



**MINUTES REGULAR MEETING
REYNOLDSBURG PLANNING & ZONING BOARD
November 6, 2025**

CALL TO ORDER

ROLL CALL

PRESENT: Alabi, Benner, Bruska, Kleckley, Ward, Barnhart, Furst
ABSENT:

APPROVAL OF MINUTES

Planning & Zoning Board - Regular Meeting - 10/02/2025

Minutes stand approved.

APPROVAL OF AGENDA

Agenda stands approved.

SWEARING IN OF SPEAKERS

None.

PUBLIC COMMENT

None.

UNFINISHED BUSINESS

NEW BUSINESS

An Ordinance to Amend Chapter Eleven — Planning and Zoning Code for the City of Reynoldsburg

The Reynoldsburg Planning and Zoning Board discussed proposed changes to the city's zoning code.

The key proposed changes include:

- Allowing a zero side foot setback for accessory structures, balconies, porches, etc. in attached single-family dwellings.
- adding "food service - commercial kitchen" as a permitted land use in the ORD-C, EMD, BMD, and CC zoning districts.
- providing an exemption to the maximum front building setback in the EMD and BMD districts if the building is located in a municipal landscape easement.
- reducing the minimum lot width and length requirements for attached single-family dwellings.
- adding "retail - extra-large format" and "shopping center - enclosed" as permitted land uses in the community commercial (CC) district.
- adding "retail vape shop/smoke shop" as a conditional land use in the CC district, with additional supplemental use conditions.
- reducing the rear building setback in the CC district from 20 feet to 10 feet.
- reducing the minimum lot width in the Innovation district from 200 feet to 80 feet.
- adding requirements for EV charging stations in new developments with 20 or more parking spaces.
- revising parking standards for various land uses.
- adding additional wall sign provisions for larger retail buildings.
- adding standards for temporary storage containers on construction sites.
- updating the nonconformity section of the zoning code.

The board discussed and provided feedback on several of the proposed changes, particularly around the sign regulations for large retail buildings.

OTHER BUSINESS

ADJOURNMENT

Planning and Zoning Administrator

Chairman

**MINUTES REGULAR MEETING
REYNOLDSBURG PLANNING & ZONING BOARD
November 20, 2025**

CALL TO ORDER

ROLL CALL

PRESENT: Alabi, Barnhart, Benner, Kleckley, Ward, Furst

ABSENT: Brusk

APPROVAL OF AGENDA

Staff proposed a revised agenda with no new business items, as the appeal on the original agenda was resolved administratively before the meeting.

Mr. Furst moved to approve the revised agenda.

Ms. Kleckley seconded.

RESULT:	6-0
MOVER:	Furst
SECONDER:	Kleckley
AYES:	Alabi, Barnhart, Benner, Ward, Kleckley, Furst

SWEARING IN OF SPEAKERS

None.

PUBLIC COMMENT

None.

UNFINISHED BUSINESS

An Ordinance to Amend Chapter Eleven — Planning and Zoning Code for the City of Reynoldsburg

Ms. Bauthier explained to the Board that staff caught some minor changes that

needed to be made to the zoning since the last meeting. She also stated that staff took the Board's recommendations from last meeting and made the changes. Those changes included:

- Removed the proposed sign regulations for larger retail establishments.
- Revised the language around nonconforming signs.
- Adjusted the commercial design standards, including reducing the required window transparency percentage and clarifying permitted roof forms.
- Allowed the use of temporary storage containers on construction/renovation sites, with restrictions on size and duration.
- Made various other formatting, transcription, and technical corrections throughout the code.

Mr. Furst made the motion to return the code to council with a recommendation for passage.

Ms. Alabi seconded.

RESULT:	6-0
MOVER:	Furst
SECONDER:	Alabi
AYES:	Barnhart, Benner, Kleckley, Ward, Alabi, Furst

NEW BUSINESS

**App:# 2025-0552; 6309 E. Main Street; Rebecca J. Mott for Jacob Knoblauch;
Appeal**

Resolved administratively.

OTHER BUSINESS

ADJOURNMENT

Planning and Zoning Administrator

Chairman

November 14th, 2025

Planning and Zoning Board
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: Early Start Learning Academy, LLC; 8295 Taylor Road SW: Conditional Use Application

Planning and Zoning Board:

Below is the staff review of the above referenced Conditional Use Application.

1. Project Summary

- a. **Site Summary:** The subject site is located at 8295 Taylor Road SW, parcel ID 1302758800213. The parcel is 0.69 acres with one building on site that is 4,830 square feet. The subject site has been utilized as a daycare in the past. The subject site is zoned CC, Community Commercial.
- b. **Surrounding Zoning:** The surrounding zoning of the subject site consists of RM – Residential Medium to the North and East, OS – Open Space to the Southwest, RM – Residential Medium to the Northwest, and CC – Community Commercial to the South. The surrounding land uses consist of School – Primary to the southwest, Dwelling - Multi-Unit Building Complex to the east, north and northwest, and Commercial Center - Outdoor – Large to the south.
- c. **Applicant’s Request:** The applicant is requesting to use the subject tenant space use for a Child Day Care – Center, which is a conditional use for the CC, Community Commercial zoning district.
 - i. A Child Day Care - Center is defined as “Any place operated by a person, society, agency, corporation, institution, or any other group that is licensed by the state of Ohio wherein twelve (12) or more children under 17 years of age who are not related to the facility operator and whose parents or guardians are not residents in the same house and with such person, society, agency, corporation, or institution responsible for the control and care of children enrolled therein.”
 - ii. The applicant intends to operate a Daycare at the subject tenant space from 6:00am to 6:00pm, Monday through Friday. The applicant states that Early Start Learning Academy anticipates at capacity having around 70 enrolled children (depending on state licensing approval for the age-appropriate rooms) and 8 staff. They state that grocery and supply deliveries will be scheduled to take place between off peak hours of 12:00 noon to 3:00 pm. They state they have no plans to change the building, playground or parking lot at this time. They also state that they do not plan to provide transportation. The applicant states that there will be 18 parking spaces, 10 for visitors and 8 for staff. That the parcel is across the street from Taylor Road Elementary School, where child safety is already a focus for the community.

1. **Comprehensive Plan:** The 2018 Comprehensive Plan, upon which the current zoning code is based, states that the Community Commercial District is "...[I]ntended to serve residents of Reynoldsburg and the surrounding areas. With easy access to I-70 and I-270, the districts should promote businesses that rely on a larger geographic market area for their consumer base, along with offices and companies with a regionally-based workforce that can access the district from adjacent, heavily-traveled corridors."
2. **Project Review**
 - a. **Conditional Use Standards (i-viii):** Conditional Uses are required to meet the general standards found in Section 1109.13.D:
 - i. The proposed use shall be in harmony with the existing or intended character of the zone or district and nearby affected zones and districts and shall not change the essential character of the zones and districts;
 1. The applicant states the proposed use will only bring value to the area providing families with high quality child care in a growing area.
 2. Staff finds that the proposed use is in harmony with the existing character of the zone and will not change the essential character of the zone/district.
 - ii. The proposed use shall not adversely affect the use of adjacent property;
 1. The applicant states the proposed use will only bring value to the area providing families with high quality child care in a growing area.
 2. Staff finds that the proposed use will not adversely affect the use of adjacent properties.
 - iii. The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
 1. The applicant states that Early Start Learning Academy will not only provide families with care and education but this business will also bring employment to staff who have a desire to grow in the field of Early Childhood Education, where they can be employed where their own children attend with them.
 2. Staff finds that the proposed use will not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood.
 - iv. The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
 1. The applicant states as a state licensed child care center, they will participate in public subsidy programs, vouchers and grants that will allow them to provide high quality education while helping families not take on the full financial weight of tuition as they qualify for different county and state assistance programs. That as a part of Step Up to Qualify, they will also be partnering with local resources to help meet families' needs measured in an annual needs assessment. That they no not plan to offer transportation. That school age children attending for before/after or summer care

- will need to be transported by parents.
2. Staff finds that the site is served adequately.
- v. The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the zone or district;
1. The applicant states that they do not anticipate a traffic impact; the right-of-way will stay as it is. That they do not plan to offer transportation.
 2. Staff finds that that applicant will not impose a traffic impact upon the public right-of-way significantly different from the anticipated uses of the zoning district.
- vi. The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
1. The applicant states that they are in full cooperation with the zoning code and their land use plan is as follows: The parcel will host an Ohio licensed child care center that will participate in the state Step Up to Quality Rating program where they are holding the center to the highest standard of care and education for children ages 6 weeks to 12 years. That classrooms will be designated by age to provide developmentally appropriate state approved curriculum and assessment. That highly qualified staff will be employed to help children learn and succeed hitting developmentally appropriate milestones in a safe and positive, encouraging environment. That they parking lot will provide space for parents to park as they drop off and pick up their children. That parking will also be used by staff. That the outdoor playground area is the fenced area at the back part of the parcel. That the outdoor play area will be used by classes at their designated time for gross motor play through the day when weather permits. That they do not plan to offer transportation.
 2. Staff finds that the land use of Child Day Care - Center is a conditionally permitted land use and is in the general and specific objectives of the Zoning Code and Land Use Plan. That with a maximum of 8 staff members, the required parking of 10 parking spaces for visitors and the 8 required for the maximum number of staff, for a total of 18 parking spaces, meets the parking requirements.
- vii. The proposed use complies with the applicable specific provisions and standards of this Code;
1. Childcare Centers are required to meet the general standards found in Section 1105.13.H:
 - i. No zoning permit or conditional use permit for a childcare center shall be issued for a lot that is within one hundred fifty feet (150FT) of any lot or parcel with an approved gasoline station use, or which is likely to generate noxious



- fumes or vapor.
- a. The applicant states that this space is not within 150 feet of any lot or parcel with an approved gasoline use, fumes or vapors.
 - b. Staff finds that the proposed Child Day Care Center is not within 150ft of any lot or parcel with an approved gasoline station use.
- ii. All outdoor play areas shall meet the minimum requirements outlined by the State agency with oversight of childcare centers. No play area shall be located adjacent to a loading space, loading dock or other area where vehicles are likely to idle. No play area shall be constructed in a manner that allows children access to any electrical or telecommunications box/vault.
 - a. The applicant states that the outdoor play area is specifically in the rear of the parcel and is not next to any loading areas, spaces near traffic, or any idle vehicles, nor is it near any access to electric or telecommunications box/vault.
 - b. Staff finds the proposed playground area is not located adjacent to a loading space, nor do they appear to allow children to access an electrical box.
 - iii. No childcare center shall be permitted to operate between the hours of 7:00 p.m. and 6:00 a.m. the following morning unless specifically approved by the Planning and Zoning Administrator or the Planning and Zoning Board.
 - a. The applicant states the child care center hours are from 6:00 am to 6:00 pm.
 - b. Staff finds that all requirements of Section 1105.13.H have been met.
 - viii. The proposed use shall be found to meet the definition and intent of a use specifically listed as a conditional use in the zone or district in which the subject property is situated.
 1. The applicant states that they are in full cooperation with the zoning code and their land use plan is as follows: The parcel will host an Ohio licensed child care center that will participate in the state Step Up to Quality Rating program where they are holding the center to the highest standard of care and education for children ages 6 weeks to 12 years. That classrooms will be designated by age to provide developmentally appropriate state approved curriculum and assessment. That highly qualified staff will be employed to help children learn and succeed hitting developmentally appropriate milestones in a safe and positive, encouraging environment. That the parking lot will provide space for parents to park as they drop off and pick up their children. That parking will also be used by staff. That the outdoor playground

area is the fenced area at the back part of the parcel. That the outdoor play area will be used by classes at their designated time for gross motor play through the day when weather permits. That they do not plan to offer transportation.

2. Staff has determined that the intended land use of the site, is Child Day Care - Center. Based on the definition of Child Day Care - Center, which is found earlier in the staff report, the applicant meets this requirement.

3. Recommendation

- a. Due to the applicant meeting all required Conditional Use standards, along with the additional regulations in Section 1105.13.H, staff recommends approval of the Child Day Care –Center Conditional Use with the following conditions:
 - i. No more than 8 employees are to work at the daycare to comply with the parking standards for a Child Day Care – Center, which is 1 per employee based on largest staff shift plus 10 for visitors, given there are 18 parking spaces currently available.



Reynoldsburg

Building/Zoning Department
7232 East Main Street
Reynoldsburg, Ohio 43068

All submissions must include a physical and digital copy. The digital portion of the application can be submitted to the Building Department at: permit@reynoldsburg.gov

App./Case#: _____

Date Submitted: _____

*Please know that an application will not be processed until payment has been received.

Fee Amount: _____

PLANNING AND ZONING BOARD VARIANCE AND CONDITIONAL USE APPLICATION

Paid: _____

Property Address: 8295 Taylor Road SW Reynoldsburg OH 43068	Parcel ID#(s): 013-027588-00.213
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I. PROPERTY OWNER OF RECORD

Property Owner Name(s): ROBY CO LTD	
Contact Email: JEFF@ROBYCOMPANY.COM	Contact Phone Number: 614-791-0050

II. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: EARLY START LEARNING ACADEMY LLC	Contact Name: Shawna Davis
Contact Email: earlystartlearning.ohio@gmail.com	Contact Phone Number: 614-352-9035
Description of Use: Licensed Child Care Center	

III. APPLICANT INFORMATION

Applicant Name: Shawna Davis	Applicant Address: 6000 Timber Drive Columbus OH 43213
Applicant Phone Number: 614-352-9035	Applicant Email: slou50@gmail.com
<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Business Owner/Tenant <input type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer <input checked="" type="checkbox"/> Owner's Consent Attached.	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE: Variance Conditional Use Variance or Conditional Use Extension (\$50)
 Residential (single-family residential only)(\$200) Non-Residential (all residential except single-family residential)(\$450) Engineering Report (\$750 [min.]

Previous zoning expired; new tenant for same use as prior approved zoning for a Licensed Child Care Center. Tenant occupancy starts March 8, 2026. Due to Ohio Department of Youth and Children Licensing Application timing we hope to have Zoning approvals prior to February 1, 2026. We are submitting this now hoping to be on the December 4, 2025 meeting agenda.

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature: Shawna Davis Date: 11/11/2025
By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner.

OFFICE USE ONLY

Additional Notes:

Zoning Information	Additional Approval Required	PZB Meeting
Zoning District: _____	<input type="checkbox"/> Major/Minor Site Plan	Date: _____
<input type="checkbox"/> Olde Reynoldsburg District	<input type="checkbox"/> Other: _____	<input type="checkbox"/> Approved as Submitted
		<input type="checkbox"/> Approved w/ Conditions
		<input type="checkbox"/> Tabled
		<input type="checkbox"/> Denied
P&Z Administrator: _____		Date: _____

Section 1109.13 CONDITIONAL USES

Initiating a Conditional Use

A conditional use application shall be submitted to the Planning & Zoning Administrator at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning and Zoning Board. The Board meets on the first and third Thursday of each month (except December).

