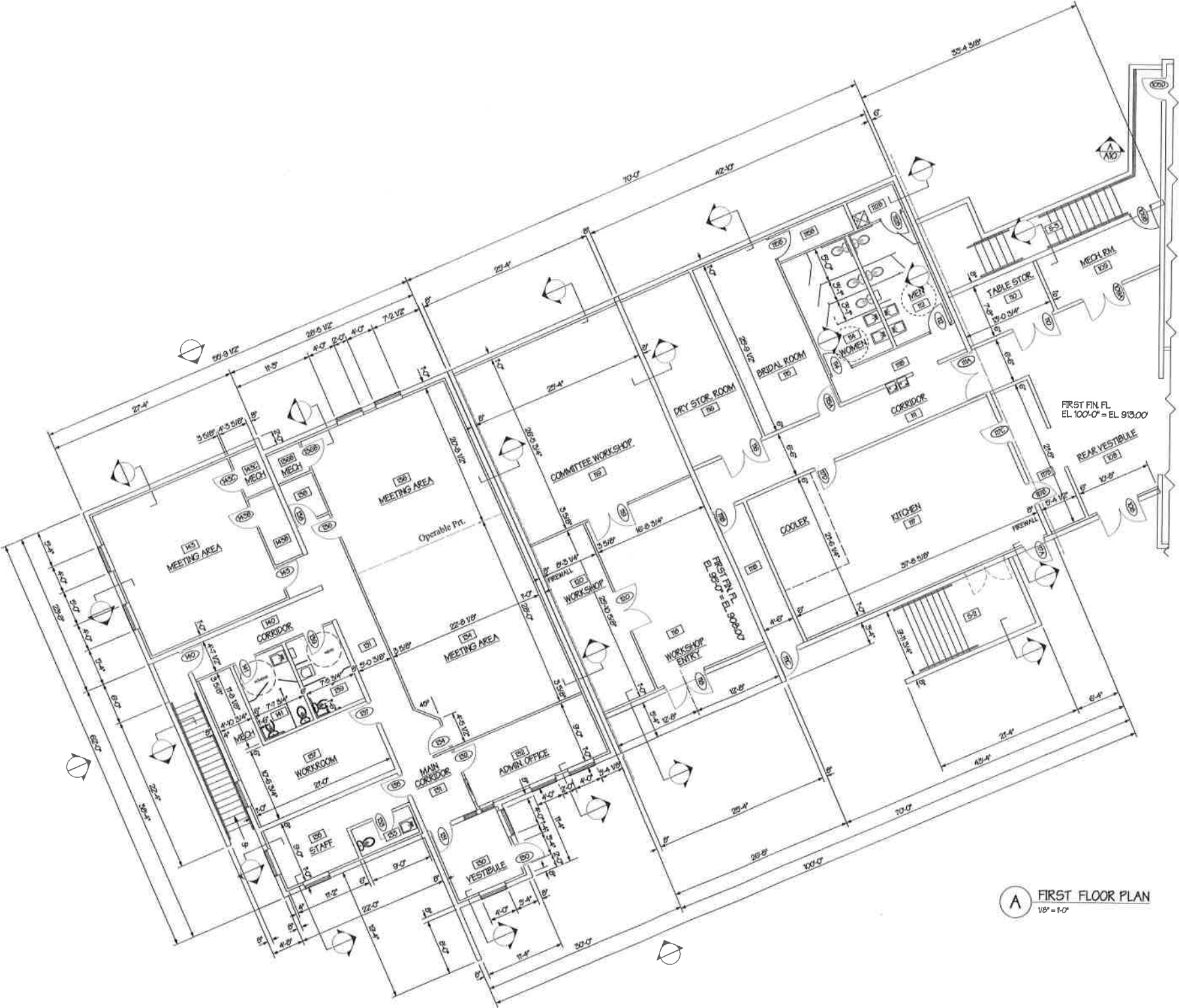
09-23-15

SHEET NO.

A3

GENERAL NOTES:

- 1) GENERAL CONTRACTOR AND SUB-CONTRACTORS TO SECURE ALL NECESSARY BUILDING PERMITS AND APPROVALS FOR THE FULL COMPLETION AND OCCUPANCY OF STRUCTURE.
- 2) COORDINATE AND VERIFY ALL ACCESS, MATERIAL DELIVERIES AND WORK RELATED GUIDELINES WITH BUILDING OWNER OR REPRESENTATIVE. PROTECT BUILDING STRUCTURE, ACCESS AND SURROUNDING AREAS DURING CONSTRUCTION PHASE. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MECHANICAL SYSTEMS FROM COLLECTING AND DISTRIBUTION OF DIRT AND DUST. ALL CONSTRUCTION DEBRIS TO BE PROMPTLY REMOVED FROM SITE.
- 3) GENERAL CONTRACTOR TO COORDINATE ALL WORK TO BE COMPLETED BY PLUMBING, ELECTRICAL, HVAC, TELECOMMUNICATION DATA, SUB-CONTRACTORS. WORK TO BE COMPLETED TO BE COORDINATED WITH OWNER'S WORK THROUGHOUT WALL STRUCTURE. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
- 4) CONTRACTORS TO VERIFY ALL EQUIPMENT AND THEIR RESPECTIVE UTILITY REQUIREMENTS AND LOCATIONS PRIOR TO PLACING CONCRETE FLOOR SLAB OR CLOSING WALLS.
- 5) ALL HARDWARE AND FLOOR TRANSITIONS TO MEET ADAAG REQUIREMENTS AND OBC EGRESS REQUIREMENTS.



