



Alex Furst, Chair
Keith Benner, Vice-Chair
Teresa Alabi
Amy Barnhart
Norman Brusk
Toni Kleckley
Anita Ward

Planning & Zoning Board

7232 East Main Street
Reynoldsburg, OH 43068
www.reynoldsburg.gov

Eric Meyer, Development Director
Melissa Butler, Administrative
Assistant

Thursday, August 1, 2024

6:00 PM

Council Chambers

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF AGENDA
3. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. UNFINISHED BUSINESS

D. NEW BUSINESS

1. App# 2024-0462; 1371 Brice Road; Rynya Carey and Sarita Penn of Pathways II Destiny Childcare Center, LLC; Conditional Use Application
2. App# 2024-0467; 2353 Taylor Park Drive; Arsalaan Abdul-Malik of No Zero Corp for Unique Gahana Ghar; Variance Application

E. OTHER BUSINESS

F. ADJOURNMENT

ADJOURNMENT

July 23, 2024

Mr. Eric Meyer
Development Director
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: 1371 Brice Road - Conditional Use

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. Project Summary

- a. The following summarizes the characteristics of the site and the surrounding areas:
 - i. The subject lot on which an existing 1,653 square-foot, one story former dwelling that has been used as an office and apparently a daycare center, covers approximately .93 +/- acres. It also includes a 4,500 square-foot unstriped, asphalt parking lot (that could contain a maximum of 10 spaces) directly accessing Brice Road. A small outbuilding and a dumpster pad are located on the west side of the parking lot. A ground sign is located in the front yard with removeable copy. The site is zoned Brice & East Main Street District (BMD).
 - ii. The site is boarded on the north by a 7-tenant strip center, with one of the tenants having previously occupied the subject property. The site to the east and across Brice Road is occupied by a bank and to the south by a house like structure housing a nail salon and an event venue with a large size parking lot behind and to the west of the building. The strip center, bank, and nail salon/event venue are zoned BMD.
 - iii. A monument sign is located in the front yard perpendicular to Brice Road and has a measured setback of approximately 6.5 feet (area and height unknown) from the right-of-way.
- b. The applicant is seeking a conditional use permit to allow a Child Day Care Center within an existing structure in the BMD. A play area is shown on the west side of the existing the parking lot, approximately 72 feet from the elevated rear entrance to the building. A dumpster is also shown on the existing dumpster pad at the southwestern edge of the parking lot.

2. Application Review

a. Information Required

- i. Description of the zoning district and existing uses of adjacent lots; *Responded to in application.*
- ii. A statement of the conditional use for which the application is submitted, *Responded to in application.*
- iii. Including a description of the activities proposed on the subject property, the goods and services sold or provided, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will assist the PZB with understanding the nature of the proposed use and its potential impacts; *Responded to in application.*



- iv. A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, **signs**, yards, **landscaping**, and other relevant features; (Items in **bold not responded to or shown in the material submitted**). *If the additional signage is needed, the existing monument sign is considered non-conforming due to its insufficient setback of 10 feet from the right-of-way and overall height and size. Any additional signage would require a sign permit per Section 1105.03, Signs. Landscaping should also be consistent with Section 1105.07 Landscaping and Buffering*
- v. A narrative statement describing the compatibility of the proposed use with the existing uses of adjacent lots and with the Land Use Plan, including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects; *Responded to in application.*
- vi. A narrative addressing each of the applicable criteria set forth in the standards and requirements for all conditional uses set forth below and, as applicable, the supplementary requirements for special uses set forth under the applicable district or zone regulations. *Responded to in application.*
- vii. Such other information as the PZB deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations. Such additional information may include, but shall not be limited to:
 - 1. Traffic impact analysis; *N/A*
 - 2. Storm water impact analysis; and/or
 - 3. Utility impact analysis. *N/A*

b. Use Provisions

- i. The proposed use most closely resembles and fits the definition of a Child Daycare Center It is listed as a School – Child Day Care Center and a Conditional Use in the Insight Districts Uses table for the BMD.
- ii. Under Section 1105.13 Supplementary Use Conditions, the following regulations apply to a Childcare Center:
 - 1. No zoning permit or conditional use permit for a childcare center shall be issued for a lot that is within one hundred fifty feet (150FT) of any lot or parcel with an approved gasoline station use, or which is likely to generate noxious fumes or vapor. *Responded to in application.*
 - 2. All outdoor play areas shall meet the minimum requirements outlined by the State agency with oversight of childcare centers. No play area shall be located adjacent to a loading space, loading dock or other area where vehicles are likely to idle. No play area shall be constructed in a manner that allows children access to any electrical or telecommunications box/vault. *Responded to in application.*
 - 3. No childcare center shall be permitted to operate between the hours of 7:00 p.m. and 6:00 a.m. the following morning unless specifically approved by the Planning and Zoning Administrator or the Planning and Zoning Board. *Responded to in application.*
- iii. According to the Ohio Revised Code, child day-care centers in Ohio must have a safe outdoor play space that meets the following requirements:
 - 1. The space must have at least **60 square feet of usable space per child using the area at any one time**. *The dimensioned size of the playground and the type of enclosure not responded to or shown in the material submitted.*



2. The space **must be enclosed by a fence or protected from traffic or other hazards**. The **fence or natural barrier must ensure that children can't leave the play area unsupervised** and that hazards can't enter without staff being aware. *Not responded to or shown in the material submitted. The location of the playground to the building's rear access requires children to cross over approximately 72 feet of the parking lot and vehicular circulation area to reach the elevated rear entrance to the building. The playground should be closer to the building to provide a safer access, even if under adult supervision.*
3. The **space must provide an opportunity for supervised outdoor play each day in suitable weather**, which is defined as a minimum of 25–90°F. If children use an area outside of the center, such as a park or playground, they must be closely supervised while playing and traveling to and from the area. *Not responded to or shown in the material submitted.*

c. Applicable Conditions

- i. **Locations, setbacks, and configurations of structures and of uses of interior and exterior space;** *Not responded to or shown in the material submitted.*
- ii. Screening comprised of landscaping, walls, **fencing** or other materials or construction; *Not responded to or shown in the material submitted. The dumpster shown on the submitted plan should be screened per Section 1105.11 Fences and Screening, Service Fences.*
- iii. Access points and **traffic management provisions, including those impacting vehicular and pedestrian access, and the locations and design of parking facilities.** *With the exception of showing the only point of access off of Brice Road and the parking location, the remaining items were not responded to or shown in the material submitted. This includes the design of the parking lot involving striping, circulation aisles location and width, and number of spaces needed based on the one per employee based on largest staff shift plus 10 for visitors, which were also not provided.*
- iv. **Noise control measures**, including those regulating loudspeakers or irregular vehicular or equipment noise; *Not responded to or shown in the material submitted or if not applicable, not so indicated.*
- v. Other features of construction, including but not limited to **paving and parking, signs, and landscaping;** *Not responded to or shown in the material submitted.*
- vi. Hours and method of operation; *The hours of operation between 6:30 am - 6:00 pm are within the permitted time frame.*
- vii. Maintenance of the site, structures, and **landscaping;** *Not responded to or shown in the material submitted.*
- viii. Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; *With the exception of the dumpster location, the remaining items were not responded to or shown in the material submitted, or if not applicable, not so indicated.*
- ix. A time limit for operation of the use, if temporary operation is determined to be a typical characteristic of the proposed use or otherwise appropriate given unique circumstances of the proposed use. *NA*

3. Zoning Recommendation

- a. Recommend approval of School – Child Day Care Center as a conditional use with the following conditions
 - i. That the additional information requested in the above 2,a, *Information Required* be provided;
 - ii. That the issues outlined in 2,b, *Use Provisions* applying to Day Care Centers be addressed, and



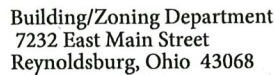
- iii. That the issues outlined in 2,c, *Applicable Conditions* be addressed.

If you have any questions or comment, please feel free to contact us.

Sincerely yours,

Kim Littleton

Kim Littleton, AICP
Senior Planner/Project Manager



App./Case#: 2024-462

Date Submitted: 07/09/2024

Fee Amount: \$450.00

☒ Paid: OK

Property Address: 1371 Brice Rd. Reynoldsburg, OH 43068	Parcel ID#(s): 060-001122-00
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Property Owner Name(s): Fred Knopp & Francesca Knopp	
Contact Email: Knoppsec@aol.com	Contact Phone Number: 614 800-7169

Business Name:		Contact Name:
Pathways II Destiny Childcare Center, LLC		Rynya Carey and Sarita Penn
Contact Email:	Contact Phone Number:	
spenn@thecdpsonline.com pathwaysdestinychildcare@gmail.com	614 806-4940	614 946-8038
Description of Use:		
Childcare Center		

Applicant Name: Rynya Carey and Sarita Penn		Applicant Address: 841 Strawberry Hill Rd E. Columbus, OH 43213	
Applicant Phone Number: 614 806-4940 614 946-8038		Applicant Email: spenn@thecdpsonline.com pathwaysdestinychildcare@gmail.com	
☐ Property Owner	☒ Business Owner/Tenant	☐ Contractor	☐ Architect/Engineer
		☐	Owner's Consent Attached.
PROJECT INFORMATION			

☐ Residential (single-family residential only)(\$200) ☒ Non-Residential (all residential except single-family residential)(\$450) ☐ Engineering Report (\$750 [min.]