The Board may determine that additional studies or expert advice are necessary to evaluate a proposed Special Exception relative to the requirements of the Code. *See next page for more details.*

Along with a completed application form, please submit eleven (11) hardcopy packets of all required items. Please also submit one (1) electronic copy, a PDF or similar scan of the completed application and packet.

What information must be provided with a Conditional Use ?
An application for a Conditional Use shall be submitted using the attached form and shall include the following:

- Description of the existing use of the lot and of adjacent lots
- A statement of the conditional use for which the application is submitted.
- The application shall also include a description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts;
- A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping, and other relevant features;
- A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects;

- A narrative addressing each of the applicable criteria set forth in section 1109.13.D

Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations may be required. Such additional information may include, but shall not be limited to:

- Traffic impact analysis;
- Storm water impact analysis;
- Utility impact analysis.

How much will a Conditional Use cost?

The fee for a Conditional Use is two hundred dollars (\$200) for a residential conditional use, and four hundred and fifty dollars (\$450) for all other conditional requests.

What is the time frame for review of a Conditional Use Permit?

An application for a Conditional Use Permit will take approximately one to two months. The Planning and Zoning Administrator will review the application and determine if it warrants public review. If it is determined it needs public review, the application will then be placed on the next Planning and Board Meeting.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at 614-322-6829.

OR Visit our website at:

<http://www.reynoldsburg.gov>

Section 1109.13.D

STANDARDS FOR ALL CONDITIONAL USES

In review of a Conditional Use application, the Board shall consider whether the application is complete and whether it provides adequate evidence that the proposed special exception is consistent with the following standards:

- The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;
- The proposed use shall not adversely affect the use of adjacent property;
- The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;
- The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;
- The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;
- The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;
- The proposed use complies with the applicable specific provisions and standards of this Code;
- The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

In approving a Conditional Use, the Planning and Zoning Administrator or the PZB may impose such conditions as deemed necessary to protect the public welfare, preserve the purpose and intent of the Code. Such conditions may include:

- Locations, setbacks, and configurations of structures and of uses of interior and exterior spaces;
- Screening comprised of landscaping, walls, fencing or other materials or construction;
- Access points and traffic management provisions, including those impacting vehicular and pedestrian access and the locations and design of parking facilities;
- Noise control measures, including those regulating loudspeakers or irregular vehicular or equipment noise;
- Other features of construction, including but not limited to paving and parking, signs, and landscaping;
- Hours and method of operation
- Maintenance of the site, structures, landscaping;
- Means of controlling glare, vibration, odors, dust, smoke, hazardous materials, refuse matter, water-carried waste, and storm water; and
- A time limit for operation of the use.

Section 1109.11 VARIANCES

Initiating a Variance Request

A variance application shall be submitted to the Planning & Zoning Administrator at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning and Zoning Board. The Board meets on the first and third Thursday of each month (except December).

What information must be provided for a Variance?

A property owner seeking a Variance shall submit a written request for Variance on forms provided by the Planning & Zoning Administrator. Such request shall include the following:

- Name, address, and telephone number of the property owner(s) and owner's agent(s);
- Legal description, address, tax district and parcel number of the property;
- Description of the nature of the variance requested and a statement address each of the standards for variance in the Code (see section 1109.13);
- Statement of the hardship;
- Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

***Note: The application must be signed by the property owner for the property which pertains to the variance.*

- Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What is the time frame for a variance request? In general the application process takes 30-45 days. Once a variance application is submitted, it will be placed on the next PZB agenda. The PZB can hold the application but a decision must be reached by the Board within sixty (60) days.

Why might you request a Variance?

To allow development of property prohibited by current zoning if such development will not adversely affect the surrounding property or neighborhood and if the PZB is satisfied that it will alleviate some hardship or difficulty.

How much will a Variance cost?

The fee for a variance is two hundred dollars (\$200) for a residential variance, and four hundred and fifty dollars (\$450) for all other variance requests.

What are the next steps after a Variance approval?

The approved variance will need to be officially documented through the issuance of a zoning certificate or a zoning sign permit depending on the type of variance. Any action of the PZB granted a variance shall be valid for a period of 12 months.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at

614-322-6829.

OR Visit our website at:

<http://www.reynoldsburg.gov>

Section 1109.11.D STANDARDS FOR VARIANCE

No variance in the strict application of the provisions of this Code shall be granted unless the Board makes specific findings of fact, based on the evidence presented to it, which supports conclusions that the variance conforms to the following standards. Such findings shall be stated for the record and reported in the Board's minutes.

- The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)
- There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures.
- There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.
- There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
- The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
- The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
- No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
- The variance is not a matter of convenience when other remedies are available within the provisions of this Code.

Re: Consent for the Conditional Zoning Application

1 message

jeff robycompany.com <jeff@robycompany.com>
To: Shawna Streeter <slou50@gmail.com>

Thu, Nov 6, 2025 at 6:25 PM

Sure apply
Jeff Roby

> On Nov 6, 2025, at 5:45 PM, Shawna Streeter <slou50@gmail.com> wrote:

>

>

> Hi Jeff,

>

> So sorry to interrupt your trip.

>

> This conditional zoning application does has that there be written owner consent to apply. Could you please reply back to this email giving me permission to apply.

>

> Shawna Davis, Early Start Learning Academy LLC

>

> Thank you Jeff, and I hope you are enjoying yourself in Australia.

>

> Thank you so much!

>

> Shawna

8295 Taylor Road SW Reynoldsburg, Ohio 43068
Parcel # 013-027588-00.213

Conditional Uses - Application Page 2

Description of the existing use of the lot and of adjacent lots

This parcel has been a child care center since first being built in 1995. It was once a Story Time center and then a KinderCare. This parcel and its entirety will be used for a Ohio Licensed Child Care Center, Early Start Learning Academy LLC. The lease states we will take occupancy as tenants March 8, 2026. Children will be cared for by qualified staff on the property following state licensing rules. Parents will be bringing children and picking them up. Children will utilize the fenced in play area for outside gross motor play. The parcels to both the north and south do not have direct access to our property. To the south is a small business plaza with 2-3 small businesses and to the north is the back of an apartment complex - multi-family housing; Millstream Village.

A statement of the conditional use for which the application is submitted.

This application is being submitted as it is necessary since the previous licensed provider has not been in the space for some time while they are still under a lease with the owner. The existing certificate of occupancy and building permits have expired. We are not asking for any changes or exceptions for the use of the building as it has always been a child care center since 1995. We have no plans to change the building, playground or parking lot at this time. We do not plan to provide transportation.

The application shall also include a description of the activities proposed on the site, including the goods and services, hours of operation, anticipated number of employees, nature and volume of delivery activity, and other information which will enable the Board to understand the nature of the proposed use and its potential impacts;

Children ages 6 weeks through 12 years will be in the building between the hours of 6:00 AM to 6:00 PM, Monday through Friday. When at capacity we anticipate having around 70 enrolled children (depending on state licensing approval for the age appropriate rooms) and 8 staff. Grocery and supply deliveries will be scheduled to take place between off peak hours of 12:00 noon to 3:00 PM.

A plan of the proposed site and improvements showing the proposed location of all structures, parking and loading areas, streets and traffic accesses, open spaces, refuse and service areas, utilities, signs, yards, landscaping, and other relevant features;

No indoor or outdoor site changes are being made to the lot at this time. Parking allows for 18 total spaces. 10 for visitors and 8 for staff. This parcel is located directly across from Taylor Road Elementary School where child safety

is already a focus for the community. The main signage for the business will remain as it is; only changed to display our business name.

A narrative statement discussing the compatibility of the proposed use with the existing uses of adjacent lots including an evaluation of the effects on adjoining lots of such elements as traffic circulation, noise, glare, odor, fumes, vibration, and storm water, and any measures proposed to mitigate such effects;

For 30 years this parcel has been zoned for a licensed child care center. As a new tenant we do not foresee any impact on the adjacent lots. We are confident that a new business close to many housing development communities all along Taylor and growing areas of developing neighborhoods within a 10-15 mile radius of the location will provide child care for families in need. We could provide child care for families with children attending Taylor Road Elementary; should parents need care for younger siblings. Employees of the Victoria Secrets Co Warehouses, just west of Taylor, will possibly have children who need care. We foresee great positive effects this will have on the surrounding community.

A narrative addressing each of the applicable criteria set forth in section 1109.13.D

Such other information as the Board deems necessary to make a determination of the compliance of the proposed use with the applicable standards and regulations may be required. Such additional information may include, but shall not be limited to:

- Traffic impact analysis;
- Storm water impact analysis;
- Utility impact analysis.

As a new tenant operating the same type of business in this facility we do not foresee any new or increased impact to any of the aforementioned conditions (traffic, storm water, utilities). This child care center will not add any additional new load or demand to any of the above that has not been present the last 30 years as a licensed child care center has existed in this facility. The same demands on infrastructure that have existed the last 30 years will be the same ongoing demands. No additional load of any kind would need to be addressed.

Conditional Use Factors - Application Page 3

The proposed use shall be in harmony with the existing or intended character of the district and nearby affected districts and shall not change the essential character of the districts;

The proposed use shall not adversely affect the use of adjacent property;

The proposed will only bring value to the area providing families with high quality child care in a growing area.

The proposed use shall not adversely affect the health, safety, morals, or welfare of persons residing or working in the neighborhood;

Early Start Learning Academy will not only provide families with care and education but this business will also bring employment to staff who have a desire to grow in the field of Early Childhood Education; where they can be employed where their own children attend with them.

The proposed use shall be served adequately by public facilities and services such as, but not limited to, roads, police and fire protection, storm water facilities, water, sanitary sewer, and schools;

As a state licensed child care center we will participate in public subsidy programs, vouchers and grants that will allow us to provide high quality education while helping families not take on the full financial weight of tuition as they qualify for different county and state assistance programs. As a part of Step Up To Quality we will also be partnering with local resources to help meet families' needs measured in an annual needs assessment. We do not plan to offer transportation. School Age children attending for before/after or summer care will need to be transported by parents.

The proposed use shall not impose a traffic impact upon the public right-of-way significantly different from that anticipated from permitted uses of the district;

We do not anticipate a traffic impact; the right-of-way will stay as it is. We do not plan to offer transportation.

The proposed use shall be in accord with the general and specific objectives, and the purpose and intent of this Zoning Code and the Land Use Plan and any other plans and ordinances of the City;

The proposed use complies with the applicable specific provisions and standards of this Code;

The proposed use shall be found to meet the definition and intent of a use specifically listed as a special exception in the district in which it is proposed to be located, except as otherwise provided by this Zoning Code.

We are in full cooperation will zoning code and our Land Use Plan is as follows: The parcel will host an Ohio licensed child care center that will participate in the state Step Up to Quality Rating program where we are holding the center to the highest standard of care and education for children ages 6 weeks to 12 years. Classrooms will be designated by age to provide developmentally appropriate state approved curriculum and assessment. Highly qualified staff will be employed to help children learn and succeed hitting developmentally appropriate milestones in a safe and positive, encouraging environment. The parking lot will provide space for parents to park as they drop off and pick up their children. Parking will also be used by staff. The outdoor playground area is the fenced area at the back part of the parcel. The outdoor play area will be used by classes at their designated time for gross motor play through the day when weather permits. We do not plan to offer transportation.

Supplemental Use Standards for Day Care Centers

H. Childcare Centers. The following regulations shall apply to conditional use permits for childcare centers:

i. No zoning permit or conditional use permit for a childcare center shall be issued for a lot that is within one hundred fifty feet (150FT) of any lot or parcel with an approved gasoline station use, or which is likely to generate noxious fumes or vapor.

This space is not within 150FT of any lot or parcel with an approved gasoline use, fumes or vapors.

ii. All outdoor play areas shall meet the minimum requirements outlined by the State agency with oversight of childcare centers. No play area shall be located adjacent to a loading space, loading dock or other area where vehicles are likely to idle. No play area shall be constructed in a manner that allows children access to any electrical or telecommunications box/vault.

The outdoor play area is specifically in the rear of the parcel and is not next to any loading areas, spaces near traffic or any idle vehicles, nor is it near any access to electric or telecommunications box/vault.

iii. No childcare center shall be permitted to operate between the hours of 7:00 p.m. and 6:00 a.m. the following morning unless specifically approved by the Planning and Zoning Administrator or the Planning and Zoning Board.

Child care center hours are from 6:00 AM to 6:00 PM.

Site plan of the property that includes all property lines and parking.

All site plans of the property are included in the attached 12 image Documents packets of site drawings.

Re: Consent for the Conditional Zoning Application

1 message

jeff robycompany.com <jeff@robycompany.com>
To: Shawna Streeter <slou50@gmail.com>

Thu, Nov 6, 2025 at 6:25 PM

Sure apply
Jeff Roby

> On Nov 6, 2025, at 5:45 PM, Shawna Streeter <slou50@gmail.com> wrote:

>

>

> Hi Jeff,

>

> So sorry to interrupt your trip.

>

> This conditional zoning application does has that there be written owner consent to apply. Could you please reply back to this email giving me permission to apply.

>

> Shawna Davis, Early Start Learning Academy LLC

>

> Thank you Jeff, and I hope you are enjoying yourself in Australia.

>

> Thank you so much!

>

> Shawna

DAYCARE NO.