A FIRST FLOOR PLAN  
1/8" = 1'-0"



ADDITION AND REMODELING OF  
HOHMAN HALL  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
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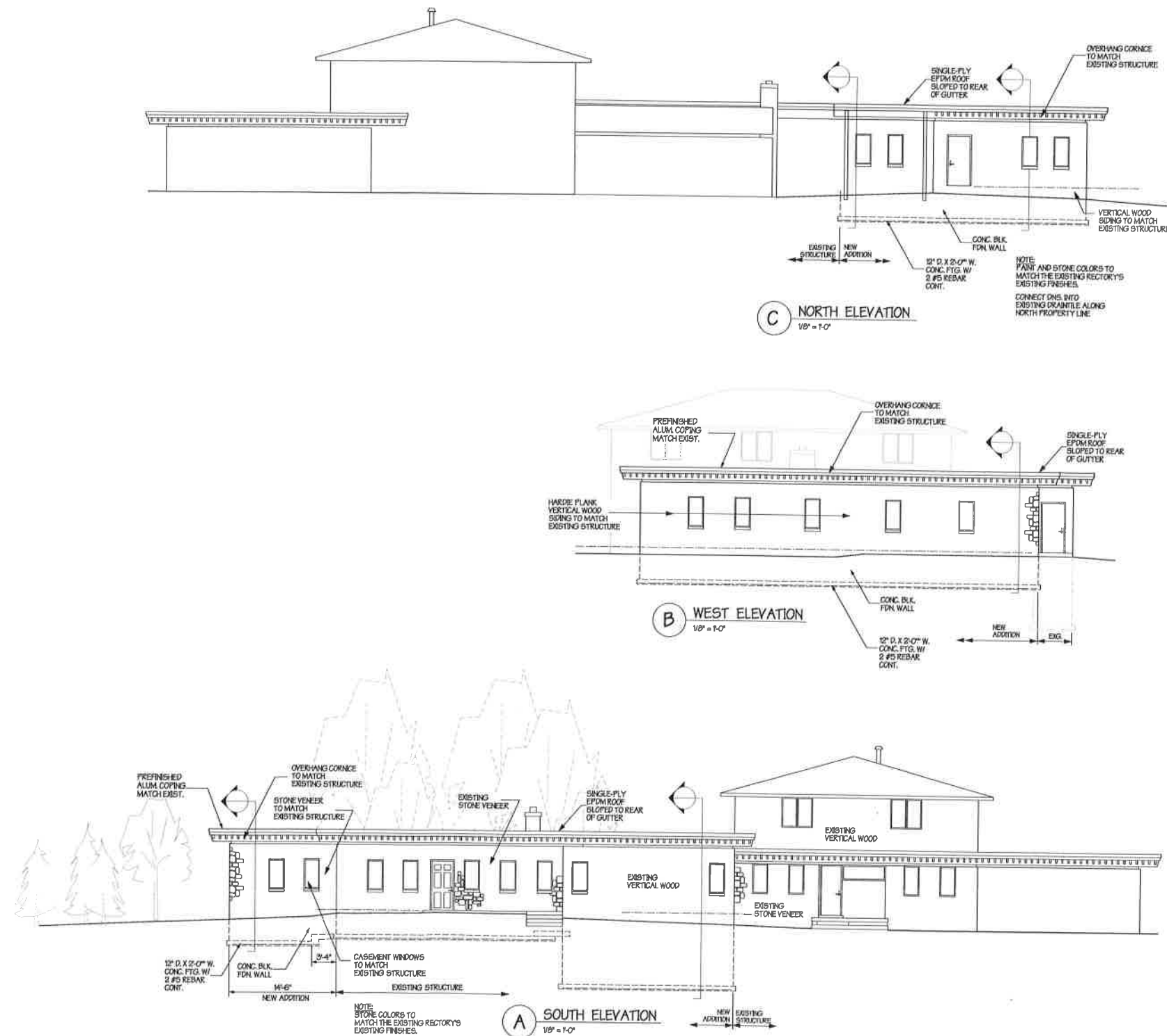
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0315A

STATE OF OHIO  
JOHN A. EBERTS  
10409  
REGISTERED ARCHITECT  
OH 10409 EXP. 12/31/17

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09-23-15

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A3



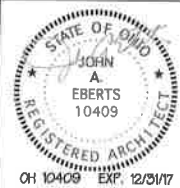
ADDITION TO PARISH OFFICES  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

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DATE

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ADDITION TO PARISH OFFICES  
for  
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0315D



DATE

01-11-16

SHEET NO.

A3

SYMBOL KEY:

- 2 X 4 FLOURESCENT LAY-IN TO RECOVER TROFFER LENSES SEE ELECTRICAL LTG. PLAN
- 2 X 2 FLOURESCENT LAY-IN SEE ELECTRICAL LTG. PLAN
- RECESSED LIGHT FIXTURE SEE ELECTRICAL LTG. PLAN
- PENDANT LIGHT FIXTURE SEE ELECTRICAL LTG. PLAN
- WALL SCONCE FIXTURE SEE ELECTRICAL LTG. PLAN
- COMBINATION EXIT-EMERGENCY LIGHT FIXTURE
- EXIT LIGHT FIXTURE
- EMERGENCY LIGHT FIXTURE
- DUAL REMOTE HEAD EMERGENCY LIGHT

CODED NOTES:

- GENERAL CONTRACTOR AND SUB-CONTRACTORS TO SECURE ALL NECESSARY BUILDING PERMITS AND APPROVALS FOR THE FULL COMPLETION AND OCCUPANCY OF THE INTERIOR FINISH.
- COORDINATE AND VERIFY ALL ACCESS, MATERIAL DELIVERIES AND WORK RELATED GUIDELINES WITH BUILDING OWNER OR REPRESENTATIVE. PROTECT BUILDING STRUCTURE, ACCESS AND SURROUNDING AREAS DURING CONSTRUCTION PHASE. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MECHANICAL SYSTEMS FROM COLLECTING AND DISTRIBUTION OF DIRT AND DUST. ALL CONSTRUCTION DEBRIS TO BE PROMPTLY REMOVED FROM SITE.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK TO BE COMPLETED BY PLUMBING, ELECTRICAL, HVAC, TELECOMMUNICATION, DATA, SUB-CONTRACTORS. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS. FIELD VERIFY EXISTING BUILDING DIMENSIONS, CLEAR HEIGHTS, INCLUDING MAIN TRUNK LINE & PIPING ELEVATIONS.
- REMOVE EXISTING WALL FRAMING AS REQUIRED FOR THE INSTALLATION OF WALL PARTITION AS INDICATED. VERIFY CONDITION OF EXISTING FRAMING TO REMAIN. PATCH AND REPAIR AS REQUIRED. REPORT ANY DISCREPANCIES OR DETEIORATION TO OWNER. PROTECT ALL WALLS TO REMAIN.
- UPGRADE: INSTALL ADA GRAB BARS, 36" X 14" (TO THE GROUND) AND A 36" L ON ADJACENT WALL AS INDICATED ON FLOOR PLAN, MIN. @ 30" - 36" AFF. PROVIDE ALL REQUIRED 2 X BLOCKING FOR GRAB BAR AND BATHROOM. ACCESSORIES AS REQUIRED. SEE RESTROOM ELEVATIONS.
- UPGRADE: INSULATE ALL EXPOSED RESTROOM PLUMBING PIPE WITH PROTECTIVE INSULATING COVER PER ADAAG 4.19.4.1. TRUERS/LAY QUARD 2 UNDER SINK. PIPING COVERS OR EQUAL.
- UPGRADE: RESTROOMS TO BE DESIGNATED PER PLAN, INDICATING SEX BY ADA COMPLIANCE SIGNAGE PER OBC SECT. 9001.1 ITEM 4 AND 7. AND OBC SECT. 2900.2.2. MOUNTED @ 48" AFF TO THE CENTER OF SIGN AND 8" TO 12" FROM DOOR JAMB.
- UPGRADE: INSTALL NEW ADA COMPLIANT CHAIRLIFT. VERIFY EXISTING SLAB CONDITIONS WITH LIFT INSTALLER. PROVIDE SHOP DRAWINGS FOR APPROVAL.

D REFLECTED CEILING PLAN  
1/8" = 1'-0"

B FIRST FLOOR PLAN  
1/8" = 1'-0"

E ROOF PLAN  
1/8" = 1'-0"

C ROOF FRAMING PLAN  
1/8" = 1'-0"

A FOOTING & FOUNDATION PLAN  
1/8" = 1'-0"

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ADDITION AND REMODELING OF  
HOHMAN HALL  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

JOHN A. EBERTS  
ARCHITECT  
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400 EAST WILSON BRIDGE ROAD  
WESTERVILLE, OHIO 43086  
VOICE/FAX: 614-430-8770  
jane@janeeberts.net

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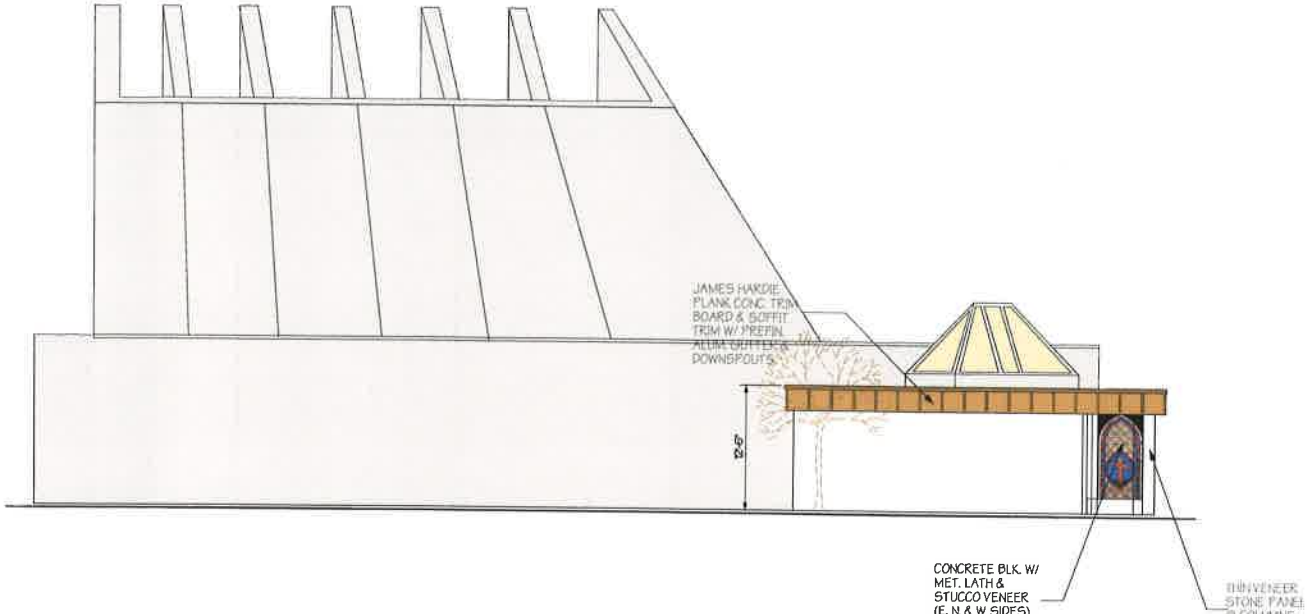
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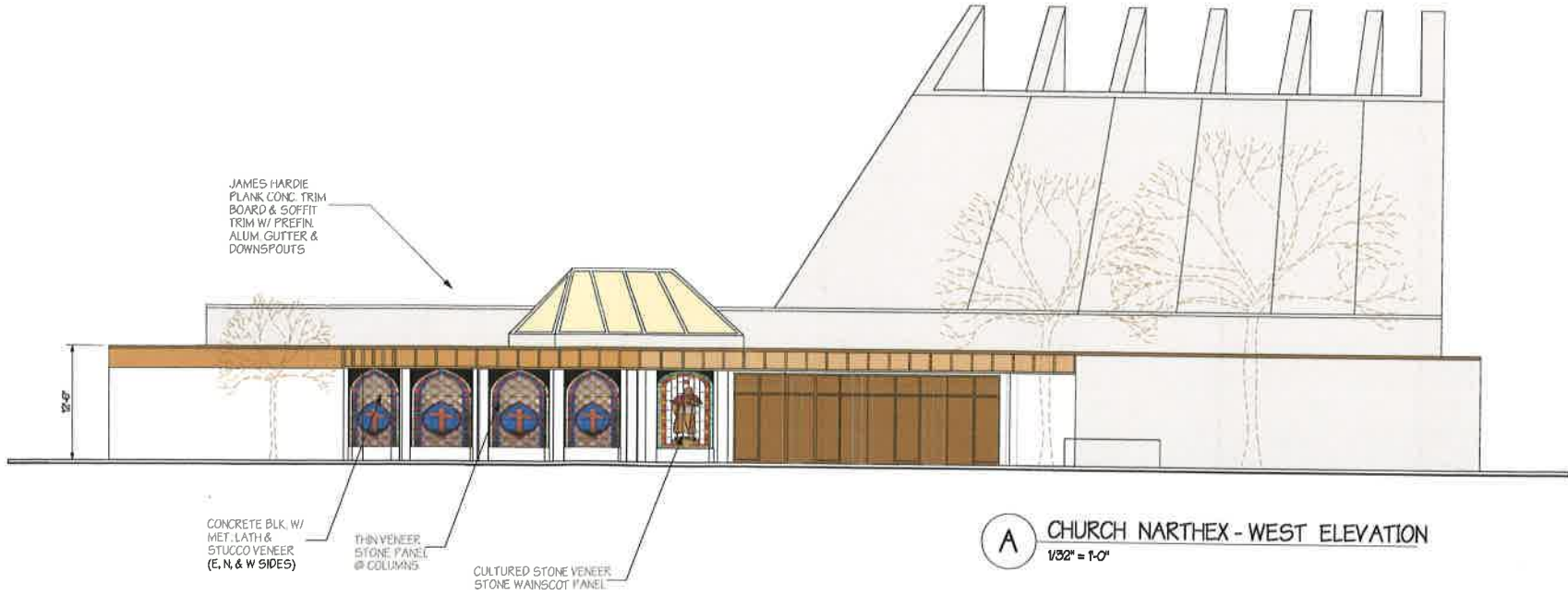
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10-13-15