Pathways II Destiny Childcare Center has leased the lot located at 1371 Brice Rd. Reynoldsburg, OH 43068

We are applying for Conditional Use to establish a childcare center because there is a significant need for quality early childhood education and care within our community. Our proposed center will provide a safe, nurturing and educational environment for children, supporting working families and contributing to the overall well-being of the neighborhood.

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

Date: 7/9/24

****OFFICE USE ONLY****

Additional Notes:

Zoning District: _____ ☐ Major/Minor Site Plan

☐ Olde Reynoldsburg District ☐ Other: _____

Date: _____

☐ Approved as Submitted☐ Approved w/ Conditions

☐ Tabled

☐ Denied

P&Z Administrator: _____ Date: _____

Section 1109.13.D

STANDARDS FOR ALL CONDITIONAL USES

In review of a Conditional Use application, the Board shall consider whether the application is complete and whether it provides adequate evidence that the proposed special exception is consistent with the following standards:

- ☒ The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;
- ☒ The proposed use shall not adversely affect the use of adjacent property;
- ☒ The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
- ☒ The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
- ☒ The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;
- ☒ The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
- ☒ The proposed use complies with the applicable specific provisions and standards of this Code;
- ☒ The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

In approving a Conditional Use, the Planning and Zoning Administrator or the PZB may impose such conditions as deemed necessary to protect the public welfare, preserve the purpose and intent of the Code. Such conditions may include:

- Locations, setbacks, and configurations of structures and of uses of interior and exterior spaces;
- Screening comprised of landscaping, walls, fencing or other materials or construction;
- Access points and traffic management provisions, including those impacting vehicular and pedestrian access and the locations and design of parking facilities;
- Noise control measures, including those regulating loudspeakers or irregular vehicular or equipment noise;
- Other features of construction, including but not limited to paving and parking, signs, and landscaping;
- Hours and method of operation
- Maintenance of the site, structures, landscaping;
- Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; and
- A time limit for operation of the use.

JUL - 9 2024



07/09/2024

Reynoldsburg Department of Development
Planning and Zoning Division
7232 E. Main St.
Reynoldsburg, OH 43068

Subject: Conditional Use Application

Conditional Use Application

We are writing to apply for the Conditional Use of the lot located at 1371 Brice Rd.
Reynoldsburg, OH 43068.

Description of the existing use of lot and adjacent lots

The lot located at 1371 Brice Rd. Reynoldsburg, OH 43068 previously operated as a childcare center. The previous childcare center moved to another location and Pathways II Destiny Childcare has now leased the lot to be used as a childcare center.

1371 Brice Rd operated as a childcare center prior to Pathways II Destiny Childcare leasing the lot. Therefore, we believe that the lot meets all the conditions required by zoning and the area is safe for a childcare business.

The lot located to the right side of the property is a hair salon with a large parking area with several parking spaces. ***See attached Exhibit A**

The lot located on the left side of the property is occupied by several business included: El Burrito Loco restaurant, Liberty Tax Service, Jacob Christian Salon, Romake Bilingual Preschool. This lot has two main entrances and exits and plenty of parking available. ***See attached Exhibit B and Exhibit C**

Daily Schedule and Routine

- ◇ Morning Welcome and Prayer 6:30 am – 9:00am
 - As children arrive and engage in supervised free play, we start the day with a brief, inclusive welcome prayer at 8:30am, asking for blessing and guidance for the day ahead. This time allows for socialization and transition from home to the childcare setting
- ◇ Morning Circle Time 9:00 am – 9:30am
 - Group gathering for songs, stories, and discussions about the week's theme. This session includes:
 - Bible Story: A simple, age-appropriate Bible story is read aloud, followed by a discussion to ensure understanding and engagement.
 - Memory Verse: Introduction of weekly memory verse for children to learn and recite. This activity promotes language development, listening skills and community building.
- ◇ Learning Centers and Structured Play 9:30am – 11:00am
 - Rotating activities in different learning centers including:
 - Art and Crafts: Activities may include creating crafts related to the Bible story of the week.
 - Dramatic Play: Role-playing scenes from Bible Stories to enhance understanding and empathy.
 - Construction and Blocks: Building activities to develop spatial awareness and problem-solving abilities.
 - Science and Discovery: Simple experiments and nature exploration to foster curiosity and critical thinking.
- ◇ Outdoor Play 11:00am – 12:00pm
 - Supervised play in outdoor or indoor playground, which provides a break and helps with physical development.
 - Free Play: Use of playground equipment like slides swings and climbing structures.
 - Organized Games: Group games such as tag, relay races, and ball games to promote physical fitness and teamwork.
- ◇ Lunch and Rest Time 12:00 pm – 2:00 pm
 - Lunch includes a prayer of thanks before meals, encouraging gratitude and mindfulness
 - Nutritious meals and snacks provided in a family-style setting to encourage healthy eating habits and social interactions.
 - Rest Time: Quiet time for napping or resting, creating a calm and peaceful environment.
- ◇ Afternoon Learning and Activities 2:00pm – 3:30pm

Families are invited to join a special prayer night, including Bible readings, prayers, and fellowship to strengthen community bonds.

◇ Holiday and Seasonal Events

- Christmas Program: Nativity Play and Christmas Carol Singing
- Easter Celebration: Activities related to the resurrection story, including an Easter egg hunt with biblical themes.

All Special Program activities will be conducted Monday – Friday between the hours of 6:30am – 6:45pm

A plan of the proposed site and improvements showing the proposed location of all structures; parking and loading areas, street traffic accesses, open spaces, refuse and service area, utilities, signs, yards, landscaping and other relevant features.

The lot located at 1371 Brice Rd previously operated as a childcare center, therefore there will be minimal site improvements that will need to be made to the existing lot; however, we will be adding a fence August 5th

The attached exhibits provide a visual of the parking and loading area, open spaces, refuse and service area, signs and yard. ** **Exhibit D**

1371 Brice Rd. is an ideal location for a daycare center, it has a large grassy lot, quiet neighborhood, plenty of parking, assessable entry and exits and with the new library directly adjacent to the lot makes it ideal for taking kids on day trips to the library.

The owners of Pathways II Destiny Childcare Center have visited the property in the past while it was being utilized by another daycare, we were able to observe the traffic pattern and there was no disruption in the flow of traffic in the area.

The property also has a very convenient entrance with parking in the front and several parking spaces in the rear.

The trash receptacle will be in the rear of the building in a designated area, it will be covered and locked. All trash will be disposed of daily to avoid odors *see exhibit

The kitchen will include a commercial sink, refrigerator, electric cooktop and a convection oven to prepare meals for the children, the kitchen is in the lower level of the building and has a locked door, children will not have access to this area.

A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration and storm water

- I. The proposed shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts.
 - The proposed childcare center will harmonize with the existing and intended character of the district and nearby areas by complementing the community. Since the lot has operated as a childcare center in the past, its design and operations will align with local character and zoning requirements, ensuring a seamless aesthetic fit. The center's focus is on providing safe, nurturing, and value-driven childcare services that will support the neighborhood's values and community spirit by enhancing local amenities without altering the district's fundamental character, the childcare center will blend into the neighborhood, maintaining its essential charm and integrity.
- II. The proposed use shall not adversely affect the use of the adjacent property.
 - The proposed childcare center will not adversely affect the use of the adjacent properties. Through strategic design and thoughtful planning measures such as, appropriate fencing and a designated play area will minimize noise and ensure privacy. Traffic management strategies will be implemented to prevent congestion, and the center will maintain high standards of cleanliness and safety. By integrating seamlessly with the surrounding environment and operating considerately, the childcare center will coexist harmoniously with neighboring properties, preserving their utility and enjoyment.
- III. The proposed use shall not adversely affect the health, safety, morals, or welfare of the persons residing or working in the neighborhood.
 - Pathways II Destiny childcare center will not adversely affect the community but will have positive impact on the neighborhood by fostering a healthy, safe, and morally uplifting environment. The center will maintain high standards of cleanliness and provide nutritious meals, ensuring the well-being of children and staff. Enhanced security measures and trained personnel will guarantee a safe environment. Additionally, by incorporating Christian values into its curriculum, the center will promote respect, kindness, and integrity, reinforcing the community's moral standards. Overall, the childcare center will support and enhance the neighborhood's health, safety, and moral fabric.
- IV. The proposed use shall be served adequately by public facilities and services such as, but not limited to roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools.
 - The proposed childcare center is in an area that has been and will continue to be adequately served by existing public facilities and services, ensuring seamless integration into the community. The location benefits from well-maintained roads, entry and exit points providing easy access for families and staff, while police and fire protection services are readily available to ensure safety and security. Overall, the

- i. *No Zoning permit or conditional use permit for a childcare center shall be issued for a lot that is within one hundred fifty feet (150ft) of any lot or parcel with an approved gasoline station use, or which is likely to generate noxious fumes or vapor*
 - The lot located at 1371 Brice Rd. Reynoldsburg, OH 43068 does not have a gas station within 150 ft.
- ii. *All outdoor play areas shall meet the minimum requirements outlined by the State agency with oversight of childcare centers. No play area shall be located adjacent to a loading space, loading dock or other area where vehicles are likely to idle. No play area shall be constructed in a manner that allows children access to any electrical or telecommunications box/vault*
 - The proposed childcare center's outdoor play areas meet all minimum requirements outlined by the State agency overseeing childcare centers. The play area is not located near loading docks, or any other areas where vehicles might idle, ensuring children's safety from vehicular hazards. Additionally, the play areas do not have access to any electrical or telecommunications boxes or vaults, maintaining a secure and child-friendly environment that adheres to all relevant safety regulations.
- iii. *No childcare center shall be permitted to operate between the hours of 7:00pm and 6:00am the following morning unless specifically approved by the Planning and Zoning Administrator or the Planning and Zoning Board*
 - Pathways II Destiny Childcare Center hours are 6:30am – 6:00pm so we in compliance with the supplementary use condition.