24

FACTORYWEDGEVA-1

B:WEDGEVA-1

DATE
8-30-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

Jeffrey A Roby
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

FILE NAME:
TAYLOR

SHEET
A-1

HEADER SCHEDULE	
MARK	DESCRIPTION
H-1	HEADER 2-2X8 WITH 1/2" SPACER GLUED & NAILED
H-2	HEADER 2-2X10 WITH 1/2" SPACER GLUED & NAILED
H-3	HEADER 2-2X12 WITH 1/2" SPACER GLUED & NAILED

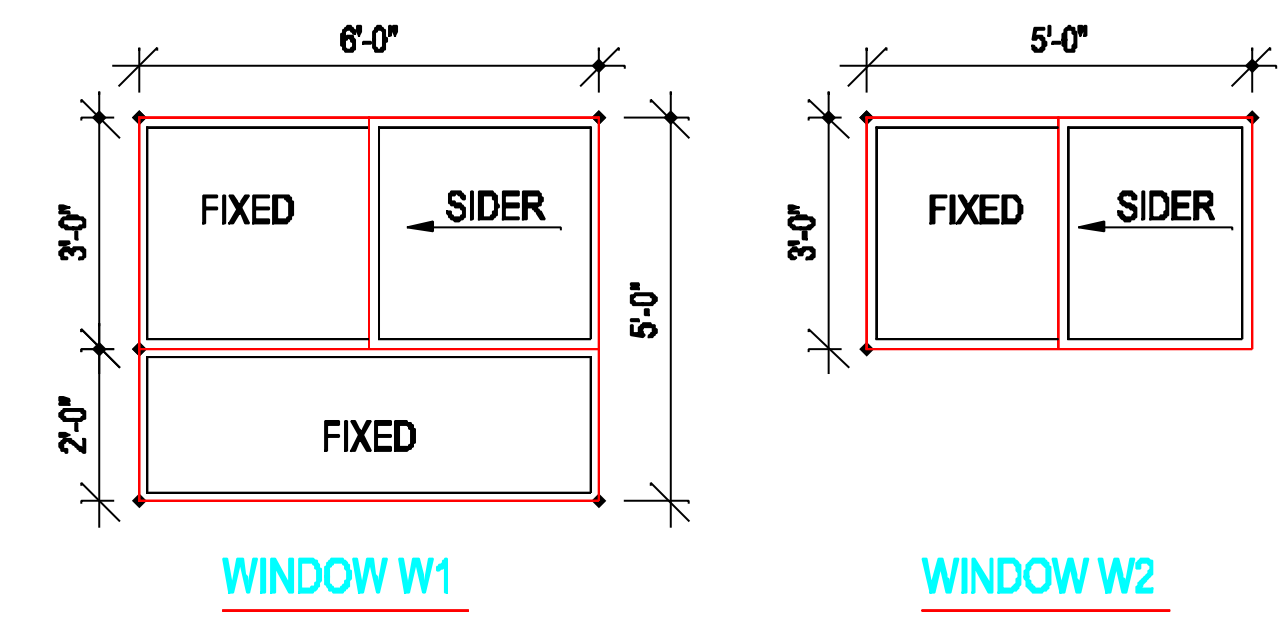
DOOR SCHEDULE									
MARK	SIZE	ROUGH OPENING	THROAT	FRAM.	DOOR CONST.	HARDWARE	QUANTITY		REMARKS
							LEFT	RIGHT	
*D1	9'-0" X 6'-8"	114" X 86"	4 3/4"	ALUM.	ALUM.	LOCK	1	0	30 DR. W/2-30 TEMP. GLS. SD. LITES W/CLOSURE
D2	3'-0" X 6'-8"	38" X 82"	DO	WOOD	WD/HC	PASSAGE	4	3	LITE COLOR VENEER
D3	3'-0" X 6'-8"	38" X 82"	DO	METAL	METAL	PASSAGE	0	1	1 1/2 HR."B" LABEL W/CLOSURE 15 LBS. FORCE
D4	3'-0" X 6'-8"	40" X 82"	DO	METAL	HM	LOCK FROM OUTSIDE	2	3	W / CLOSURE 15 LBS. FORCE (FIRE EXIT)
D5	3'-0" X 6'-8"	38" X 82"	DO	WOOD	WD/HC	5 W/PASSAGE STAFF BATH W/LOCK	5	1	W / LOUVER LITE COLOR VENEER
D6	2'-8" X 6'-8"	34" X 82"	DO	WOOD	WD/HC	PASSAGE	4	4	1 PEICE UNIT LITE COLOR VENEER
D7	2'-4" X 6'-8"	30" X 82"	DO	WOOD	WD/HC	PASSAGE	1		LITE COLOR VENEER

ROOM FINISH SCHEDULE									
ROOM	FLOOR		BASE		WALL		CEILING		
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101-105	CONC.	CARPET	4" HIGH CARPET		5/8" FC. DW.	PAINT	GYP. BD.	STIPPEL	
KITCHEN	CONC.	VINYL	VINYL		5/8" FC. DW.	PAINT	GYP. BD.	STIPPEL	
BATHROOMS	CONC.	TILE	BULLNOSE TILE		5/8" FC. DW.	PAINT	GYP. BD.	STIPPEL	
ENTRY	CONC.	TILE	4" HIGH CARPET		5/8" FC. DW.	PAINT	GYP. BD.	STIPPEL	
MECHANICAL	CONC.	CONC.	NONE		5/8" FC. DW.	UNFIN.	GYP. BD.	UNFIN.	
SICK RM	CONC.	CARPET	4" HIGH CARPET		5/8" FC. DW.	PAINT	GYP. BD.	STIPPEL	

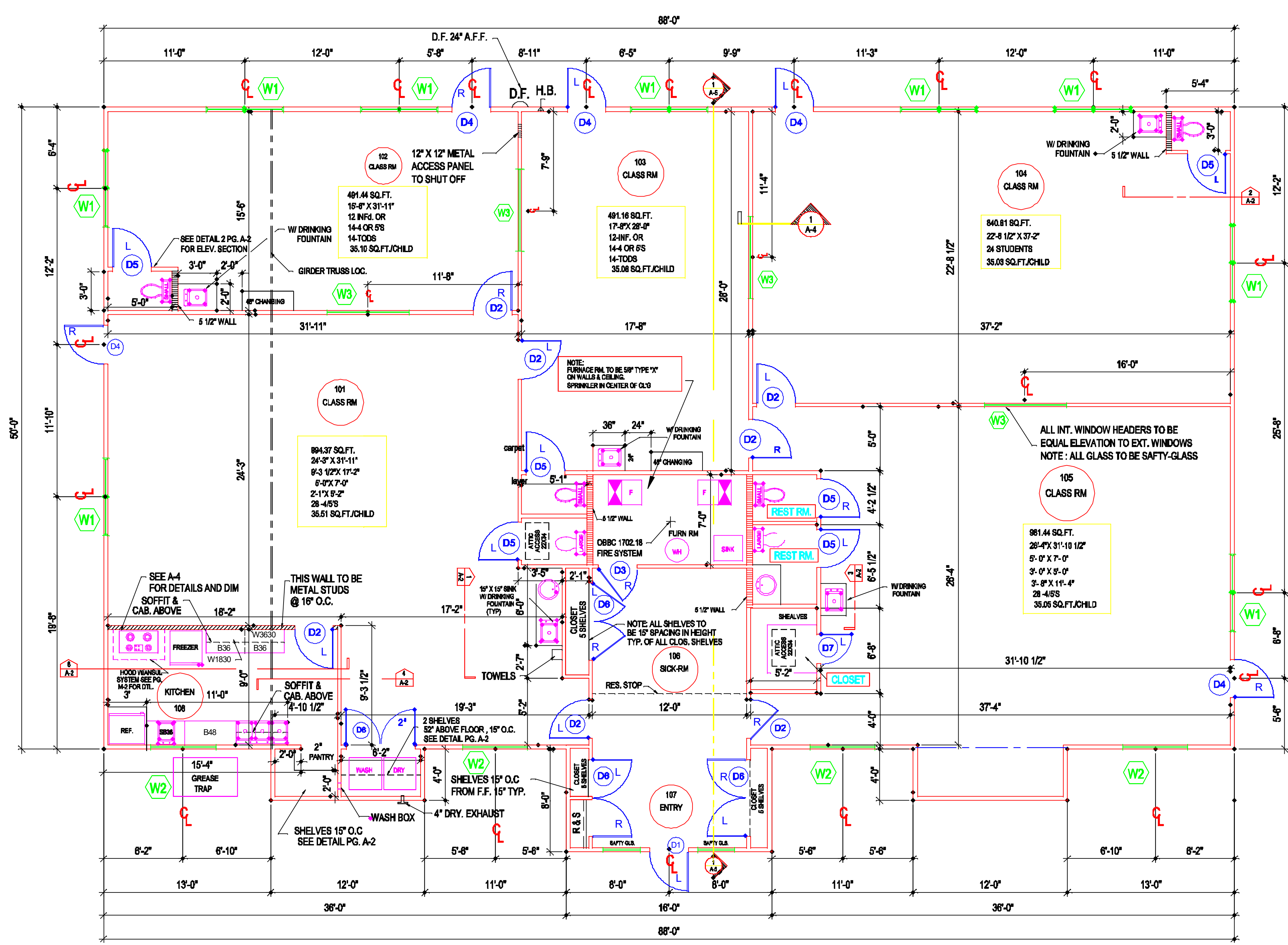
* NOTE: STOREFRONT W/BRONZE GLASS

WINDOW SCHEDULE				
MARK	SIZE	R.O. SIZE	MATL.	QUAN.
W1	6030 OX/6020 P	R.O.- 71 3/8" X 60"	ALUM	9
W2	5030 OX	R.O.- 59 3/8" X 36"	ALUM	4
W3	76" X 34" TEMPERED	R.O.- 76" X 34"	GLAZE	4

NOTE: ALL GLASS TO BE TEMP. GLASS



QUAN.		
WALL CARPET	216	SQ.YDS.
FLOOR CARPET	421	SQ.YDS.
VINYL	23	SQ.YDS.
TILE	330	SQ.FT.
BULLNOSE TILE	90	L.F.



FLOOR PLAN

SCALE: 1/8"=1'-0"

NOTE:
ALL INTERIOR WALLS ARE TO BE 3 1/2"
UNLESS OTHERWISE NOTED.
ALL EXTERIOR WALLS ARE TO BE 4"
UNLESS OTHERWISE NOTED.

DAYCARE NO.

24

FACTORYWEDGEA-2

B:WEDGEA-2

DATE

03-03-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG, OHIO

DRAWN BY:

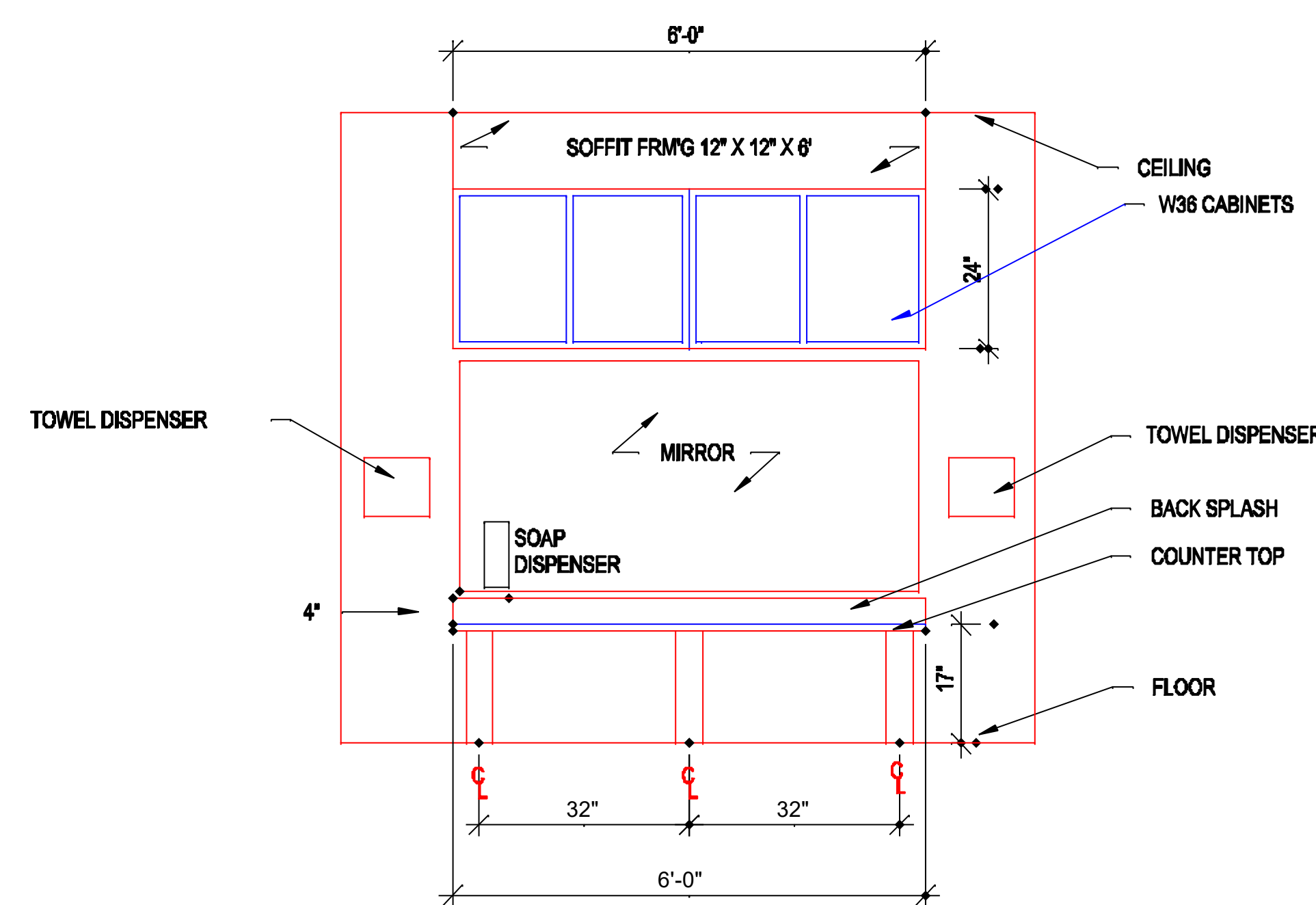
JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