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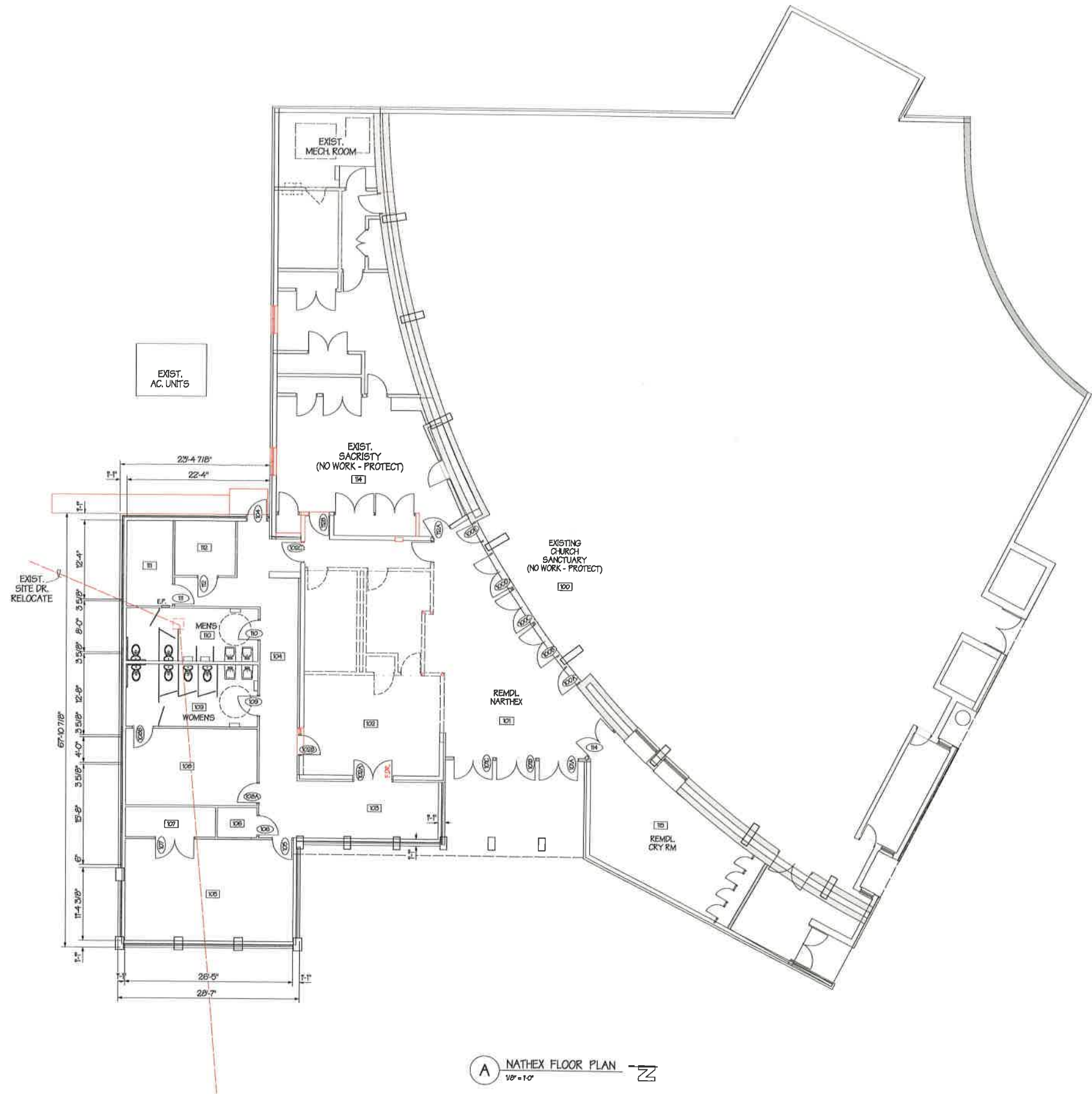
A5