JUL - 9 2024









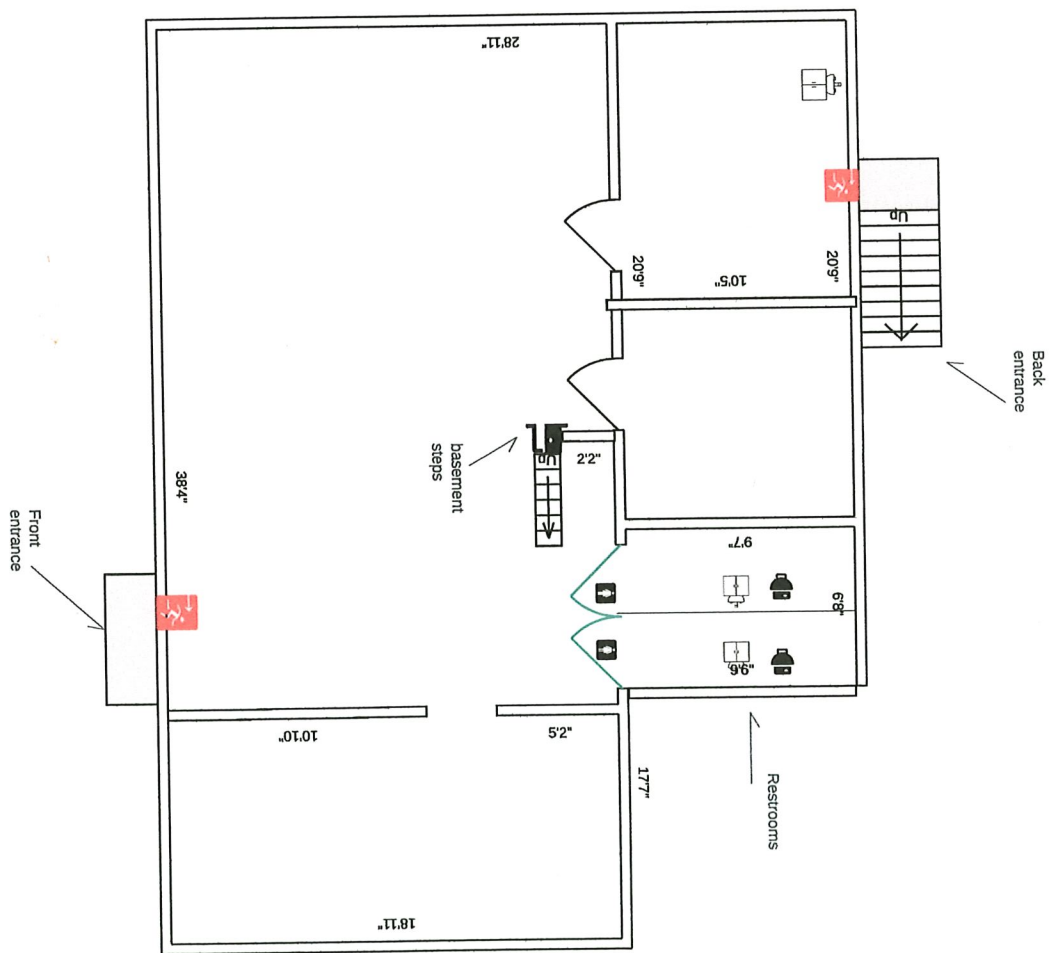






Exhibit H



Marie Meeks

From: Lieutenant Schmidt <LTSchmidt@trurotwp.org>
Sent: Wednesday, July 17, 2024 8:11 AM
To: Marie Meeks
Subject: Re: 1371 Brice Rd - Conditional Use Application

[NOTICE: This email originated outside of the City of Reynoldsburg.]

Ms. Meeks,

Good morning.

We don't have any comments regarding this application at this time.

Thanks,

Lieutenant Theo Schmidt, BS
Fire Prevention
Truro Township Fire Department
6305 E. Livingston Ave.
Reynoldsburg, Oh 43068
614-729-1921 (Office)
614-419-0188 (Cell)



"Our Community, Our Commitment"

From: Marie Meeks <mmeeks@reynoldsburg.gov>
Sent: Tuesday, July 16, 2024 8:53 AM
To: Lieutenant Schmidt <LTSchmidt@trurotwp.org>
Cc: Eric Meyer <emeyer@reynoldsburg.gov>; Melissa Butler <MButler@reynoldsburg.gov>
Subject: 1371 Brice Rd - Conditional Use Application

Hi Lt Schmidt,

I have attached a Conditional Use Application for 1371 Brice Rd. Please let me know if the Fire Department has any comments about this application by July 22nd.

If you have any questions please feel free to reach out. Thank you for your help!

Sincerely,

Marie Meeks

DEPARTMENT OF DEVELOPMENT

Planner I

—

City of Reynoldsburg

7232 East Main Street | Reynoldsburg, OH 43068

Zoning: 614-322-6850 | **Direct:** 614-322-6800 – ext. 6720

www.reynoldsburg.gov

Marie Meeks

From: Mark Riley
Sent: Thursday, July 18, 2024 2:44 PM
To: Marie Meeks
Cc: Eric Meyer; Melissa Butler
Subject: RE: 1371 Brice Rd - Conditional Use Application

Hi Marie,

Public Service has no comments for the Conditional Use at 1371 Brice Road.

Kind regards,

Mark A. Riley
Public Service Manager

City of Reynoldsburg
7232 East Main Street | Reynoldsburg, OH 43068
T 614-322-6887 | **F** 614-322-6830
www.reynoldsburg.gov

mriley@reynoldsburg.gov

From: Marie Meeks <mmeeks@reynoldsburg.gov>
Sent: Tuesday, July 16, 2024 8:58 AM
To: Mark Riley <mriley@reynoldsburg.gov>
Cc: Eric Meyer <emeyer@reynoldsburg.gov>; Melissa Butler <MButler@reynoldsburg.gov>
Subject: 1371 Brice Rd - Conditional Use Application

Hi Mark,

I have attached a Conditional Use Application for 1371 Brice Rd. Please let me know if the Public Service Department has any comments about this application by July 22nd.

If you have any questions please feel free to reach out. Thank you for your help!

Sincerely,

Marie Meeks
DEPARTMENT OF DEVELOPMENT
Planner I

—

City of Reynoldsburg
7232 East Main Street | Reynoldsburg, OH 43068
Zoning: 614-322-6850 | **Direct:** 614-322-6800 – ext. 6720

www.reynoldsburg.gov

PLANNING AND ZONING BOARD VARIANCE AND CONDITIONAL USE APPLICATION

☐ Paid: _____

Property Address: 2353 TAYLOR PARK DRIVE	Parcel ID#(s): 0450378930
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I. PROPERTY OWNER OF RECORD

Property Owner Name(s): SHRI RAM PARTNERSHIP LLC	
Contact Email: Dipen.g.patel@gmail.com	Contact Phone Number: 240-876-0929

II. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Unique Gahana Ghar	Contact Name: Megh Bhattarai
Contact Email: Mb_yaba@yahoo.com	Contact Phone Number: 614-477-7757
Description of Use: Gift Shop	

III. APPLICANT INFORMATION

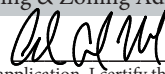
Applicant Name: ARSALAAN ABDUL-MALIK (NO ZERO CORP.)	Applicant Address: 5870 CLEVELAND AVENUE, COLUMBUS OH
Applicant Phone Number: 614-260-2612	Applicant Email: Nozerocorp@gmail.com
☐ Property Owner ☐ Business Owner/Tenant ☒ Contractor ☐ Architect/Engineer ☐ Owner's Consent Attached.	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE: ☒ Variance ☐ Conditional Use ☐ Variance or Conditional Use Extension (\$50)

☐ Residential (single-family residential only)(\$200) ☒ Non-Residential (all residential except single-family residential)(\$450) ☐ Engineering Report (\$750 [min.])

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature:  Date: **07/01/2024**

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information Zoning District: _____ ☐ Major/Minor Site Plan ☐ Olde Reynoldsburg District ☐ Other: _____	Additional Approval Required ☐ Approved as Submitted ☐ Approved w/ Conditions ☐ Tabled ☐ Denied	PZB Meeting Date: _____
P&Z Administrator: _____ Date: _____		

STATEMENT OF HARDSHIP

Property Address: 2353 Taylor Park Drive, Reynoldsburg OH 43068

Parcel ID: 0450378930

Property Owner: Shri Ram Partnership LLC
219 Tabor Avenue
Linwood NJ 08221

Main Contact Info: Arsalaan Abdul-Malik
No Zero Corp.
5870 Cleveland Avenue
Columbus OH
Tel: 614 260 2612
Email: Nozerocorp@gmail.com

The property is on an 8.05 acre commercial parcel zoned for discount and JR Department stores. There are currently about four tenants occupying some of the units in the development and include Morris furniture (30,437 sq ft), Staples (20,388 sq ft), Davita (4,967 sq ft) and Violet Township (2,120 sq ft). All share the available car parking spots totaling 255 spaces.