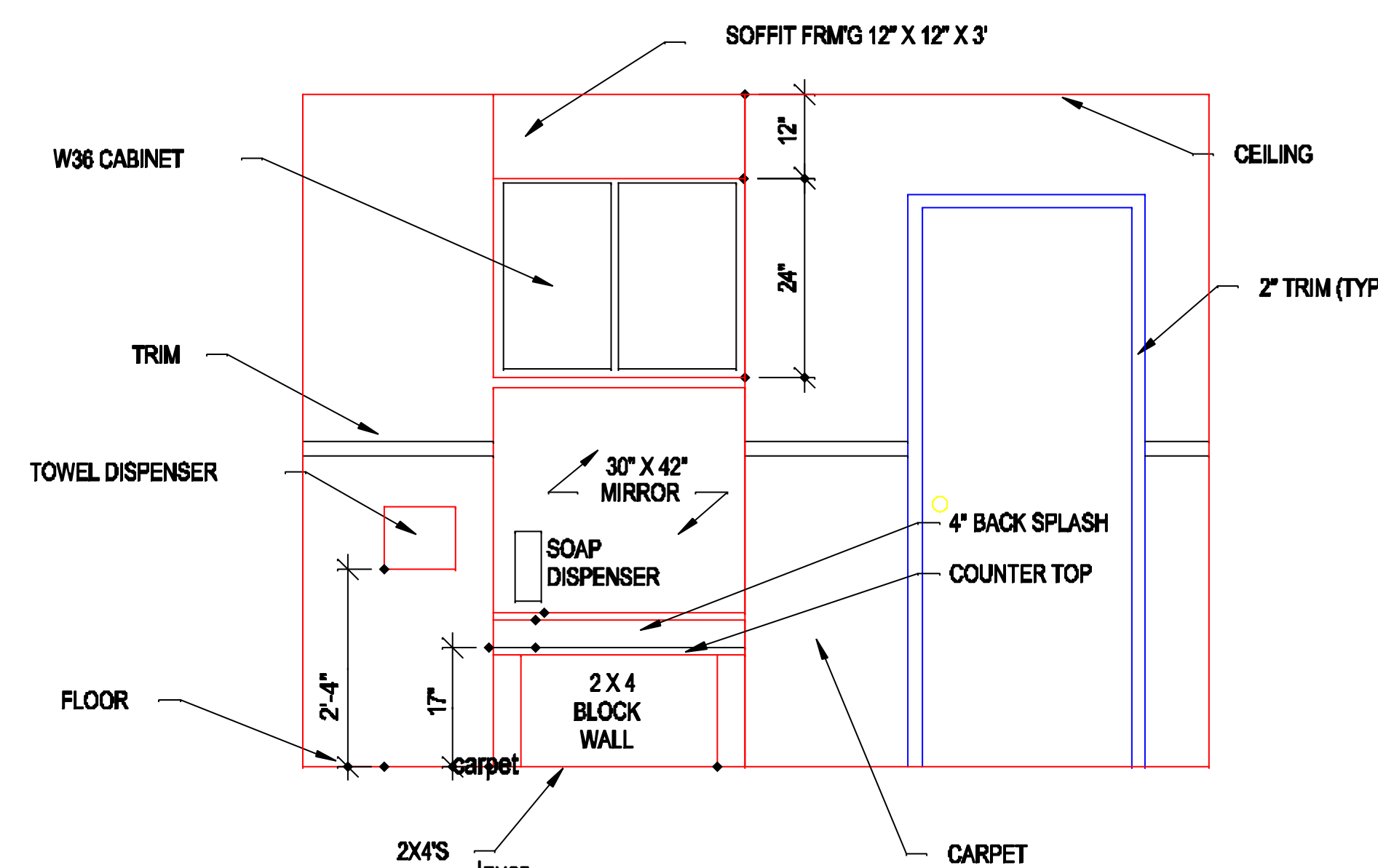
FILE NAME:
TAYLOR

SHEET

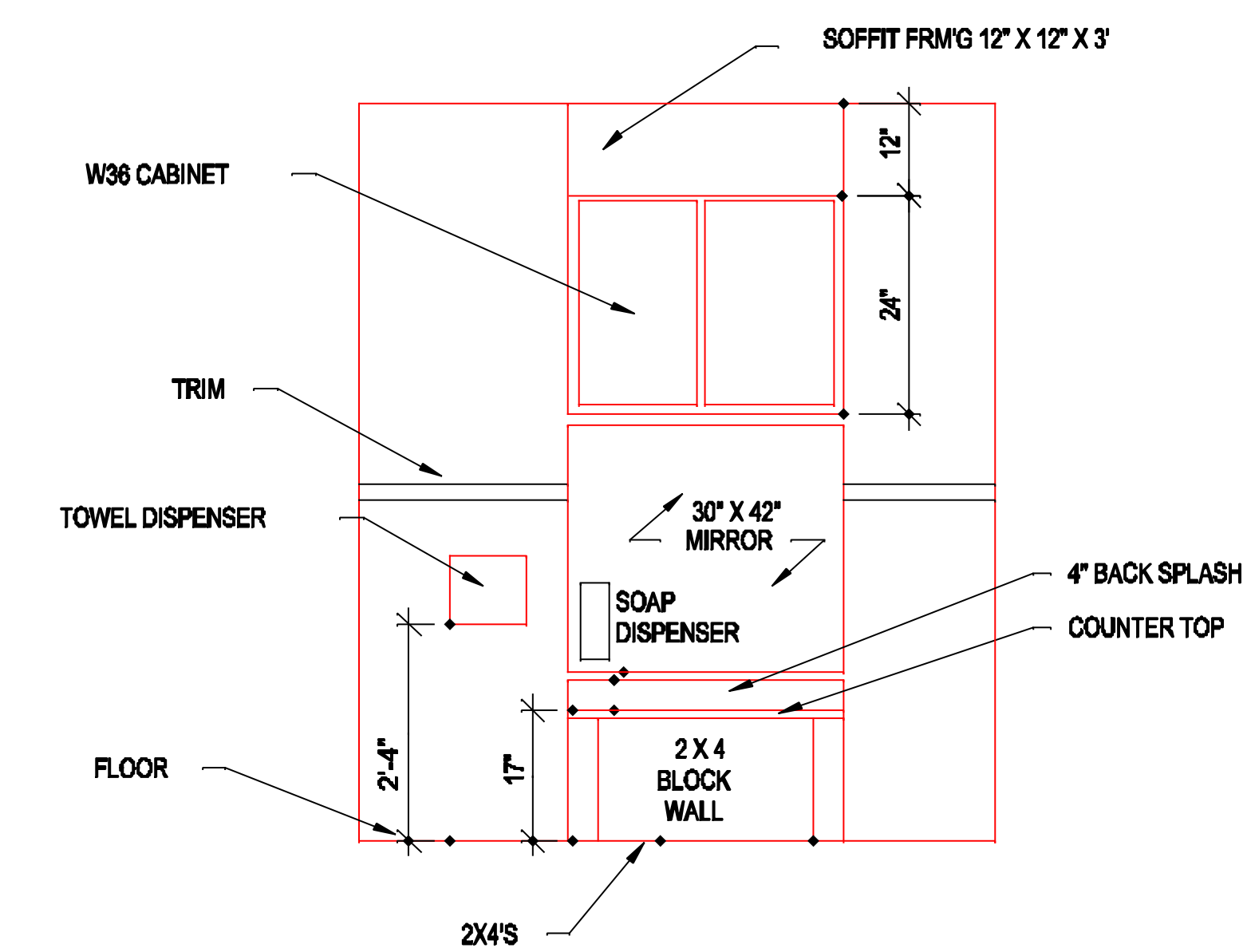
A-2



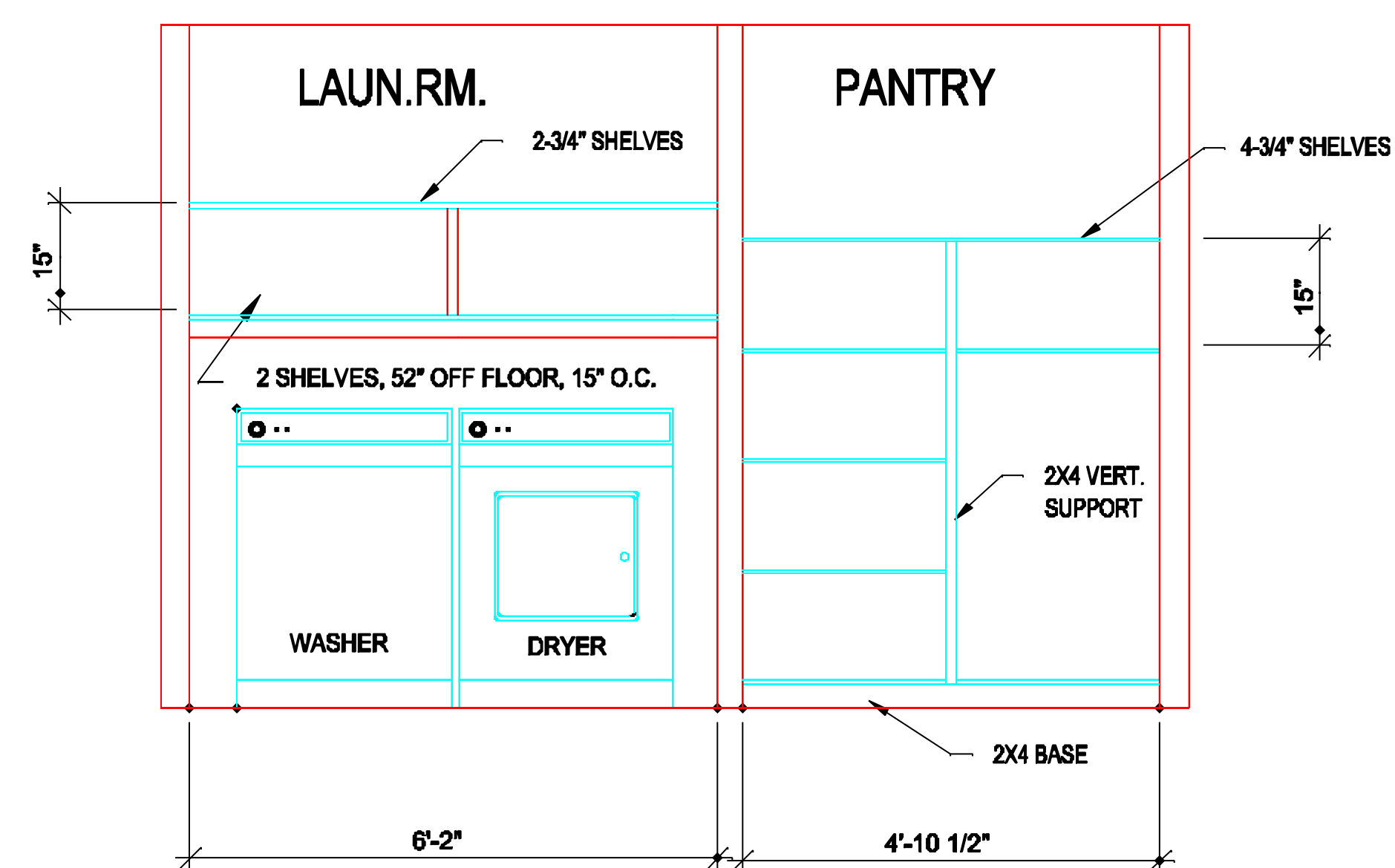
1
A-2
SINK AND CABINET DETAIL. (TYP.)
SCALE: 1/2" = 1'



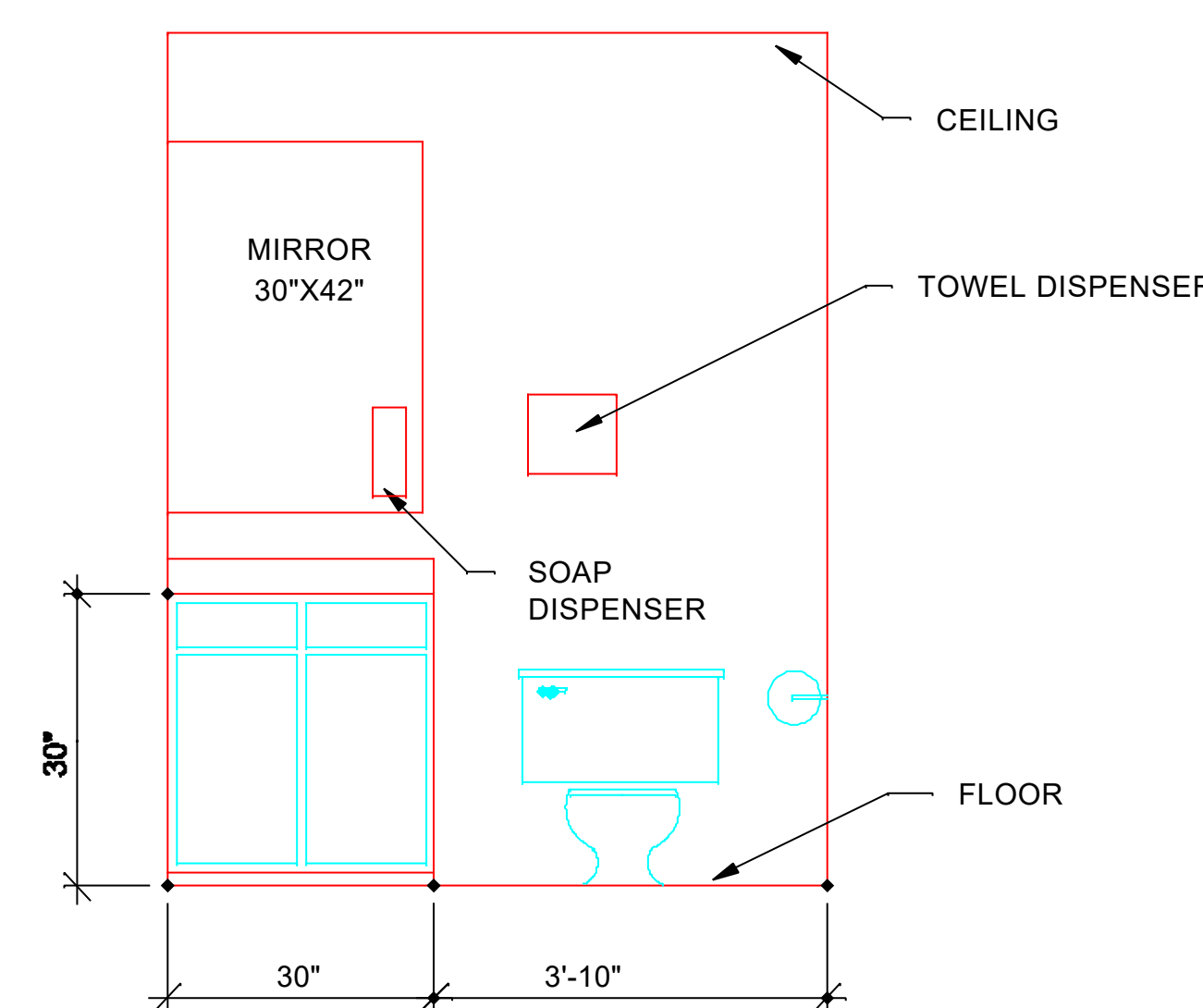
2
A-2
SINK AND CABINET DETAIL. (TYP.)
SCALE: 1/2" = 1'