B CHURCH NARTHEX - NORTH ELEVATION  
1/32" = 1'-0"



A CHURCH NARTHEX - WEST ELEVATION  
1/32" = 1'-0"



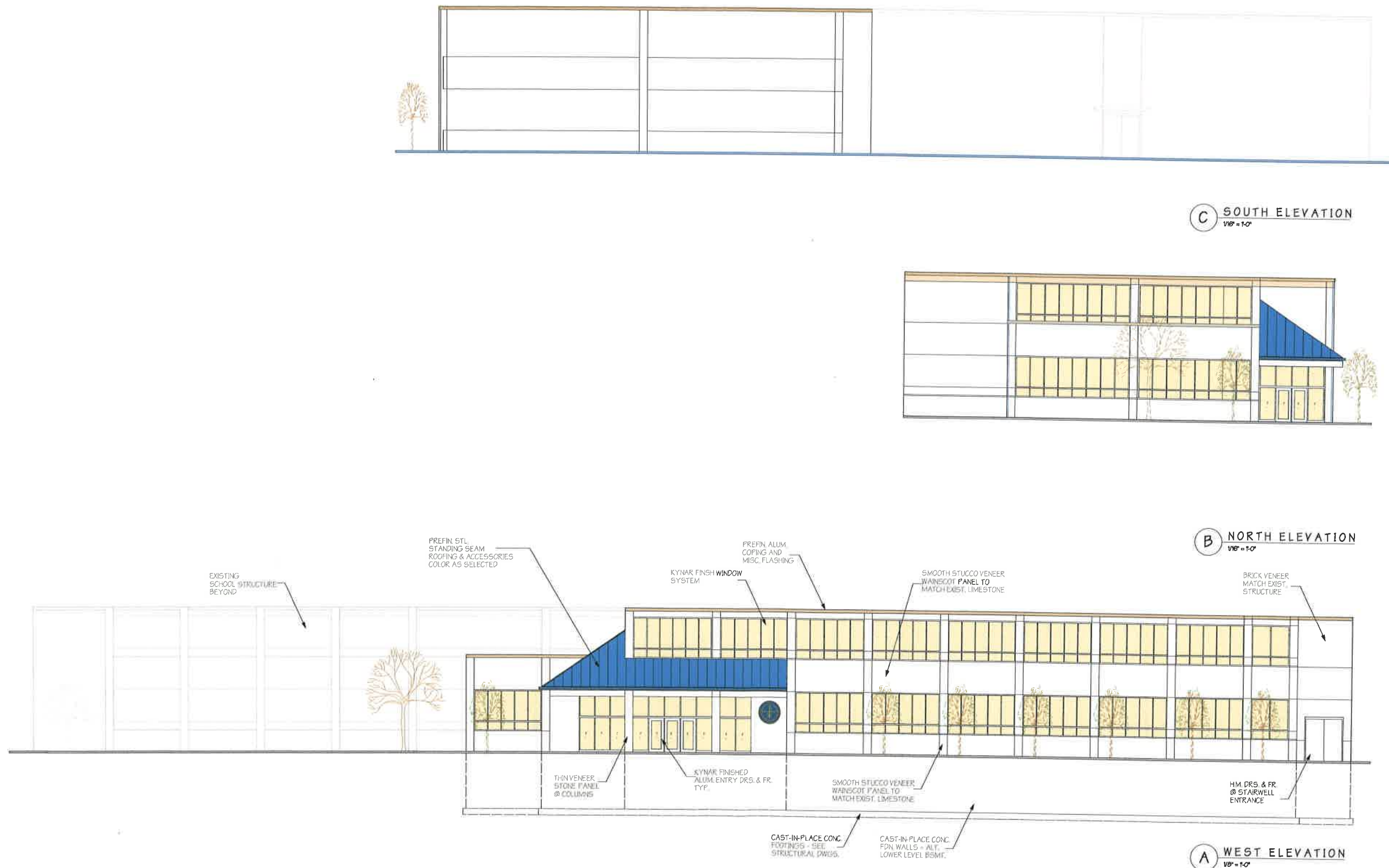
A NARTHEX FLOOR PLAN  
1/8" = 1'-0"

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NARTHEX REMODELING & ADDITION  
for  
ST. PIUS X CATHOLIC PARISH  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

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REVISIONS  
COMM. NO. 0315B  
STATE OF OHIO  
JOHN A. EBERTS  
REGISTERED ARCHITECT  
OH 10409 EXP. 12/31/17  
DATE 09-30-15  
SHEET NO. A2



C SOUTH ELEVATION  
1/8" = 1'-0"

B NORTH ELEVATION  
1/8" = 1'-0"

A WEST ELEVATION  
1/8" = 1'-0"

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MASTER PLAN STUDY  
for  
ST. PIUS X ELEMENTARY SCHOOL  
1061 WAGGONER ROAD  
REYNOLDSBURG, OHIO 43068

JOHN A. EBERTS  
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REVISIONS  
COMM. NO. 1211  
STATE OF OHIO  
JOHN A. EBERTS  
REGISTERED ARCHITECT  
OH 10409 EXP. 12/31/17  
DATE 03-02-15  
SHEET NO. A3

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**ELEMENTARY SCHOOL EXPANSION**  
for  
**ST. PIUS X CATHOLIC PARISH**  
**1061 WAGGONER ROAD**  
**REYNOLDSBURG, OHIO 43068**

JOHN A. EBERTS  
ARCHITECT  
LEED AP, CHD REG. 10409 AA  
400 EAST WILSON HODGE ROAD  
WESTERVILLE, OHIO 43086  
VOICE/FAX 614-430-8770  
jeberts@meaynet.net

REVISIONS

12-22-15

COMM. NO.