With proposed addition of a new Jewelry shop, the parking ratio requires an additional 40 parking spots to meet the parking count requirement as per 1105.01(a). The limited acreage of the existing site means that there are no possible spaces available to create additional parking spaces.

As a result, a variance is being sort to allow the use of the existing parking total and discount the requirement for an additional 40 parking spots.

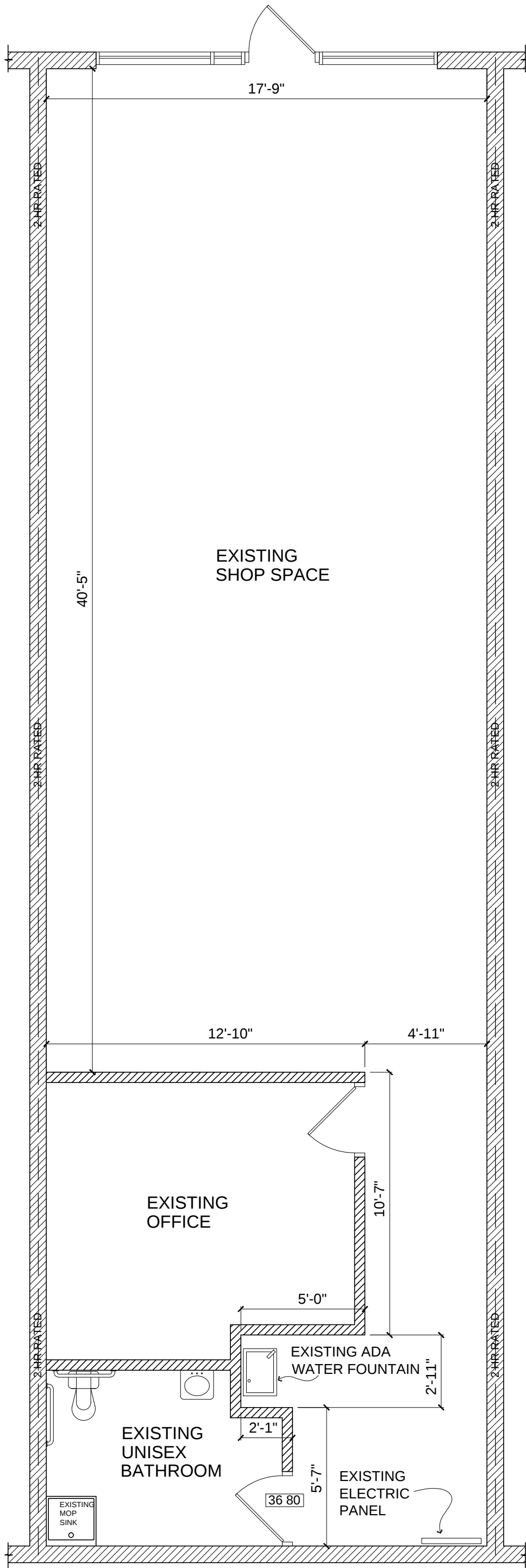
In compliance with section 1109.11D, the proposed variance, thus:

1. Does not impede nor is it injurious or detrimental to the public welfare.
2. Does not change the existing permitted use and zoning classification of property
3. Accommodating an additional 40 parking spaces will compromise the existing setback, easements, green spaces and the existing site plan compliance
4. The hardship is as a result of modifications of the zoning code after the subject property was approved and built when it was in compliance of the previous code.
5. The variance allows the new tenant to operate within the existing available parking counts which is generally used approximately 50% less than the intended full capacity.
6. The variance allows the site to remain as is without affecting existing supply of light and air to adjacent properties. It will not affect the traffic in the vicinity nor create any danger of fire or public safety or affect the property values of the subject property and adjacent areas.
7. The variance does not confer any special privileges to the property owner
8. The variance conforms with the existing zoning requirements of the subject property
9. The variance is crucial and the only option available to obtain the zoning and building permit approval for the new jewelry shop.

The variance will allow the jewelry shop to proceed as part of developing the business activities in the area and compliments the drive to encourage more new businesses into the city of Reynoldsburg.

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1 EXISTING FLOOR PLAN
1/4" = 1'-0"

FOR LANDLORD'S REVIEW ONLY

GENERAL CODE REQUIREMENTS

- 1 All work shall conform to the most recent edition of the Ohio building code. It is the responsibility of the contractor and sub-contractor to comply with the appropriate section of Ohio building code during each phase of the work.
- 2 These drawings are not intended to be complete and in full detail. Where detail or information is not provided, contractor and sub-contractor shall use conventional accepted practice. Conditions requiring non-conventional detailing or additional information shall be brought to the owner's attention.
- 3 The Contractor and Sub-contractor shall carefully study the drawings and contract documents and shall at once report to the owner any inconsistencies, errors and omissions discovered. If the contractor performs any construction activity knowing it involves a recognized error, inconsistency or omission in the contract documents without such notice to the Architect or owner, the contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the costs for correction.

4 The Contractor is responsible for verifying all existing conditions and dimensions prior to commencement of work. The Contractor shall inform the owner of any discrepancies between existing conditions and the contract documents. Discrepancies between existing conditions and the contract documents which results to any relocation will, not be cause for additional payment.

5 The Contractor shall secure all necessary permits and inspections.

6 Verify underground utilities and conditions with the owner and proper authority. Call 1-800-362-2764, 3 days before digging.

7 Do not scale drawings. Written dimensions shall control all locations. All dimensions are to face of rough framing or face of block or face of sheathing or exterior wall (unless noted otherwise).

8 Contractor shall coordinate pre-wiring of any owner supplied cable TV, phone, security and intercom system.

9 Contractor shall keep the job site neat and orderly, removing scrap material daily and shall clean site and the work thoroughly upon completion.

10 Site boundary lines, boundary dimensions, boundary declinations and existing grades are based upon the site survey which is provided by the owner for reference only. The Contractor shall be deemed to have inspected the site and satisfied himself as to actual grades, levels, dimensions, and declinations and the true conditions under which the work is to be performed.

INDEX LIST

- A001 EXISTING PLANS
A100 PROPOSED PLANS
A110 ELECTRICAL PLAN

ZONING AND CODE INFORMATION

PARCEL NUMBER: 0450378930
ZONING CLASS / LAND USE: C - COMMERCIAL
SIZE OF SITE: 8.05 ACRES
LEGAL DESCRIPTION: 2365 TAYLOR PARK DR. REYNOLDSBURG OH 43068
EXISTING USE GROUP: 422 C-DIS. STORE, JR DEPT STORE
NEW USE GROUP: NO CHANGE
OCCUPANT LOAD: 18
BUILDING CODE USED: 2024 OBC
CONSTRUCTION CLASSIFICATION: 2 - B
SPRINKLER: NONE REQUIRED
NUMBER OF FLOORS: ONE
AREA OF SPACE: 1,056 SQ FT
AREA TO BE ALTERED: 1,056 SQ FT
AREA OF BUILDING: 67,724 SQ FT
PROPERTY CLASS: COMMERCIAL
TAX DISTRICT: REYNOLDSBURG
SCHOOL DISTRICT: PICKERINGTON LSD
NEIGHBORHOOD: 00740000