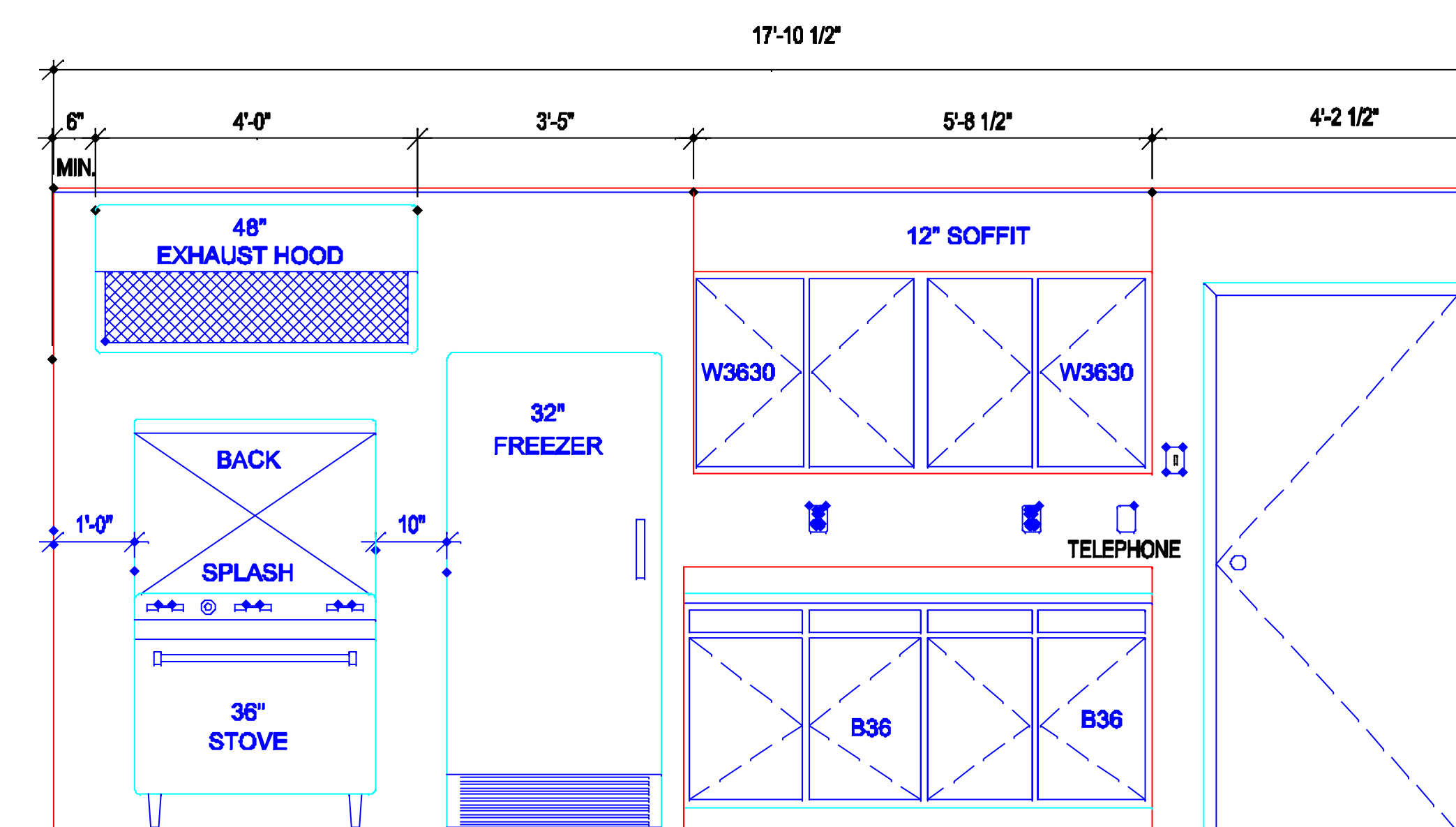
3
A-2
SINK AND CABINET DETAIL. (TYP.)
SCALE: 1/2" = 1'



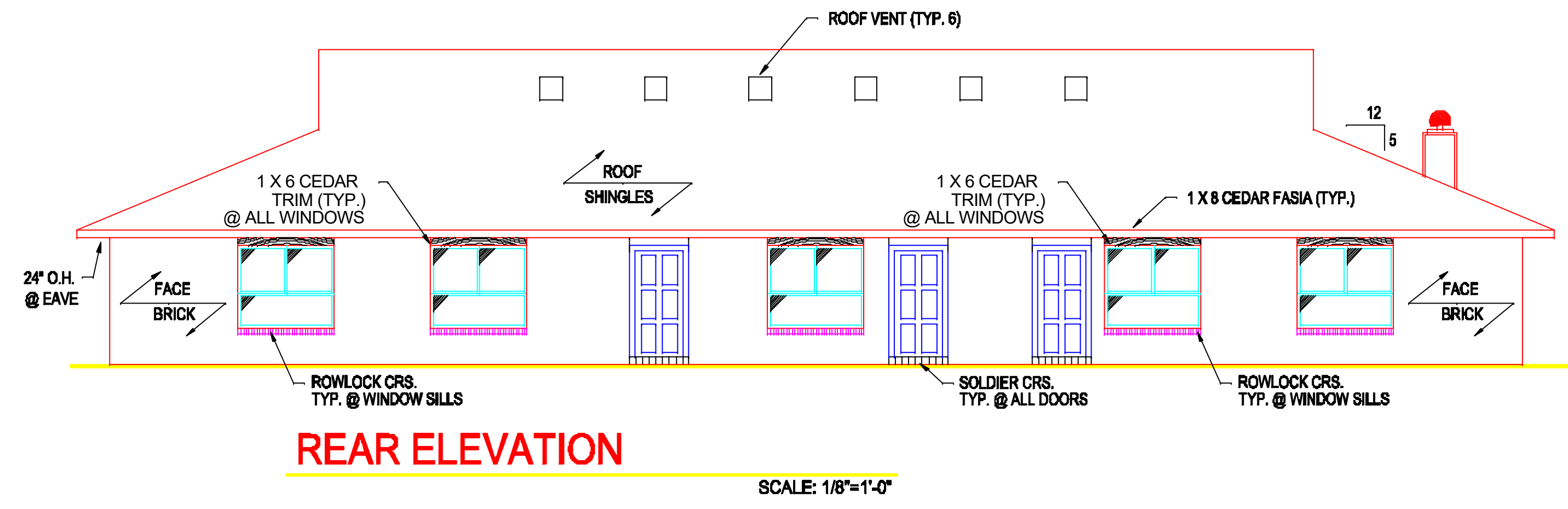
4
A-2
PANTRY DETAIL
SCALE: 1/2" = 1'



5
A-2
STAFF BATH DETAIL
SCALE: 1/2" = 1'

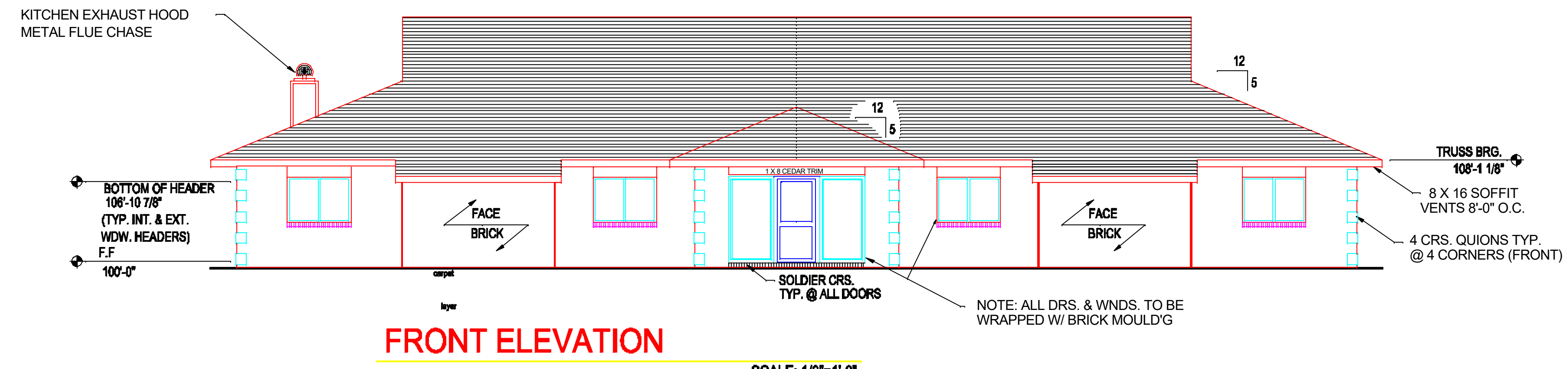


6
A-2
KITCHEN ELEVATION
SCALE: 1/2" = 1'



REAR ELEVATION

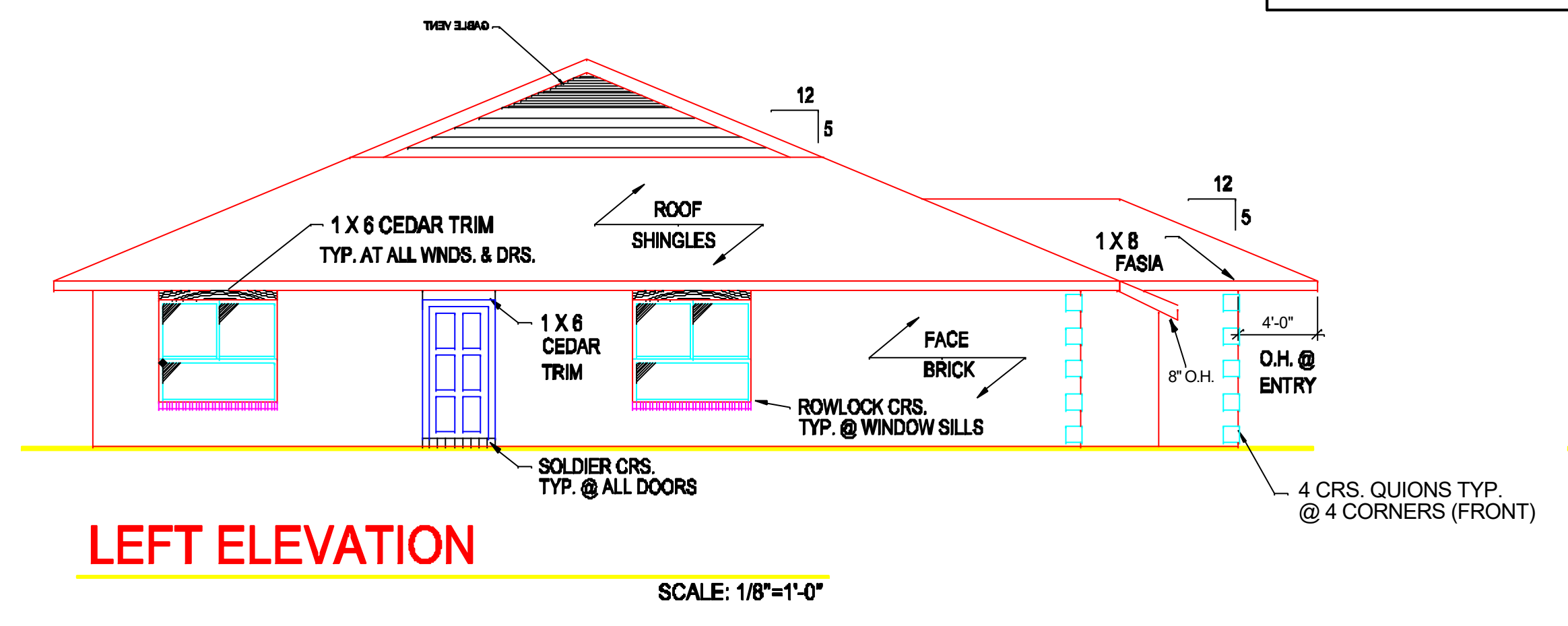
SCALE: 1/8"=1'-0"



FRONT ELEVATION

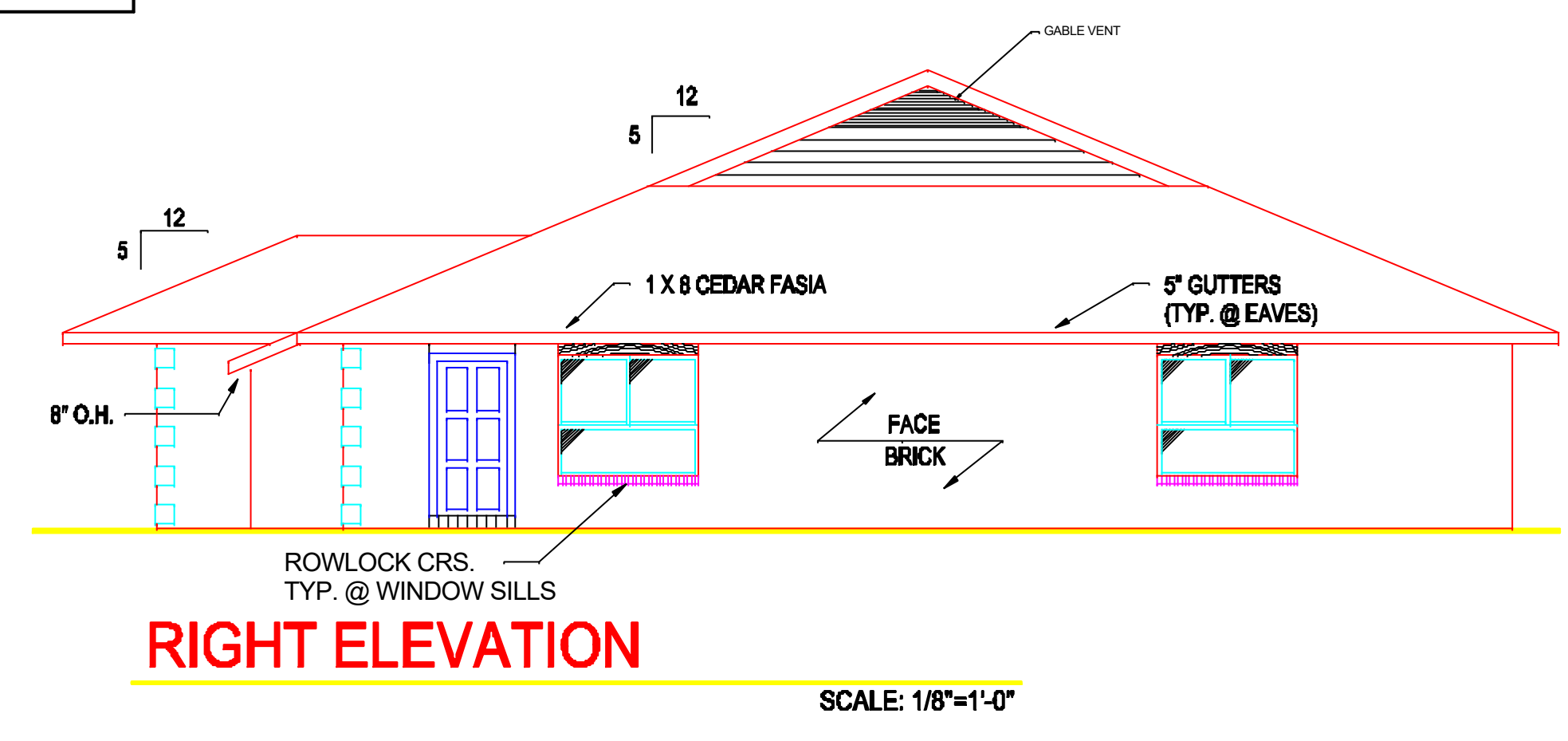
SCALE: 1/8"=1'-0"

NOTE: ALL EXTERIOR WALLS TO BE OF BRICK VENEER



LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

DAYCARE NO.