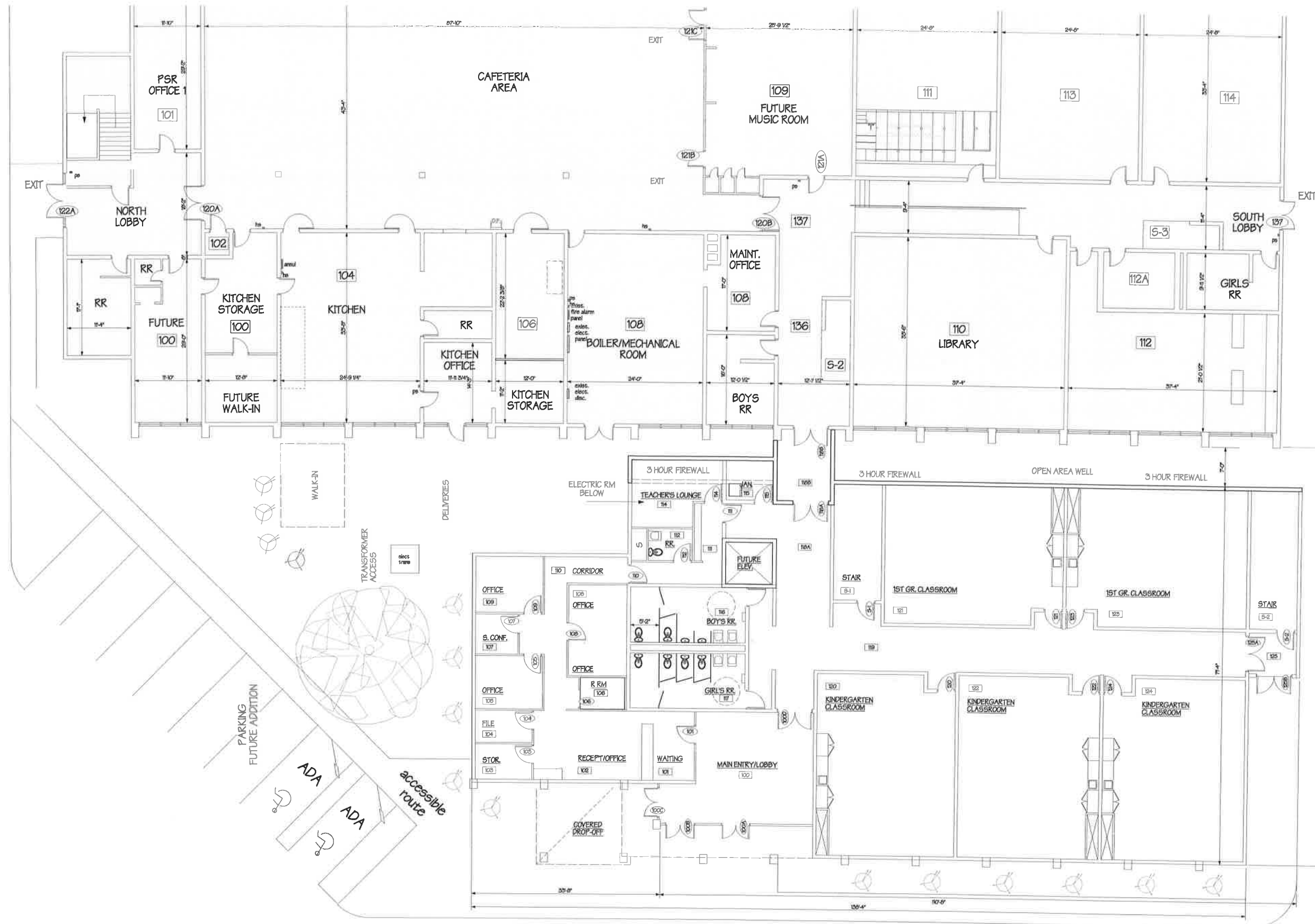
0315C

DATE

09-23-15

SHEET NO.

A4



**A FIRST FLOOR PLAN**  
1/8" = 1'-0"

**CITY OF REYNOLDSBURG**  
 Department of Development  
 Planning & Zoning Division  
 7232 East Main Street  
 Reynoldsburg, Ohio

Section 1139  
**BOARD OF ZONING & BUILDING APPEALS**  
**APPLICATION**

Application #: 176265  
 Permit #:  
 Date Submitted: 1/17/17  
 Fee Amount: \$350.00  
☒ Paid: M/C

**I. PROPERTY INFORMATION**

Property Address:

6475 East Main Street, Main Commerce Center

**II. PROPERTY OWNER OF RECORD**

Property Owner Name(s):

JASON GUNSOREK

Contact Email:

JGUNSOREK@ECO-4V.COM

Contact Phone Number:

614-419-0925

**III. BUSINESS INFORMATION (IF APPLICABLE)**

Business Name:

Capital City Strength, LLC

Contact Phone Number:

614-246-1841

Description of Use:

CrossFit Gym

Contact Name:

Jason Daniel

Contact Email:

jdaniel8706@gmail.com

**IV. APPLICANT INFORMATION**

Applicant Name:

Jason Daniel

Applicant Phone Number:

614-246-1841

Applicant Address

315 Denison Avenue Columbus, Ohio 43230

Applicant Email:

jdaniel8706@gmail.com

☐ Property Owner

☒ Business Owner/Tenant

☐ Contractor

☐ Architect/Engineer

**PROJECT INFORMATION**

CHECK AND DESCRIBE IF APPLY:

Variance (☐ Non Residential (\$450) / ☐ Residential (\$100)):

☒ Special Exception Use Permit (\$350): Commercial Recreation Facility

☐ Other:

Applicant shall submit ten (10) copies of application and materials to the Planning & Zoning Administrator. Please review the attached sections of the Zoning Code and note the items you are responsible for submitting with this application.