1 SITE PLAN
N.T.S.



VICINITY MAP



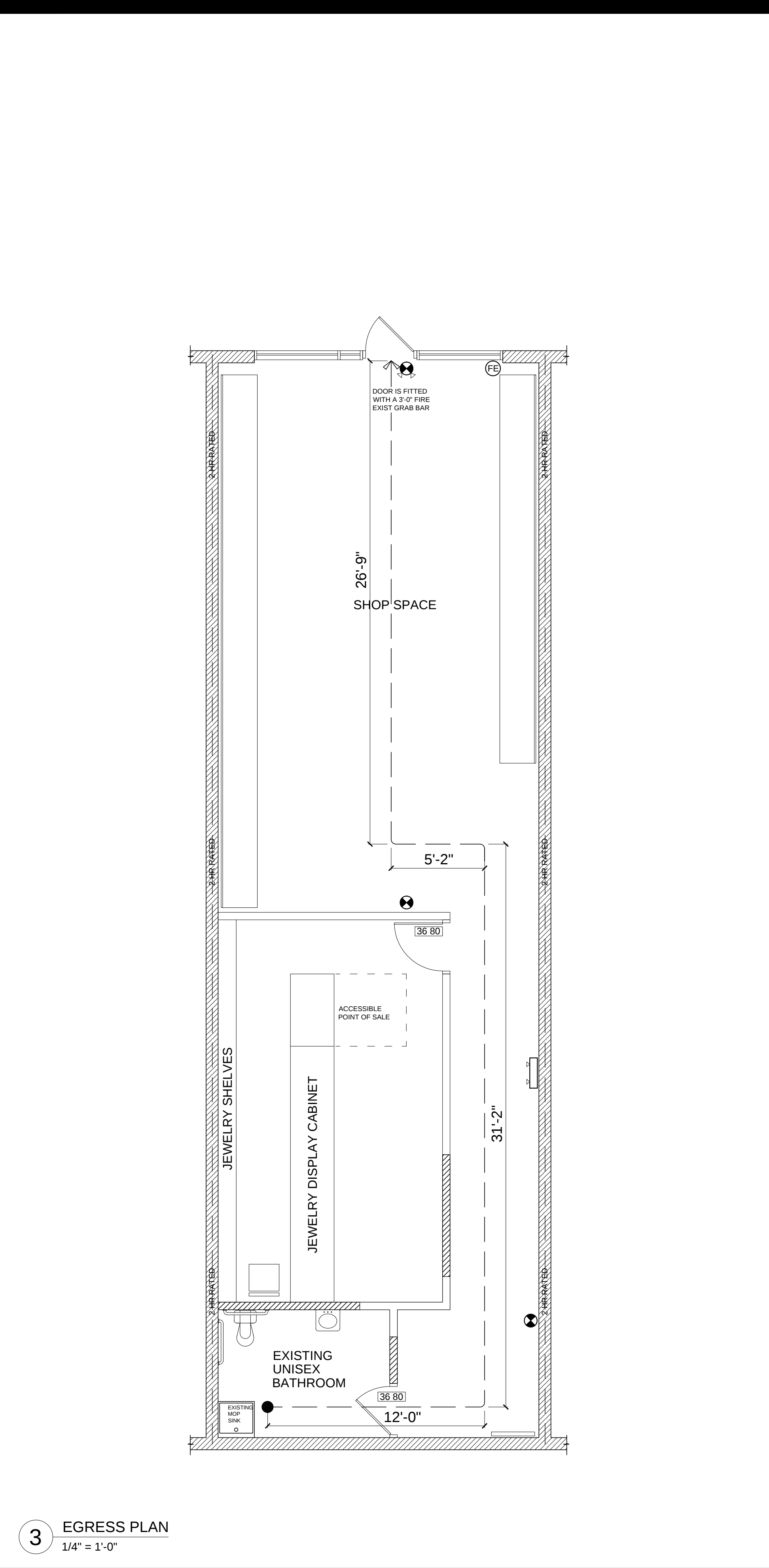
LOCATION MAP



Aurtec Designs

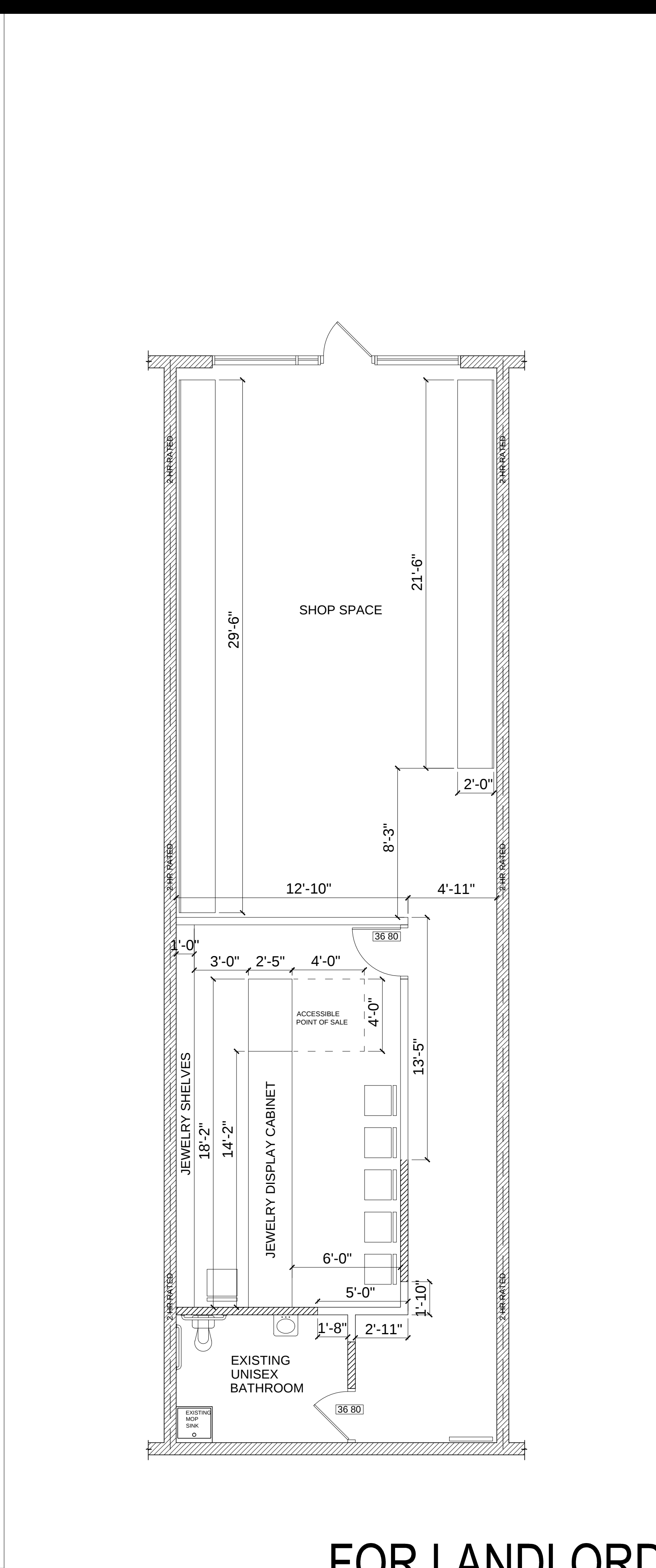
Design Consulting, Industrial Designers
39 East Main Street, New Albany, OH 43054, Phone: (614) 537 0261

PROJECT NAME 2353 Taylor Park Drive	PROJ # 1613	DRAWN BY UN
TITLE Existing Site and Coded Notes	DRAWING # A001	DATE 06-05-2024



3 EGRESS PLAN
1/4" = 1'-0"

EGRESS LEGEND	
	EXIT/ EMERGENCY LIGHT COMBO FIXTURE W/ MIN. 90 MINUTE BATTERY BACKUP
	EXIT LIGHT FIXTURE W/ MIN. 90 MINUTE BATTERY BACKUP
	WALL MOUNTED FIRE EXTINGUISHER
	EGRESS ROUTE
	EMERGENCY LIGHT FIXTURE W/MIN. 90 MINUTE BATTERY BACKUP

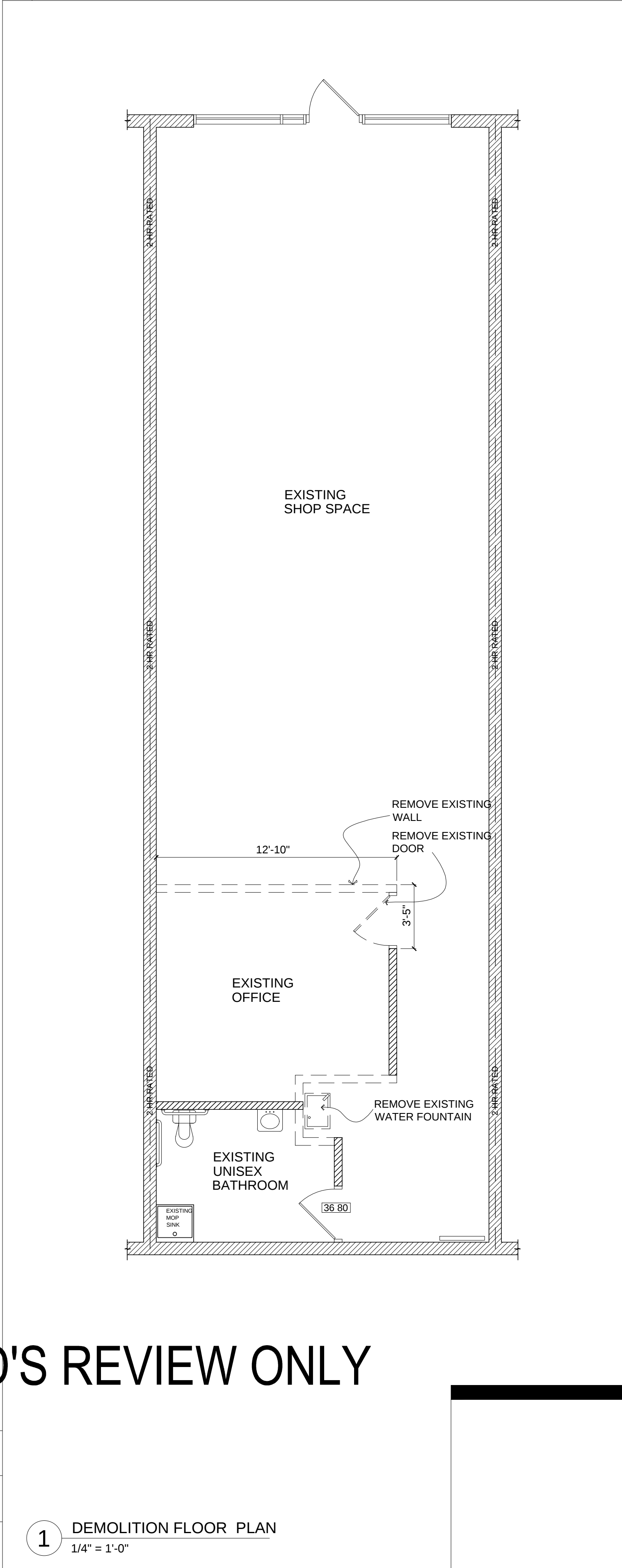


2 PROPOSED FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL
	NEW INTERIOR 3 5/8" METAL STUDS @ 16 c.c.

FOR LANDLORD'S REVIEW ONLY

DEMOLITION NOTES	
1	ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
2	THE GENERAL CONTRACTOR (GC) SHALL VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF WALLS, DOORS, FIXTURES AND ELECTRICAL ITEMS AS SHOWN IN CONSTRUCTION DOCUMENT OR AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
3	THOUGH NOTES INDICATE DEMOLITION WORK, THE SCOPE OF WORKS IS NOT CONFINED SOLELY TO THE DEMOLITION PLAN. GC SHALL REVIEW ALL CONSTRUCTION DOCUMENTS, INCLUSIVE OF SCHEDULES AND SPECIFICATIONS TO DETERMINE FULL EXTENT OF THE DEMOLITION WORK.