24

F:STORYWEDGEA3

B:WEDGEA-3

DATE

8-30-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

FILE NAME:
TAYLOR

SHEET

A-3

DAYCARE NO.

24

F:STORYWEDGEA-4

B:WEDGEA-4

DATE

8-30-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

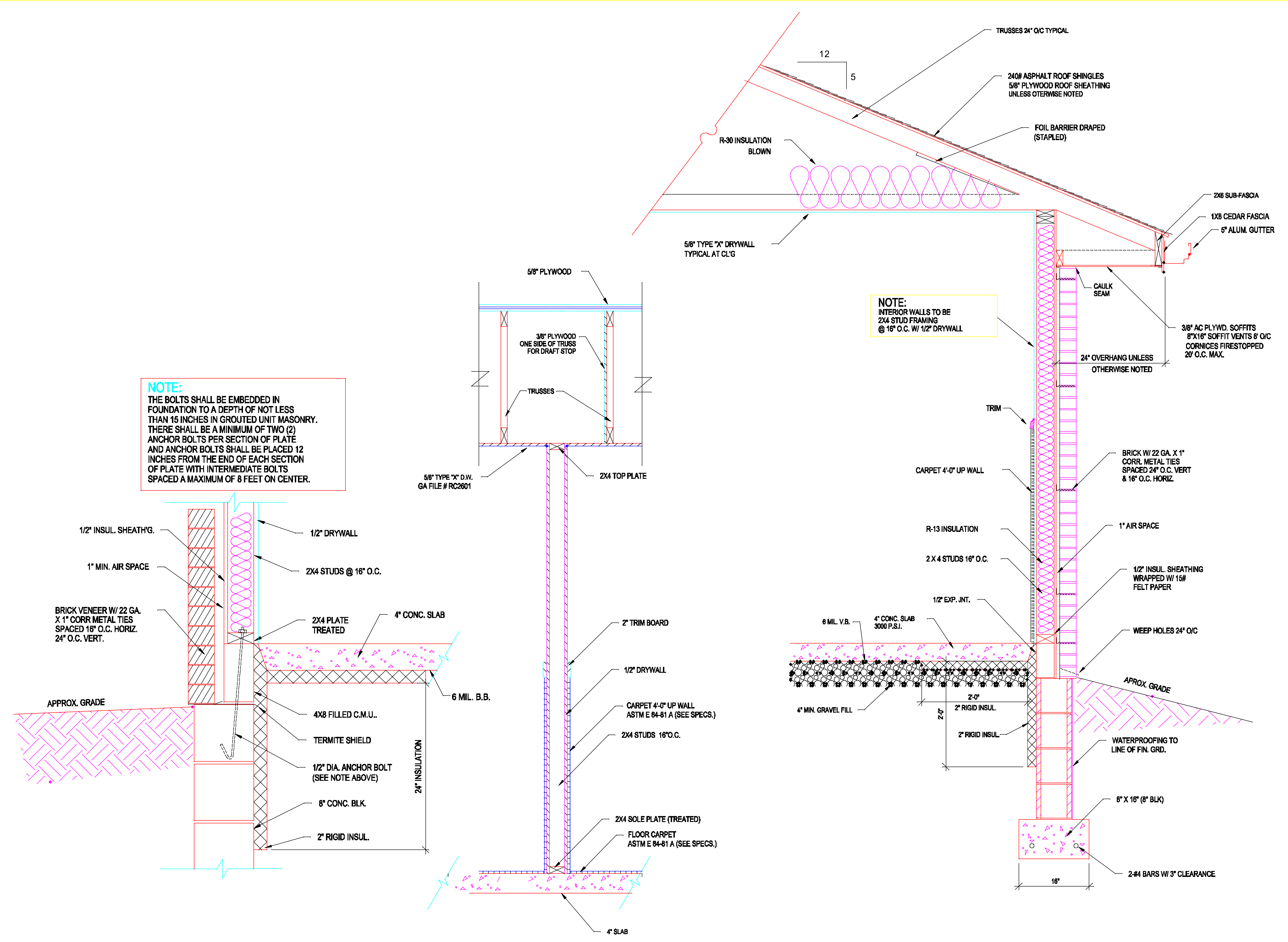
JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

FILE NAME:
TAYLOR

SHEET

A-4



DAYCARE NO.

24

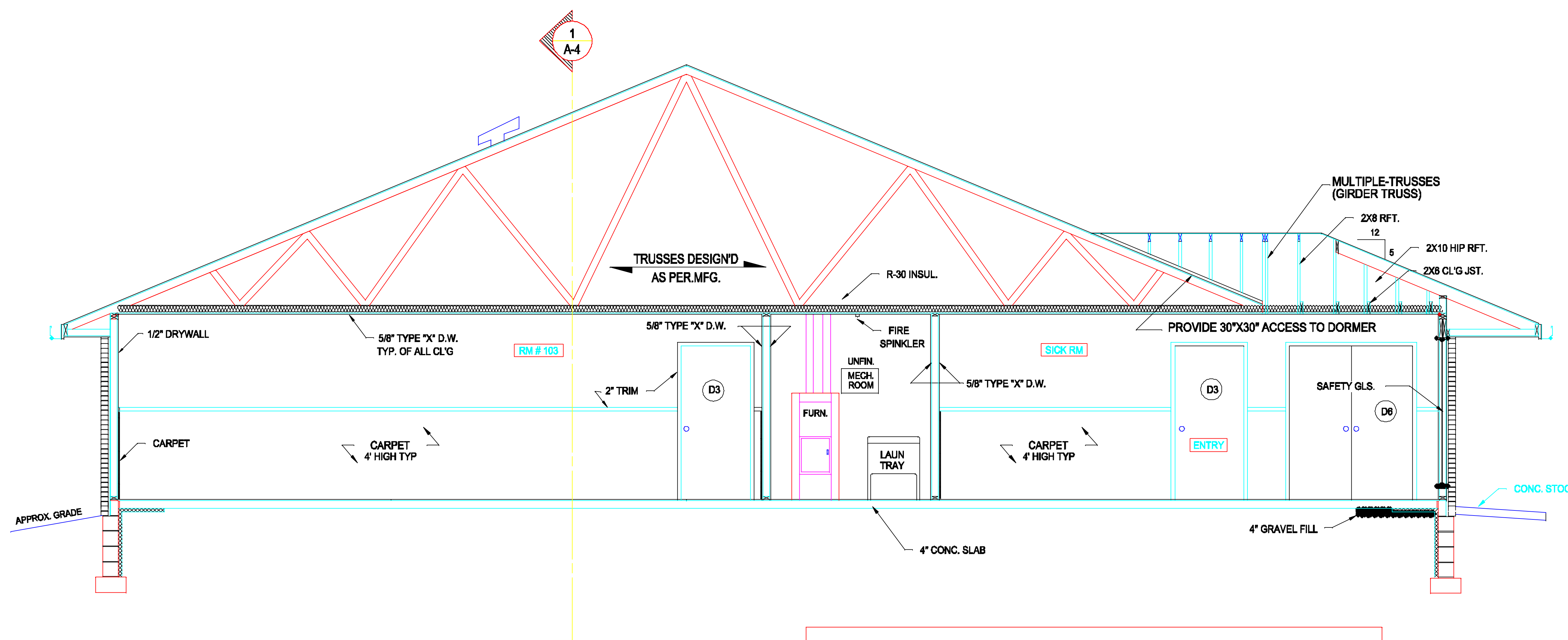
FACTORYWEDGEVA-5

B:WEDGEVA-5

DATE

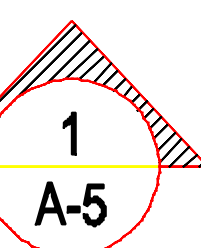
8-30-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO



BUILDING SECTION CUT

SCALE: 1/4"=1'-0"



NOTES:

- 1)
- 2)
- 3) ALL INSULATION FIBERGLASS (NO FOAM)
- 4) CROSS VENTILATION IN ATTIC 709.0 OBBC.
- 5) EXIT DOORS TO COMPLY W/ SECTION 812 O.B.B.C.
- 6) TRUSS 24" O.C. TYPE # 2
- 7) CARPET 1421.7.2 & 1404.3 OBBC.
LETTER ATTACHED TO MEET CONFORMING TEST
ATTIC DRAFT STOPPED AT 3,000 SQ. FT.
- 9) DRAWINGS TO COMPLY WITH ALL OBBC. REQUIREMENTS
- 10) CORNICES FIRESTOPPED EVERY 20 FEET /USE 5/8" FIRE CODE
DRYWALL ON BOTH SIDES OF 2 X 4 BLOCKS SECTION
921.65 OBBC.
- 11) L.L. = 40 P.S.F. CLASSROOMS 80 P.S.F. CORRIDORS

DRAWN BY:

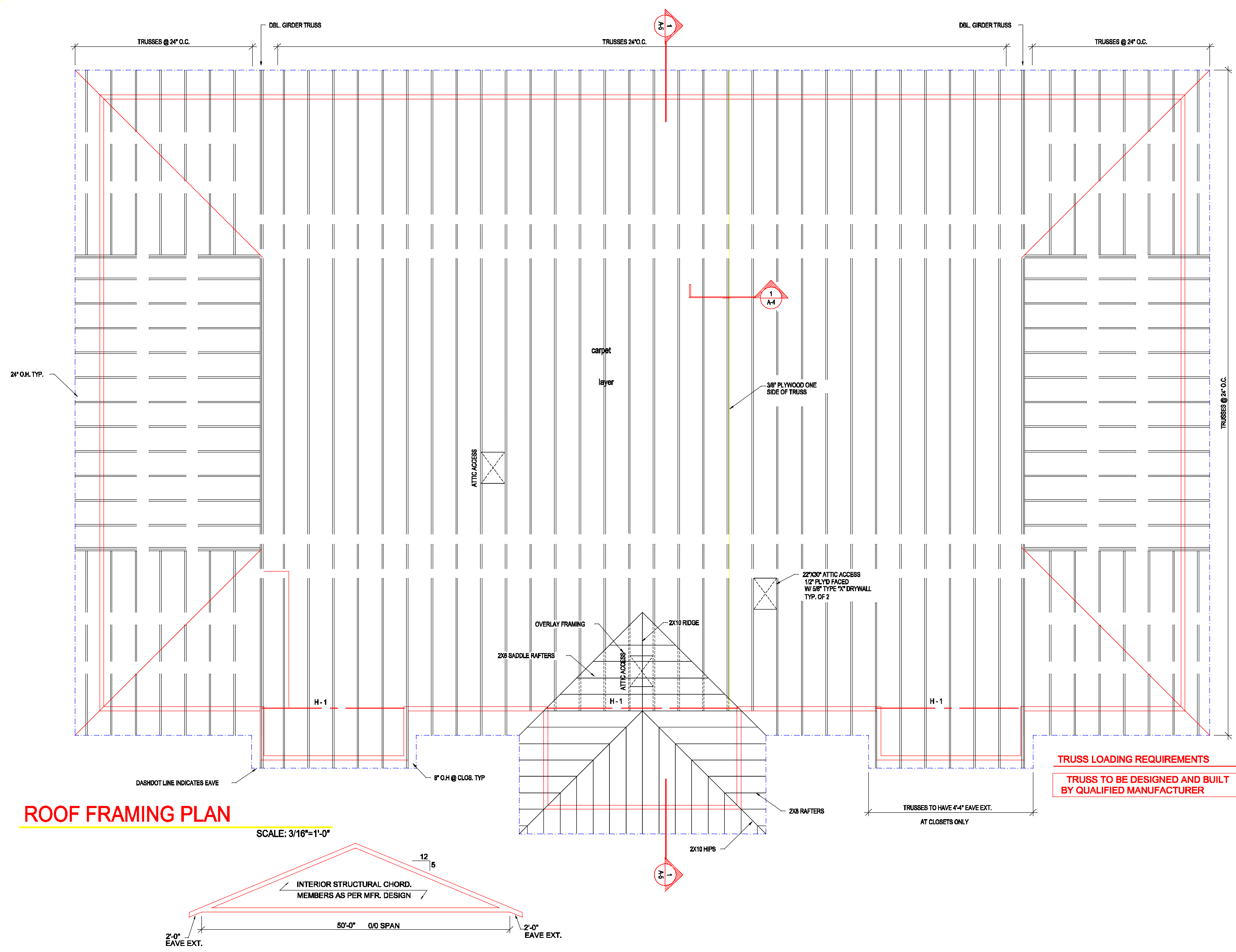
JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

FILE NAME:
TAYLOR

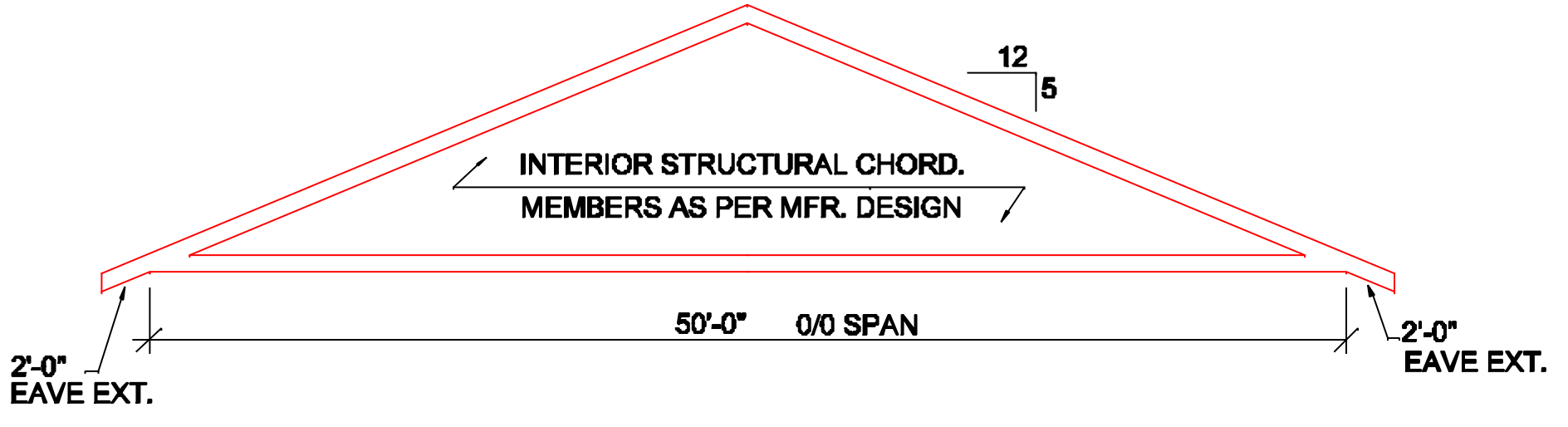
SHEET

A-5



ROOF FRAMING PLAN

SCALE: 3/16"=1'-0"