Applicant Signature: Jason Daniel

Date: 1/13/16

\*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.\*

**\*\*OFFICE USE ONLY\*\***

Additional Notes:

Zoning Information

Zoning District: RI

☐ Historic District

☐ CC Overlay

Add'l Approvals Req'd

☐ Planning Commission

☐ DRB

BZBA Meeting

Date: 2/16/17

☐ Approved as Submitted

☐ Approved w/ Conditions

☐ Tabled

☐ Denied

City Council Meeting

Date:

☐ No Action Taken

☐ Approved as Submitted

☐ Approved w/ Conditions

☐ Denied

P&Z Admin.: \_\_\_\_\_ Date: \_\_\_\_\_

Clerk of Council: \_\_\_\_\_ Date: \_\_\_\_\_

**6475 E MAIN STREET  
SPECIAL EXCEPTION APPLICATION**

Legal Description: 6471-3 E Main Street  
R21 T12 S13 1/4T20  
4.144 Acres  
Parcel #: 06000127200

Zoning District: RI – Restricted Industry District

**5. Description of the existing use of the lot and of adjacent lots:**

- a. The existing use of the complex located at 6475 E Main Street is a mix of office, industrial and special uses, including a security company, church, glass repair business, food pantry and a mixed martial arts studio. To the west of 6475 E Main St. is a self-storage complex, to the east is commercial property with an approximately 5,000 SF building on the front of the parcel.

**6. Description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts:**

- a. The activities proposed for the two suites under consideration at 6475 E Main Street will be for a fitness use, specifically CrossFit. CrossFit is a class based system, led by a coach, where members attend classes at specified times. The hours of operation will primarily be 5:30am – 7:30am and 5:00pm-8:00pm, which are outside the normal business hours or neighboring tenants. We anticipate that number of employees will be 1-3. Our delivery activity will be minimal, and largely non-existent outside of standard mail delivery. Since the primary hours of operation are either before or after normal business hours, I do not anticipate traffic volume to be an issue during the normal business hours of 9:00am – 5:00pm. The members of our gym will be employed, most of which have standard working hours.

**7. A plan of proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping and relevant features:**

- a. Please see attached for an aerial photo of the existing property at 6475 E Main Street. Our occupancy would not impact the existing parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping and relevant features. The interior of the space we are considering is completely open, first generation space. The owner has agreed to build out an office and two restrooms for our use, the remainder of the space will be open to allow for various fitness uses.

**8. A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration and storm water, and any measures proposed to mitigate such effects.**

- a. It is our opinion that our use is compatible and complimentary with the existing uses at 6475 E Main Street. We are not in competition with the existing mixed martial arts studio and the owner has already spoken to the studio about the potential addition of a CrossFit gym, which they welcome. Since our use is a class based system with specific hours for classes, which are outside of normal business hours we do not anticipate any issue with the neighboring tenants in the complex. Noise will not be a concern for neighboring tenants; all classes are taught by a coach so if there is music playing it is at low enough level that all participants can hear the instruction from the coach. Our use of the space will in no way increase the glare, odor, fumes, vibration or storm water of the complex.

**9. A narrative addressing each of the applicable criteria set forth in section 1145.03:**

- a. Our facility shall be in harmony with the existing district, will not adversely affect the use of adjacent property, will not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood. Furthermore, our facility shall be served adequately by public facilities, will not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses, will accord with general and specific objectives of this Zoning Code and Land Use Plan, will comply with applicable specific provisions and standards of this code, and will be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

**10. Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations. Such information may include, but shall not be limited to: traffic impact analysis, storm water impact analysis and utility impact analysis.**

- a. It is our opinion that the traffic impact, storm water impact, and utility impact will not differ from what is considered normal, within the scope of operating a business such as a CrossFit gym.

# 6475 E MAIN STREET AERIAL PHOTO



Attachment: Application #176265 (1666 : 6475 E. Main St.; Application # 176265; Applicant: Jason Daniel)

**MAP(GIS)**

Generated on 01/16/2017 at 01:16:15 PM

|             |                   |              |                |
|-------------|-------------------|--------------|----------------|
| Parcel ID   | Map Routing No    | Owner        | Location       |
| 06000127200 | 0600102J<br>00600 | GBS MAIN LLC | 6475 MAIN ST E |

GIS

**Disclaimer**

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

Attachment: Application #176265 (1666 : 6475 E. Main St.; Application # 176265; Applicant: Jason Daniel)

## **Rules of the Reynoldsburg Board of Zoning and Building Appeals**

The Reynoldsburg Board of Zoning and Building Appeals, in order to carry out the general powers conferred upon it by the Ohio Revised Code and the City of Reynoldsburg's Charter and Codified Ordinances, does hereby adopt the following rules to govern its proceedings:

### ARTICLE I    AUTHORIZATION

Section 1.1 - The authorization for the establishment of Reynoldsburg Board of Zoning and Building Appeals is set forth in Article VII, Section 7.02 of the City Charter.

### ARTICLE II    MEMBERSHIP

Section 2.1 - The entire membership shall be the same as that provided for in Article VII, Section 7.02 of the City Charter.

### ARTICLE III    OFFICERS AND THEIR DUTIES

Section 3.1 Officers – The officers of the Board of Zoning and Building Appeals shall consist of a Chairman, a Vice-Chairman, and a Secretary.