1 DEMOLITION FLOOR PLAN
1/4" = 1'-0"

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Aurtec Designs		
Design Consulting, Industrial Designers		
39 East Main Street, New Albany, OH 43054, Phone: (614) 537 0261		
PROJECT NAME	2353 Taylor Park Drive	DRAWN BY
		UN
TITLE	Floor Plan	DATE
		06-05-2024

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FURNISH LABOR MATERIAL AND EQUIPMENT TO COMPLETE ALL OF HIS WORK AND FURNISH A COMPLETED JOB. ALL IN ACCORDANCE WITH LOCAL, STATE GOVERNING AUTHORITIES, AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER HIS WORK AND WHICH IS OBVIOUSLY NECESSARY FOR A COMPLETE AND ADEQUATE JOB WHETHER SPECIFIED OR NOT.

2. ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL AND STATE CODES, ORDINANCES OR OTHER AGENCIES HAVING LAWFUL JURISDICTION OVER THE WORK AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (N.E.C.) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (N.F.P.A.)

3. LOCATION OF EQUIPMENT, FIXTURES, WIRING AND OTHER ELECTRICAL WORK IS INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. ELECTRICAL CONTRACTOR SHALL DETERMINE EXACT LOCATIONS AND DIMENSIONS ON THE JOB. SUBJECT TO STRUCTURE CONDITIONS AND WORK OF THE OTHER SUBCONTRACTOR.

4. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS FOR ELECTRICAL EQUIPMENT. ALL LIGHTING FIXTURES SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR WITH LAMPS.

5. DRAWINGS INDICATE THE MINIMUM STANDARDS, BUT IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK. THE ELECTRICAL CONTRACTOR SHALL EXECUTE THE WORK CORRECTLY IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES OR REGULATIONS, WITHOUT INCREASE IN COST TO OWNER, ARCHITECT OR GENERAL CONTRACTOR.

6. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE DESIGN OF THE SYSTEM PRIOR TO CONSTRUCTION AND SHALL GUARANTEE THE SYSTEM TO FUNCTION PROPERLY.

7. ALL NEW CIRCUIT BREAKERS SHALL BE MINIMUM OF 20 AMPS AND MINIMUM WIRE USED SHALL BE NUMBER 12.

8. ALL NEW LIGHT SWITCHES SHALL BE INSTALLED AT 46" ABOVE FINISHED FLOOR (AFF) TO CENTERLINE. DUPLEX OUTLETS SHALL BE 18" (AFF). ELECTRICAL PANELS SHALL BE INSTALLED 48" TO TOP OF PANEL.

9. ALL NEW SWITCH PLATES, RECEPTACLE PLATES AND COVER PLATES SHALL BE MOUNTED PLUMB AND LEVEL.

10. QUICK WIRE DEVICES ARE NOT ACCEPTABLE.

11. CONTRACTOR TO VERIFY THE ACTUAL GROUND FAULT RATING OF ALL ELECTRICAL EQUIPMENT TO BE USED.

12. VERIFY ACTUAL TOTAL CONNECTED LOAD OF FIXTURES ON ALL LIGHTING CIRCUITS.

13. COORDINATE LIGHT FIXTURES LOCATIONS WITH ALL OTHER TRADES & OWNER.

14. CONTRACTOR SHALL MARK ALL CIRCUITS AT PANEL AND PROVIDE WRITTEN CIRCUIT DESCRIPTION AND ASSOCIATED CONNECTED LEAD WITH PROPERLY LABELING EACH DEVICE.

15. ALL WIRING BELOW GRADE, IN CONCRETE SLAB, MUST BE RUN IN CONDUIT AND BE RATED FOR WET AREAS

16. ALL WIRING TO BE RAN IN CONDUIT OR MC CABLE

17. GROUNDING OF ELECTRICAL SYSTEM SHALL BE ELECTRICALLY CONTINUOUS

18. EXIT/ EMERGENCY LIGHTING SHALL BE WIRED TO THE NEAREST AVAILABLE LIGHTING CIRCUIT. ALL UNITS SHALL HAVE BATTERY BACK UP.

19. METAL SIDING TO BE GROUNDED AT INTERVALS OF MAX 100' WITH #6 CU CONNECTED TO THE ELECTRICAL GROUNDING SYSTEM.

20. MAXIMUM AVAILABLE ARC FAULT CURRENT SHALL BE POSTED IN THE MAIN BREAKER PANEL

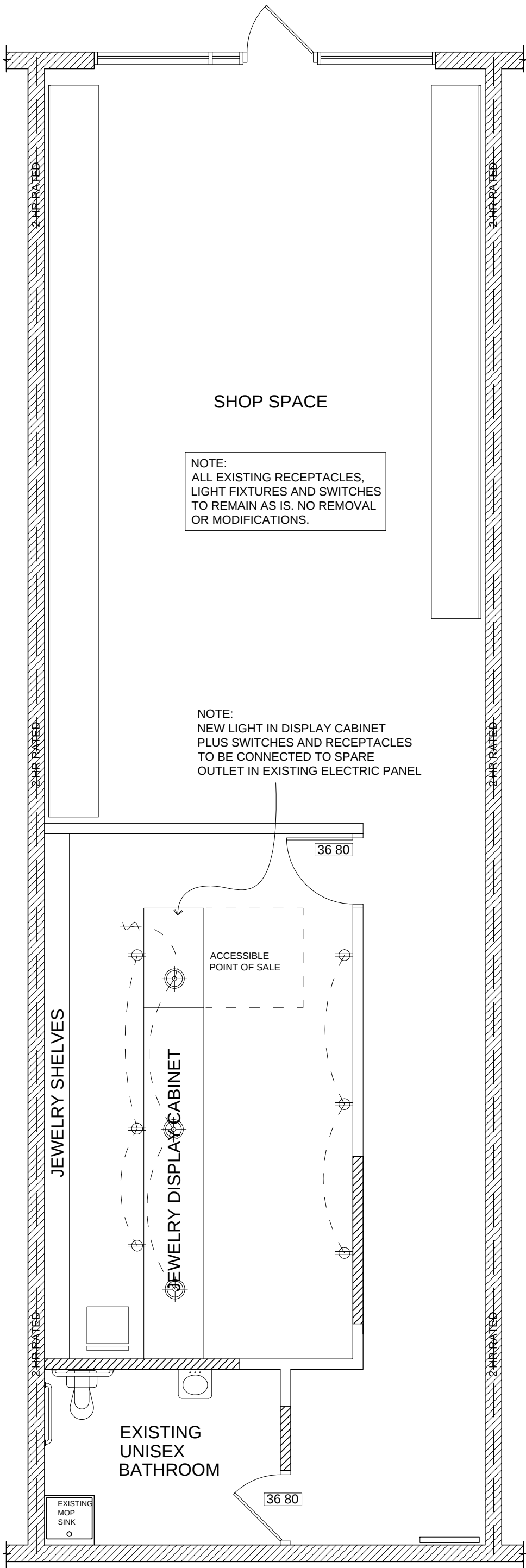
21. ALL ELECTRICAL WILL BE A MIN OF 18" ABOVE FINISHED FLOOR.

LEGEND

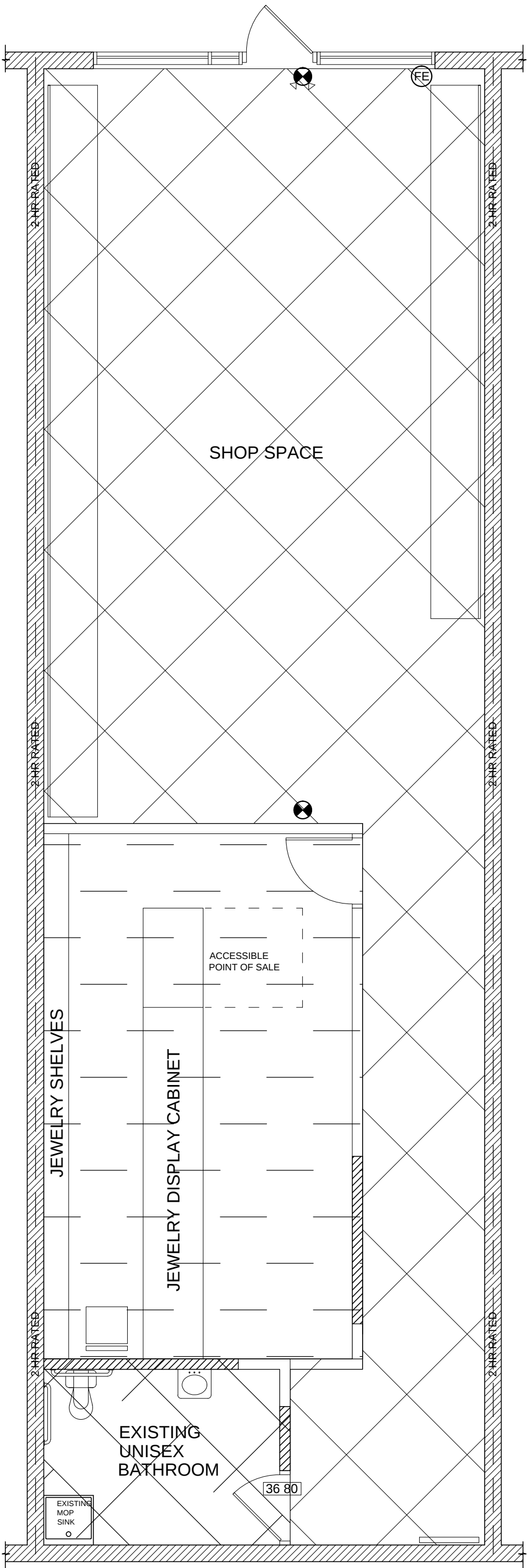
- 120V GFI DUPLEX OUTLET
- SINGLE SWITCH
- CEILING MOUNTED FAN/LIGHT COMBINATION UNIT
- AIR VENT