TRUSS LOADING REQUIREMENTS
TRUSS TO BE DESIGNED AND BUILT BY QUALIFIED MANUFACTURER

DAYCARE NO.
24
 FACTORY WEDGE A-6
 B: WEDGE A-6
 DATE
8-30-95

STORYTIME
 LEARNING CENTERS
 TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:
JEFFREY A ROBY
 7100 MUIRFIELD DR.
 DUBLIN, OHIO
 791-0050
 FILE NAME:
 TAYLOR

SHEET
A-6

PANEL NO. A 200 AMP 10,000 A.I.C. TRIM SURFACE
 240/120 VOLT, 1 0 3 W 60 HZ. W GROUND BUS
 FED FROM METER LOCATION S.W. W SOLID NEUTRAL
 * FIRE ALARM ** WITH "LOCK-ON" W/MIN N CURCULT BREAKER

WATTAGE	WIRE TYPE	CONDUIT SIZE & TYPE	CB / P	WIRE SIZE	LOAD (EQUIPMENT)	AMPS	OK #	PANEL NEUTRAL	OK #	AMPS	LOAD (EQUIPMENT)	WIRE SIZE	CB / P	CONDUIT SIZE & TYPE	WIRE TYPE	WATTAGE	
1600	THHN	1/2 EMT	20/1	#12	ROOM #1 & #2 LIGHTING, EXIT AND EMRG LGT G	20	1	[Panel Schematic]	2	20	ROOM # 1 RECEPTACLES	#12	20/1	1/2 EMT	THHN	1440	
960	THHN	1/2 EMT	20/1	#12	SPARE	20	3		4	20	ROOM # 2 RECEPTACLES	#12	20/1	1/2 EMT	THHN	900	
960	THHN	1/2 EMT	20/1	#12	ROOM #3 LIGHTING, EXIT AND EMRG LGT G	20	5		6	20	ROOM # 3 RECEPTACLES	#12	20/1	1/2 EMT	THHN	900	
960	THHN	1/2 EMT	20/1	#12	ROOM #4 LIGHTING, EXIT AND EMRG LGT G	20	7		8	20	ROOM # 4 RECEPTACLES	#12	20/1	1/2 EMT	THHN	1080	
960	THHN	1/2 EMT	20/1	#12	ROOM #5 LIGHTING, EXIT AND EMRG LGT G	20	9		10	20	ROOM # 5 RECEPTACLES	#12	20/1	1/2 EMT	THHN	1440	
800	THHN	1/2 EMT	20/1	#12	LOBBY, BATHROOM, FURNACE ROOM LIGHTING	20	11		12	20	BATHROOM & OFFICE RECEPTACLES	#12	20/1	1/2 EMT	THHN	1260	
1680	THHN	1/2 EMT	20/1	#12	KITCHEN LIGHTS, ENTRY LIGHTS, EXIT & EMRG LGT	20	13		14	20	WASHER RECEPTACLES	#12	20/1	1/2 EMT	THHN	1560	
1500	THHN	1/2 EMT	20/1	#12	FRI GENERATOR	20	15		16	20	FREEZER	#12	20/1	1/2 EMT	THHN	1500	
540	THHN	1/2 EMT	20/1	#12	KITCHEN RECEPTACLES AND EXHAUST HOOD	20	17		18	20	FIRE ALARM PANEL (W LOCK-ON)	#12	20/1	1/2 EMT	THHN	250	
650	THHN	1/2 EMT	20/1	#12	SIGN, CLOCK AND OUTSIDE SOFFIT LIGHTS	20	19		20	20	FURNACE	#12	20/1	1/2 EMT	THHN	1500	
1500	THHN	1/2 EMT	20/1	#12	FURNACE	20	21		22	30	DRYER	#10	30/2	3/4 EMT	THHN	5000	
0					SPARE	20	23		24	30	DRYER	#10	30/2	3/4 EMT	THHN	5000	
12 000	THHN	3/4 EMT	40/2	#12	WASHER	40	25		26	40	AC CONDENSER	# 8	40/2	3/4 EMT	THHN	8000	
12 000	THHN	1/2 EMT	20/2	#12	GARBAGE DISPOSAL	20	27		28	40	DRYER	# 8	40/2	3/4 EMT	THHN	8000	
8000	THHN	3/4 EMT	40/2	#8	AC CONDENSER #1	40	29		30	20	PARKING LOT LIGHTS	20/2	3/4 EMT	THHN	240		
8000	THHN	3/4 EMT	40/2	#8	AC CONDENSER #1	40	31		32	30	PARKING LOT LIGHTS	20/2	3/4 EMT	THHN	240		
					SPARE	20	33		34	20	SPARE	20/1					
					SPARE	20	35		36	20	SPARE	20/1					
					SPARE	20	37		38	20	SPARE	20/1					
					SPARE	20	39		40	20	SPARE	20/1					

90,920 TOTAL WATTAGE
 10 K.V.A.
 240/120 VOLT PRV
 240 VOLT SEC
 60 HERTZ

FIXTURE SCHEDULE	QUAN	SPECIFICATION	
A1	2 X 4 4 LAMP REC.	37	LOTHONIA LB440 A120ES
INCAN REC.	4	HALO H71-301P SOFFIT LIGHT	
EMERGENCY LIGHTING	6	LOTHONIA GELM2P EMERG. LIGHTS	
EXIT LIGHT	6	LOTHONIA LITQHSW3REL120 ELOTHONIA IT LIGHT (WHITE)	
OUTSIDE LIGHTS-DOOR	5	PROGRESS PROP561716 OUTSIDE LIGHT (SATIN)	
18" STRIP LIGHTS	6	PROGRESS DRYMOC115A 18" CLOSET LIGHT (WHITE)	
36" STRIP LIGHTS	1	PROGRESS PROP700830 CLOS. LGHT. (WHITE)	
1 X 4 2 LAMP REC.	3	LOTHONIA LB240A120ES FRORESENT	
SINGLE LIGHTS	2	TYPICAL CERAMIC (WHITE) IN ATTIC AREA	
JUNCTION BOX	6	6 TYPICAL	
TIMER (SINGLE POLE)	1	LOTHONIA INTT101 (SIGN LIGHT)	
TIMER (DOUBLE POLE)	1	LOTHONIA INTT103 (PARKING LOT LIGHTS)	
EXHAUST FAN LIGHT/FAN COMBOS	7	NEWTON 671 70CFM	
	4	NEWTON 672 LITEFAN COMBO	
WATERPROOF DISCONNECTS	3		
110 VOLT OUTLET	36		
TELE JACK	2		
220 VOLT OUTLET	1		
110 VOLT GFI OUTLET	6		

**** NOTE: FIRE ALARM PANEL**
 TWO ZONE BATTERY BACKED WTH 24h CAPACITY
 WIRE TO BE 18 AWG (UL) (300V) (1050_p)
 POWER LIMITED FIRE PROTECTIVE
 SIGNALING CIRCUIT CABLE

NOTE:
 ALL OUTSIDE RECEPTACLES TO BE GFI PROTECTED
 ALL BRANCH WIRING TO BE INSTALLED PER STANDARDS
 OF ARTICLE 510 NEC. (TYP.)

NOTE:
 ALL EXIT & EMERGENCY BATTERY
 PACK WILL BE CONNECT ON THE
 LOCAL LIGHTING SERVICE
 AND AHEAD OF ALL SWITCHES
 (TYP.)

NOTE:
 LIGHTING LOADS NOT TO EXCEED 80% OF BRANCH CIRCUIT CAPACITY
 RECEPTACLES LOADS BASED ON 180 VOLT AMPS PER OUTLET

#12 WIRE PROTECTED BY 20 AMP BREAKER LIGHTING-RECEPTACLE
 #10 WIRE "DO" 30 AMP BREAKER DRYER
 # 8 WIRE "DO" 40 AMP BREAKER AC

EMERGENCY LIGHTING BATTERY BACKED UP WITH 1 1/2 HR.
 701-11-(A) N.E.C. AND SECTI ON 824 OBBC

EXIT LIGHTING BATTERY BACKED UP WITH 1 1/2 HR.
 701-11-(A) N.E.C. AND SECTI ON 824.1 OBBC

PROVIDE WEATHER PROOF DISCONNECTS CONVENIENCE RECEPTACLES
 AND PERMANENT LIGHTING IN ACCORDANCE WITH SECT. M-407 OBBC.

ALL EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRIC.
 AL SYSTEM THAT COMPLIES WITH SECT. 2706.0 OBBC AND SECTION
 823.4 OBBC.

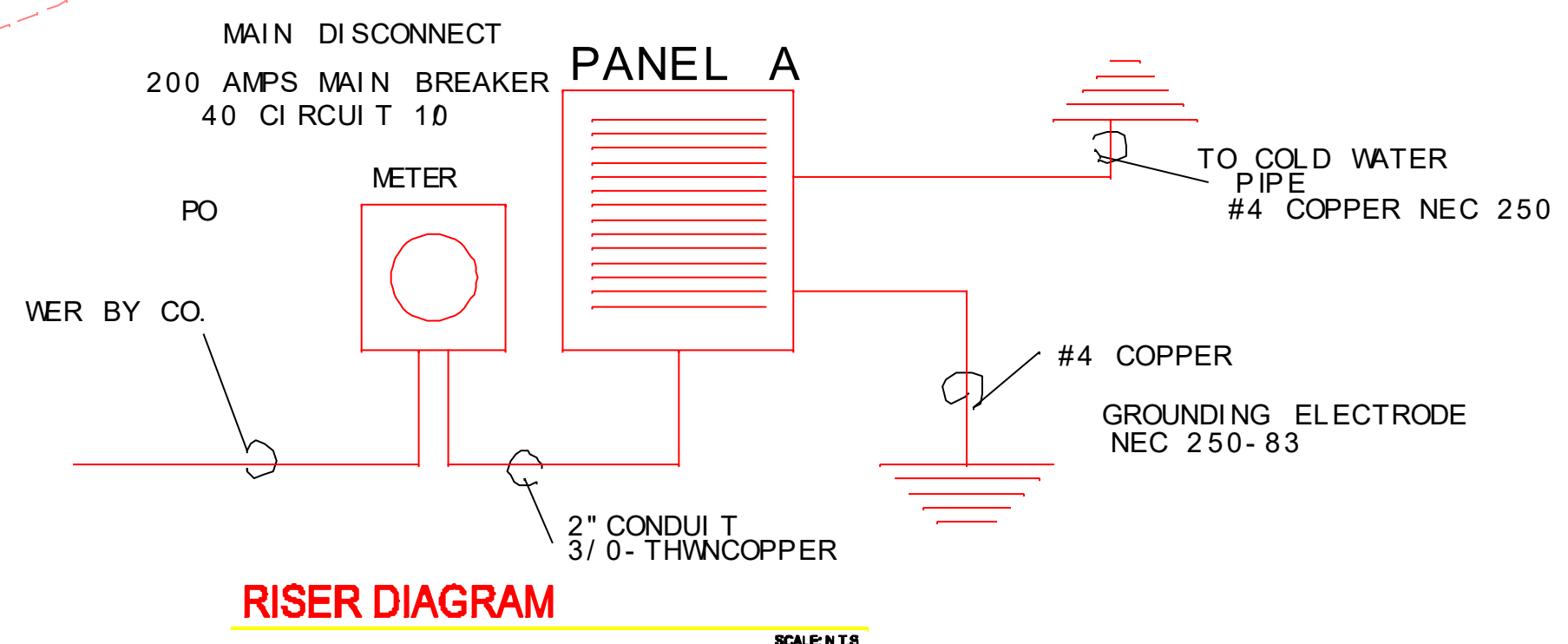
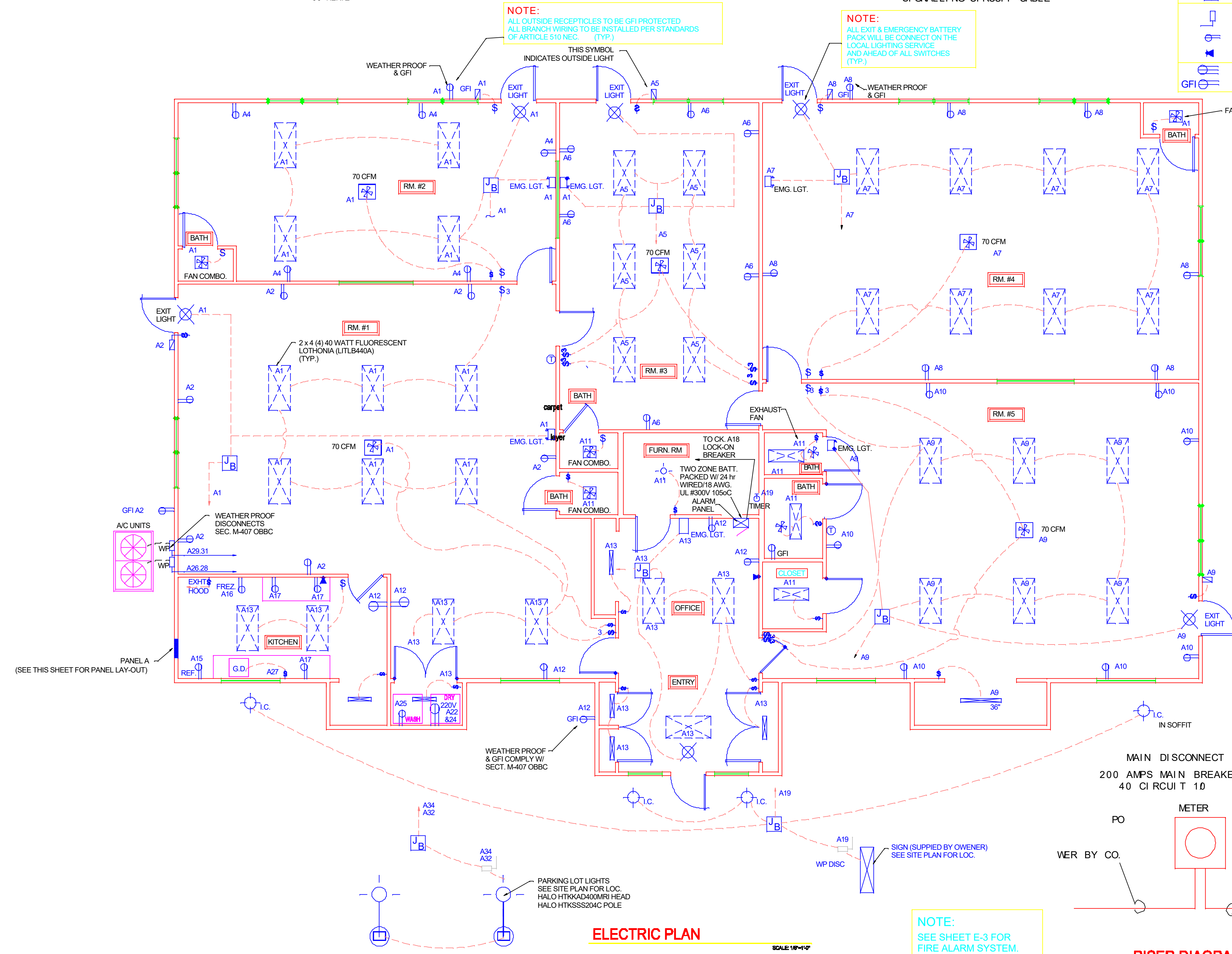
LOAD REQ.