Section 3.2 Chairman – The Chairman, shall preside at all meetings of the Board. He shall call special meetings of the Board when required. The Chairman may appoint committees or sub-committees comprised of Board members and others whenever he feels that such committees can further the work of the Board. The Chairman shall act as spokesman for the Board, and shall have such other duties as are normally conferred on such officers by parliamentary procedure. Unless otherwise restricted by the Planning & Zoning Code or Charter, the chairman shall have a vote on all matters before the Board. The Chairman shall sign all documents of the Board and see that all actions are properly carried out.

Section 3.3 Vice-Chairman – The Vice Chairman shall serve as Chairman during the temporary absence or disability of the Chairman, and shall upon those occasions be vested with the full authority attendant to the position of the Chairman.

Section 3.3 Secretary – The Secretary shall be elected by the Board from within or without the membership. A Secretary elected from without the membership of the Board shall not have a vote. The Secretary shall keep the minutes of all meetings of the Board in an appropriate location. The Secretary shall also give or serve all notices required by law or by the rules of the Board and prepare the agenda for all meetings of the Board. He shall be custodian of Board records and shall inform the Board of correspondence relating to business of the Board. The Secretary shall attend to such correspondence as required by the Chairman and handle funds allocated to the Board in accordance with its directives, the law, and City regulations.

### ARTICLE IV    ELECTION OF OFFICERS

Section 4.1 - At an annual organization meeting, which shall be the first regular meeting in January, the Board shall elect a **Chairman, Vice-Chairman, and Secretary**. Nominations shall be made from the floor, and the candidate receiving a majority vote of the voting membership shall be declared elected

and shall take office at the close of the meeting. The officers shall be elected for a period of one (1) year, shall be eligible for re-election, and shall serve until their successors take office. Vacancies in office shall be filled immediately by regular election procedure.

## ARTICLE V MEETINGS

Section 5.1 - Regular meetings shall be held at 6:30 P.M., on the third (3rd) Thursday of each month.

Section 5.2 - Special meetings may be called by the Chairman or Vice-Chairman at the request of three (3) voting members to act on those matters necessary and germane to the duties of the Board, in accordance with the Ohio Revised Code.

Section 5.3 Quorum – A quorum shall be necessary at any regular or special meeting in order for the Board to take official action or carry on its business. A quorum shall consist of a majority of Board members. Each member of the Board of Zoning and Building Appeals who has knowledge of the fact that he will not be able to attend a scheduled meeting shall notify the Planning & Zoning Administrator or Secretary at the Municipal Building at the earliest possible opportunity and, in any event, prior to 5:00 p.m. on the date of the meeting. The Planning & Zoning Administrator or Secretary shall notify the Chairman in the event that the projected absences will produce a lack of quorum.

Section 5.4 - Action of the Board on any application properly brought before it shall be effective only when the matter being considered by the Board receives at least three (3) votes on the prevailing side. Questions on procedure shall be decided by a voice vote in the usual manner.

Section 5.5 Parliamentary Process – Unless otherwise specified herein, Robert’s “Rules of Order”, as filed in the Clerk of Council’s Office, shall govern the proceedings at the meetings of the Board.

Section 5.6 Designation of Voting Order – Votes of the Board will be by verbal vote and the order of voting will rotate in sequential alphabetical order. The Chairman shall always vote last.

Section 5.7 Reconsideration – Reconsideration of any decision of the Board may be had when the interested party for such reconsideration makes a satisfactory showing to the chairman that without fault on the part of such party, essential facts were not brought to the attention of the Board.

Section 5.8 Conflicts of Interest – Any member of the Board who feels that he has a conflict of interest on any matter that is on the Board’s agenda shall voluntarily excuse himself and refrain from discussing and voting on said items as a Board member.

## ARTICLE VI AGENDAS & ADMINISTRATIVE PROCEDURES

Section 6.1 Open Meetings and Records – All proceedings and records of the Board shall be open to the public in accordance with the City Charter, Codified Ordinances and the Ohio Revised Code. All maps, plats, and other matters required by law to be filed with the Board shall be filed in the office of the Planning & Zoning Administrator or Clerk of Council as required by the Planning & Zoning Code.

Section 6.2 – Deadline for Application – The deadline for filing applications for placement on the agenda shall be thirty (30) days prior to any given meeting of the Board unless otherwise stated by the Planning & Zoning Code. Requests for continuance of matters scheduled for a particular agenda shall be filed with the Planning & Zoning Administrator or Secretary by noon on the Thursday prior to the Thursday of the meeting so the printed agenda will reflect the required continuance.

Section 6.3 – Agenda - The Secretary, under the guidance of the Board’s Chairman, and with the assistance of the Vice Chairman, shall prepare the agenda for the regular and special meetings. Agendas for regular meetings shall be prepared at least seven (7) days in advance of each regular meeting. Board members shall be provided an agenda, a copy of each application and all related exhibits and materials, and a report from Staff at least seven (7) days in advance of each regular meeting.

## ARTICLE VII ORDER OF BUSINESS

Section 7.1 Agenda Order – The order of business at the regular meetings of the Board shall be as follows:

- A. Call to Order
  - 1. Roll Call
  - 2. Approval of Minutes
  - 3. Approval of Agenda
  - 4. Public Comment
- B. Unfinished Business
- C. New Business
- D. Other Business
- E. Adjournment

Section 7.2 Presentation Order – The following procedure will normally be observed; however, it may be rearranged by the Chairman for individual items if necessary for the expeditious conduct of business:

- A. Staff presents report and makes recommendation.
- B. Applicants make presentation.
- C. Any opponents make presentations.
- D. Applicant makes rebuttal presentation of any points not previously covered.
- E. Board members ask any remaining questions they may have for the proponents, opponents, or staff, and then take a vote.

ARTICLE VIII AMENDING THE RULES OF THE BOARD

Section 8.1 Changes to these rules may be proposed and discussed at any regular meeting. At the next regular meeting, the proposed amendments will be eligible for adoption. The adopted rules will supersede any and all other rules and take effect immediately.

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CHAIRMAN

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VICE-CHAIRMAN

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ADOPTED (Date)