ELECTRICAL PANEL SCHEDULE

PANEL:		ONE PHASE MAIN				LOCATION:		EXISTING AT BACK WALL	
VOLTAGE:		120/208 V				MAIN CB:		200 AMP	
PHASE:		1				AIC RATING:			
NO.	DESCRIPTION	CB (A)	AWG	WATT.	WATT.	AWG	CB (A)	DESCRIPTION	NO.
1	RECEPTACLES	20	12					SPARE	2
3	RESTROOM	20	12					SPARE	4
5	RECEPTACLES	20	12					SPARE	6
7	RECEPTACLES	20	12					SPARE	8
9	RECEPTACLES	20	12			12	20	RECEPTACLES (GFCI)	10
11	SPARE					12	20	RECEPTACLES (GFCI)	12
13	SPARE					12	20	SPARE	14
15	SPARE					12	20	SPARE	16
17	SPARE					12	20	SPARE	18
19	SPARE							SPARE	20
21	LIGHTING	20	12					SPARE	22
23	LIGHTING	20	12					SPARE	24
25	LIGHTING	20	12					SPARE	26
27	SPARE	20	12					SPARE	28
29	SPARE							SPARE	30
31	SPARE							SPARE	32
33	SPARE							SPARE	34
35	SPARE							SPARE	36
37	SPARE							SPARE	38
39	SPARE							SPARE	40
41	SPARE							SPARE	42



2 OCCUPANCY LOAD PLAN
1/4" = 1'-0"



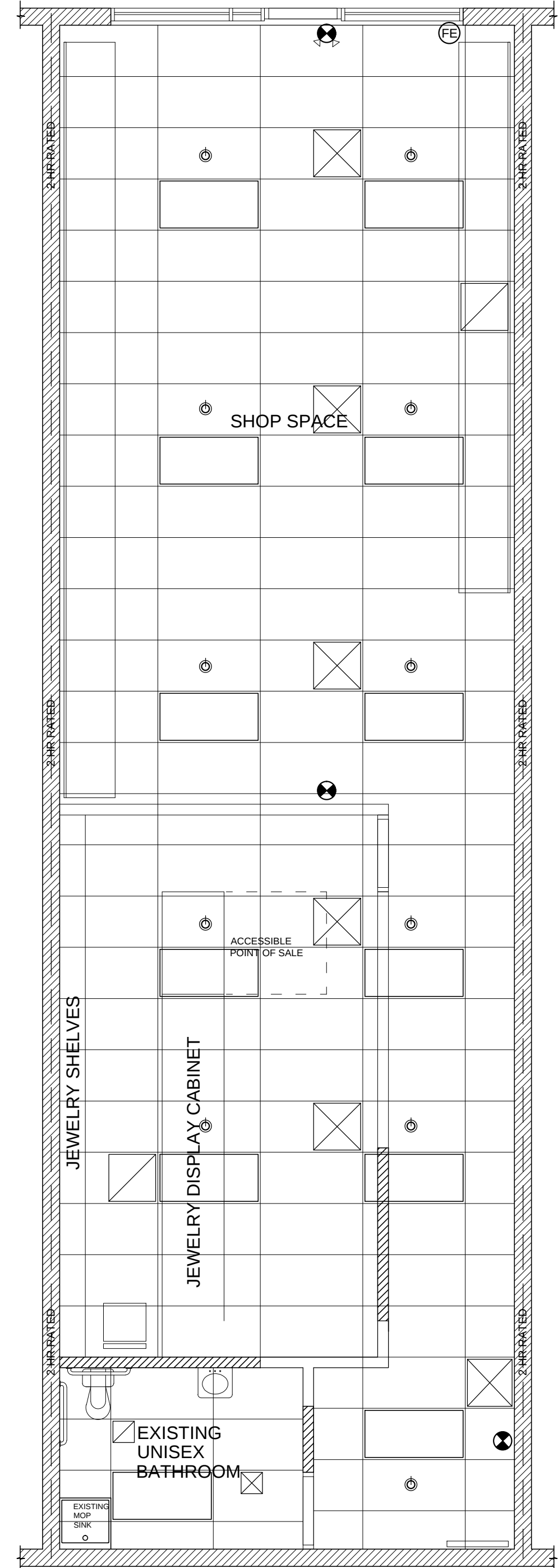
2 OCCUPANCY LOAD PLAN
1/4" = 1'-0"

LEGEND

- AREA = 713 SQ FT
LOAD FACTOR = 15
OCCUPANCY LOAD= 48
- AREA = 271 SQ FT
LOAD FACTOR = 100
OCCUPANCY LOAD= 3
- AREA = 70 SQ FT
LOAD FACTOR = 150
OCCUPANCY LOAD= 1

REFLECTED CEILING PLAN LEGEND

- RETURN AIR REGISTER
- SUPPLY AIR DIFFUSER
- 2 X 4 FLUORESCENT LIGHT
- 2 X 4 GRID SUSPENDED CEILING



1 REFLECTED CEILING PLAN
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Aurtec Designs

Design Consulting, Industrial Designers
39 East Main Street, New Albany, OH 43054, Phone: (614) 537 0261

PROJECT NAME	2353 Taylor Park Drive	PROJ #	1613	DRAWN BY	UN
TITLE	Floor Plan	DRAWING #	A101	DATE	06-05-2024

July 24, 2024

Mr. Eric Meyer
Development Director
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: 2535 Taylor Park Drive
Variance Application: Parking

Mr. Meyer:

Enclosed is our review of the application material for the above referenced plans.

1. Project Summary

- a. Located at 2535 Taylor Park Drive, the 8.05-acre lot is zoned CC Community Commercial District.
- b. The adjacent parcels to the north and west are Wesley Ridge retirement community and fitness and aquatic center and zoned RM Residential Medium District. To the south a creek tributary to Blacklick Creek and the adjacent parcel is the Target shopping center zoned CC Community Commercial District.
- c. The applicant is proposing to refit an existing retail tenant space for a new jewelry store tenant. The applicant has submitted a plan of the proposed interior tenant improvements.
- d. While the site currently has 255 existing parking spaces developed to meet the requirements of prior zoning code iterations, the current code requires more minimum parking than was previously required.
- e. The applicant is requesting a variance from zoning code section 1105.01 Table A, Required Parking Spaces, to permit a reduction of 40 spaces from the minimum required parking.
- f. The applicant's statement of hardship indicates that the additional required parking is a result of changes to the code during the life of the development that was originally code-compliant.
- g. The current version of the code, under which the variance is requested, is anticipated to be replaced by a 2024 updated code, under which the site would be compliant and no variance would be necessary.



2. Project Review

- a. The applicant is seeking a variance to Section 1105.01 Table A Required Parking Spaces, to permit a reduction of 40 spaces from the required minimum parking.
 - i. The proposed improvements do not change the footprint of the building. However, there are conflicting figures indicating the gross building area:

Source	Indicated Gross Building Area
2005 PGU	58,080 sq.ft.
Fairfield County Auditor	63,390 sq.ft.
Application architectural plan sheet A001, "Zoning and Code Information" table, "Area of Building"	67,724 sq.ft.
Application Statement of Hardship: sum of indicated tenant areas	58,968 sq.ft.
Google Earth: building area measured by review staff	59,612 sq.ft. (+/-)

For purposes of this review, the applicant's Statement of Hardship notes on tenant areas (58,968 sq.ft.) have been used for this analysis. The applicant should confirm the gross building area.

- ii. This site is spanning several variations of the city Zoning Code:
 1. At time of initial development, a 2005 PGU plan indicated that the minimum required parking was 1 space per 250 sq.ft. with 233 spaces, and that 270 spaces were provided. The applicant indicates that there are 255 existing spaces.
 2. In the current zoning code, the site is "Retail – Shopping Center – Outdoor" and requires a minimum of 1 space for each 200 square feet of floor area.
 3. In the forthcoming zoning code update, the site is "Commercial Center – Outdoor – Large" and requires a minimum of 1 space for each 450 square feet of floor area.
 4. Comparison of required parking:

Code Version	Required Parking Ratio	Minimum Required Spaces (for 58,968 sq.ft.)	Deviation from existing parking (255 spaces)
2005	1/250	236 spaces	+19 spaces
Current Code	1/200	295 spaces	-40 spaces
2024 Code Update (anticipated)	1/450	132 spaces	+123 spaces



- iii. The applicant states that currently only about half of the existing 255 spaces area used.
- iv. The site is currently built-out as designed in the 2005 development plan. Areas on the site that could potentially support the construction of additional parking spaces is very limited and still would not meet the current required minimum, and based on the observed parking demand and anticipated code adjustments would be unnecessary.
- v. Approval of the variance would allow the tenant improvements to proceed without constructing additional parking beyond what currently exists. Assuming the 2024 Code Update is adopted, the site will be in compliance with the new code.
- vi. The proposed application appears meet the provisions as specified in 110913.D.

3. Zoning Recommendation

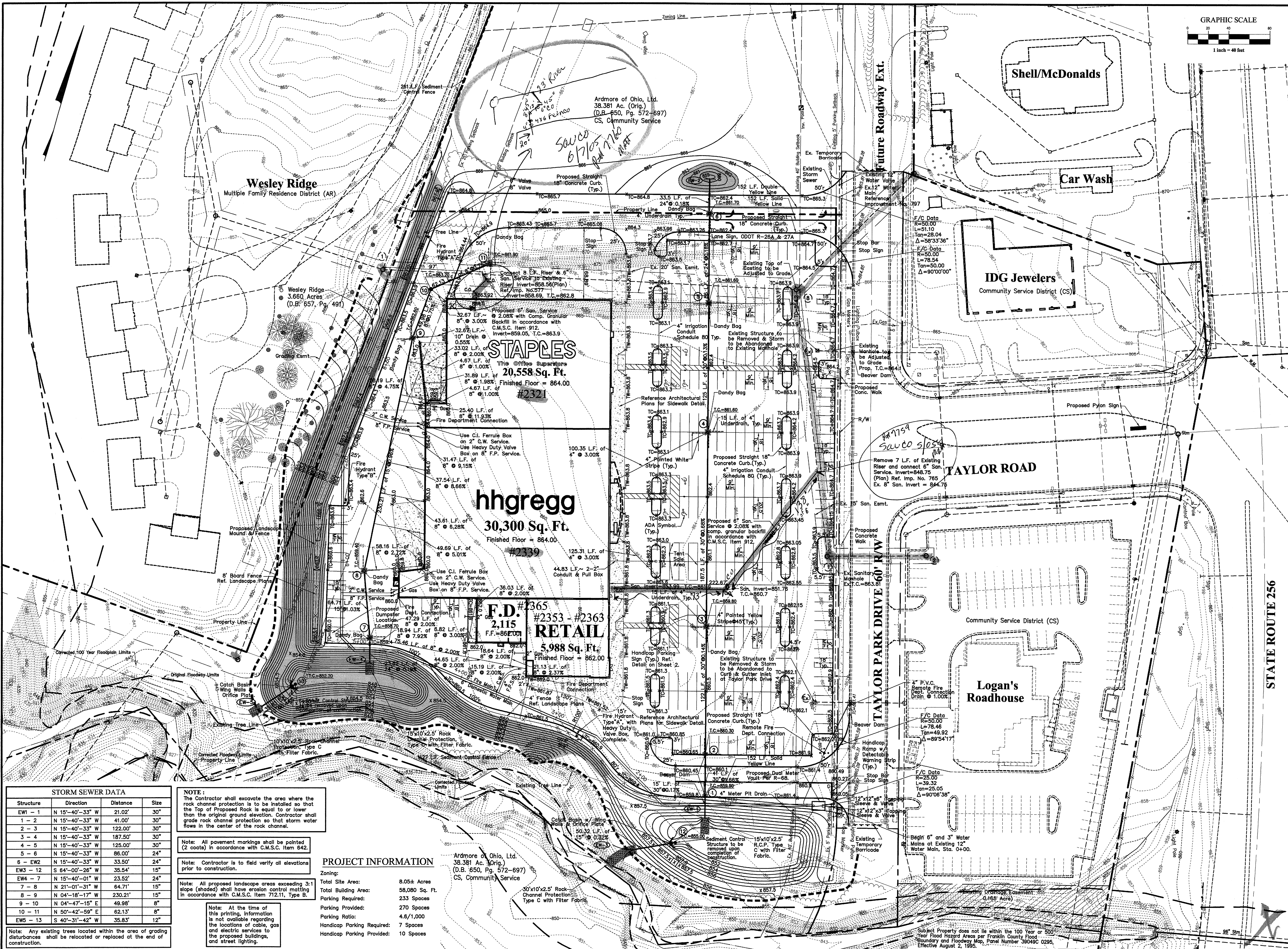
- a. We recommend approval of the variance request with the following condition:
 - a. That the gross building area be confirmed and coordinated across the application exhibits, and within the calculation for minimum required parking and the amount of variance.

If you have any questions or comment, please feel free to contact us.

Very truly yours,

Rick Fay, PLA, ASLA
Landscape Architect

COMBINED TAYLOR PARK RETAIL CENTER AND STAPLES DEVELOPMENT - 3 SHEETS - 168682, 168683, 168684 - PLOTTED BY: EFW/ELSON - THURSDAY, MAR 2 2005 - 2:56:47 AM



STORM SEWER DATA

Structure	Direction	Distance	Size
EW1 - 1	N 15°-40'-33" W	21.02'	30"
1 - 2	N 15°-40'-33" W	41.00'	30"
2 - 3	N 15°-40'-33" W	122.00'	30"
3 - 4	N 15°-40'-33" W	187.50'	30"
4 - 5	N 15°-40'-33" W	125.00'	30"
5 - 6	N 15°-40'-33" W	86.00'	24"
6 - EW2	N 15°-40'-33" W	33.50'	24"
EW3 - 12	S 64°-00'-26" W	35.54'	15"
EW4 - 7	N 15°-40'-01" W	23.52'	24"
7 - 8	N 21°-01'-31" W	64.71'	15"
8 - 9	N 04°-18'-17" E	230.21'	15"
9 - 10	N 04°-47'-15" E	49.98'	8"
10 - 11	N 50°-42'-59" E	62.13'	8"
EW5 - 13	S 40°-31'-42" W	35.83'	12"

NOTE:

The Contractor shall excavate the area where the rock channel protection is to be installed so that the top of Proposed Rock is equal to or lower than the original ground elevation. Contractor shall grade rock channel protection so that storm water flows in the center of the rock channel.

Note: All pavement markings shall be painted (2 coats) in accordance with C.M.S.C. Item 642.

Note: Contractor is to field verify all elevations prior to construction.

Note: All proposed landscape areas exceeding 3:1 slope (shaded) shall have erosion control matting in accordance with C.M.S.C. Item 712.11, Type B.

Note: At the time of this printing, information is not available regarding the locations of cable, gas and electric services to the proposed buildings, and street lighting.

PROJECT INFORMATION

Zoning: 8.05± Acres
Total Site Area: 58,080 Sq. Ft.
Parking Required: 233 Spaces
Parking Provided: 270 Spaces
Parking Ratio: 4.6/1,000
Handicap Parking Required: 7 Spaces
Handicap Parking Provided: 10 Spaces

Ardmore of Ohio, Ltd.
38.381 Ac. (Orig.)
(D.B. 650, Pg. 572-697)
CS, Community Service

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Marie Meeks

From: Joe Magerko <joe.magerko@violet.oh.us>
Sent: Tuesday, July 16, 2024 3:05 PM
To: Marie Meeks
Cc: Eric Meyer; Melissa Butler
Subject: RE: 2353 Taylor Park Dr - Parking Variance

[NOTICE: This email originated outside of the City of Reynoldsburg.]

Marie,

We do not have any objections to this variance.

Respectfully!

Joe Magerko Fire Safety Inspector

Violet Township Fire Department
8700 Refugee Rd.
Pickerington Oh, 43147
Office: 614-382-5922
Mobile: 614-565-3225

From: Marie Meeks <mmeeks@reynoldsburg.gov>
Sent: Tuesday, July 16, 2024 9:14 AM
To: Joe Magerko <joe.magerko@violet.oh.us>
Cc: Eric Meyer <emeyer@reynoldsburg.gov>; Melissa Butler <MButler@reynoldsburg.gov>
Subject: 2353 Taylor Park Dr - Parking Variance

Good Morning,

Melissa gave me your contact information and I was informed that you are the best contact to speak with regarding questions for the Violet Township Fire Department.

I have attached a Parking Variance Application for 2353 Taylor Park Dr. Please let me know if the Violet Township Fire Department has any comments about this application by July 22nd.

If you have any questions please feel free to reach out. Thank you for your help!

Sincerely,

Marie Meeks
DEPARTMENT OF DEVELOPMENT
Planner 1

—
City of Reynoldsburg
7232 East Main Street | Reynoldsburg, OH 43068
Zoning: 614-322-6850 | **Direct:** 614-322-6800 – ext. 6720

Marie Meeks

From: Mark Riley
Sent: Thursday, July 18, 2024 2:48 PM
To: Marie Meeks
Cc: Eric Meyer; Melissa Butler
Subject: RE: 2353 Taylor Park Dr

Hi Marie,

Public Service has no issues with the parking variance.

Kind regards,
Mark

From: Marie Meeks <mmeeks@reynoldsburg.gov>
Sent: Tuesday, July 16, 2024 9:01 AM
To: Mark Riley <mriley@reynoldsburg.gov>
Cc: Eric Meyer <emeyer@reynoldsburg.gov>; Melissa Butler <MButler@reynoldsburg.gov>
Subject: 2353 Taylor Park Dr

Hi Mark,

I have attached a Parking Variance Application for 2353 Taylor Park Dr. Please let me know if the Public Service Department has any comments about this application by July 22nd.

If you have any questions please feel free to reach out. Thank you for your help!

Sincerely,

Marie Meeks
DEPARTMENT OF DEVELOPMENT
Planner I

—

City of Reynoldsburg
7232 East Main Street | Reynoldsburg, OH 43068
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www.reynoldsburg.gov