1 40A (EACH)	2-4 TON A/C (2) #8 THHN COPPER/3/4" CONDUIT
2 20A (EACH)	2- GAS FURN. (2) #12 THHN COPPER/1/2" CONDUIT
3 30A	DRYER (2) #10 THHN COPPER/1/2" CONDUIT
4 20A	WASHER (2) #12 THHN COPPER/1/2" CONDUIT
5 20A	FRI GENERATOR (2) #12 THHN COPPER/1/2" CONDUIT
6 20A	FREEZER (2) #12 THHN COPPER/1/2" CONDUIT
7	
8	

PANEL & FEEDER SCHEDULE

PANEL DESIGNATION	FEEDER	SOURCE	LOCATION
200A 10 120/240			
FULL LOAD 160AMPS			
WIRE SIZE 3/0	COPPER THWN		
GROUNDING ELECTRODE	#4 COPPER		
EQUIPMENT GROUND	#6 COPPER		

NOTE: EXIT & EMERGENCY BATTERY PACK WILL BE CONNECTED
 ON THE LOCAL LIGHTING SERVICE & A HEAD OF ALL
 SWITCHES.



ELECTRIC PLAN

RISER DIAGRAM

DAYCARE NO.

24

F:1STORYWEDGEIE-1

B:1WEDGEIE-1

DATE

3-1-95

STORYTIME
LEARNING CENTER
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

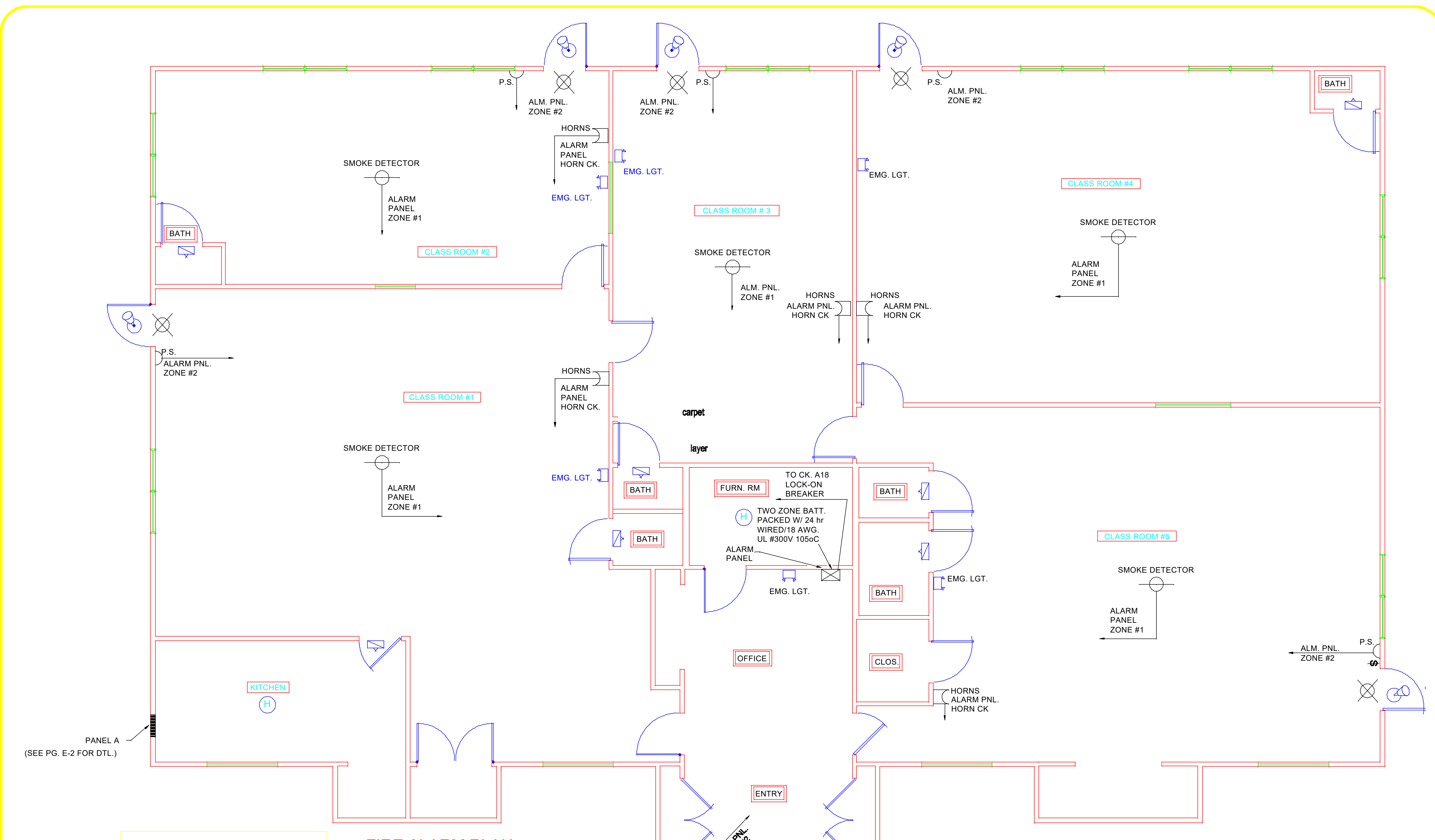
JEFFREY A ROBY
 7100 MUIRFIELD DR.
 DUBLIN, OHIO

791-0050

FILE NAME:
 TAYLOR

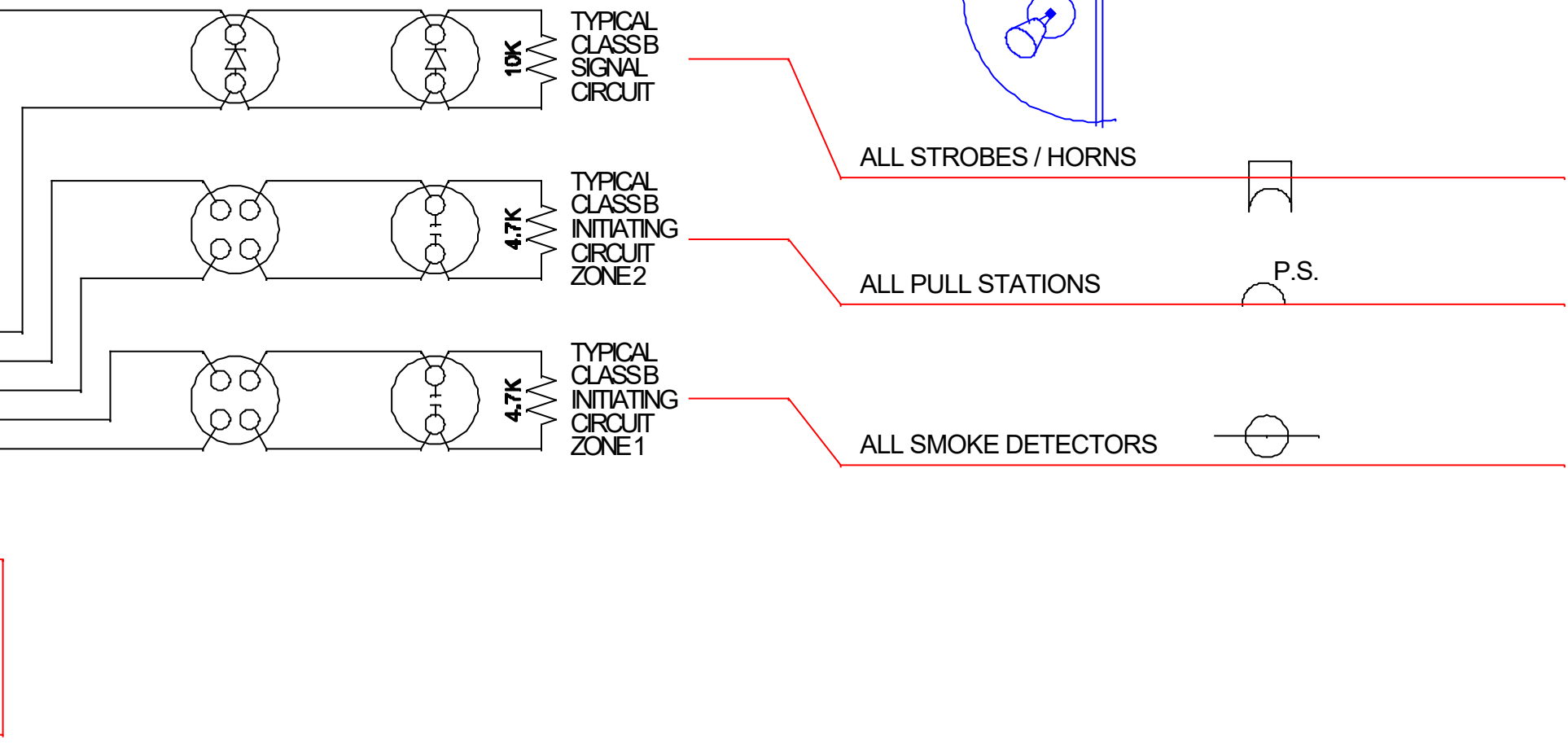
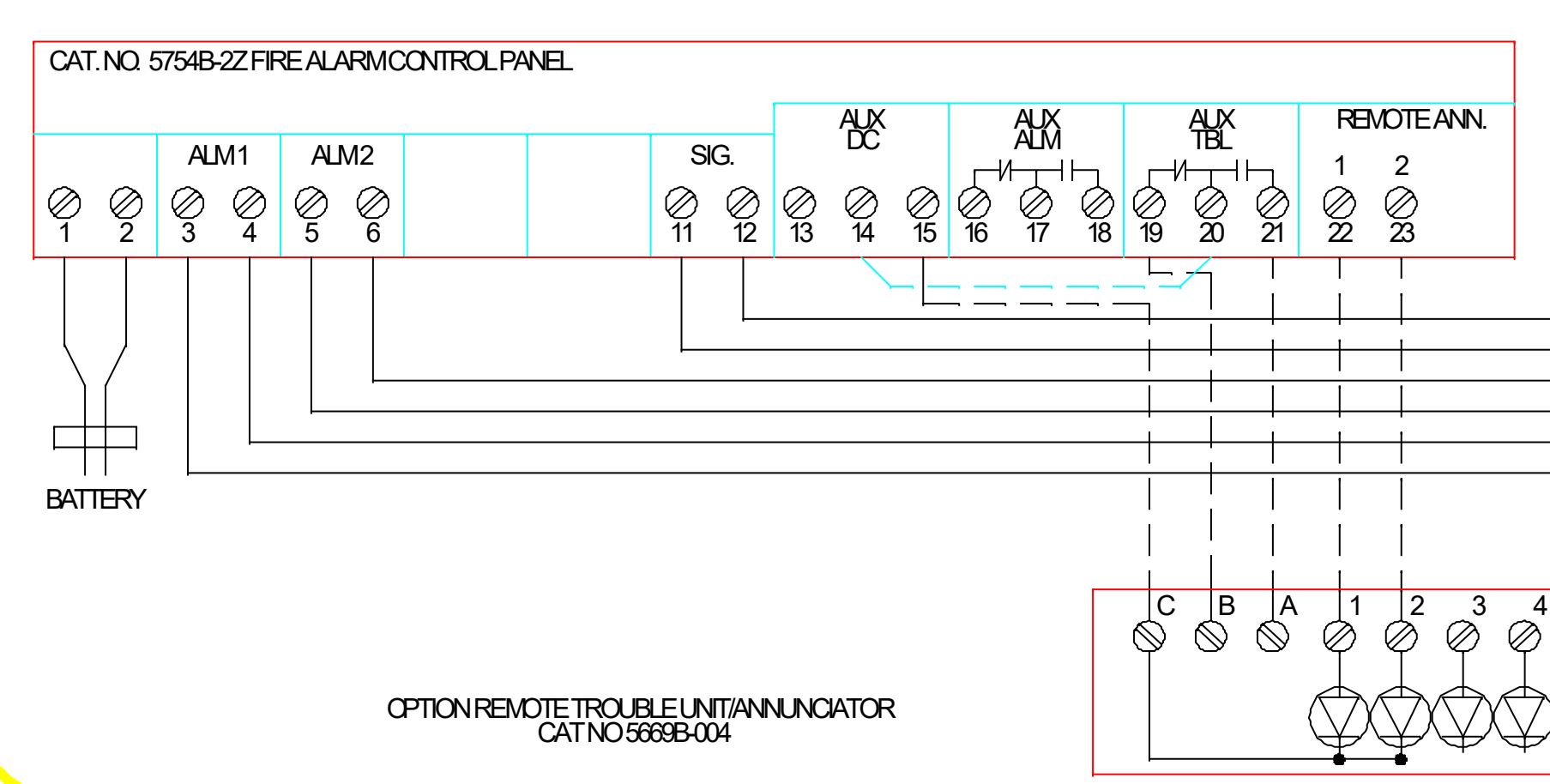
SHEET

E-1



TYPICAL WIRING

FIRE ALARM PLAN
SCALE: 3/16"=1'-0"



FIXTURE SCHEDULE		QUAN.
	PULL STATION	6
	STROBE/HORN ADA APPROVED	5
	AUTO. SMOKE DETECTORS	5
	REMOTE STROBES ADA APPROVED	7
	HEAT DETECTOR	2
	EXIT LIGHT	6
	EMERGENCY LIGHTING	6
	EMERG. LIGHT W/REMOTE HEAD	6

DAYCARE NO.
24
F:\STORYWEDGE\E-2
B:\WEDGE\E-2

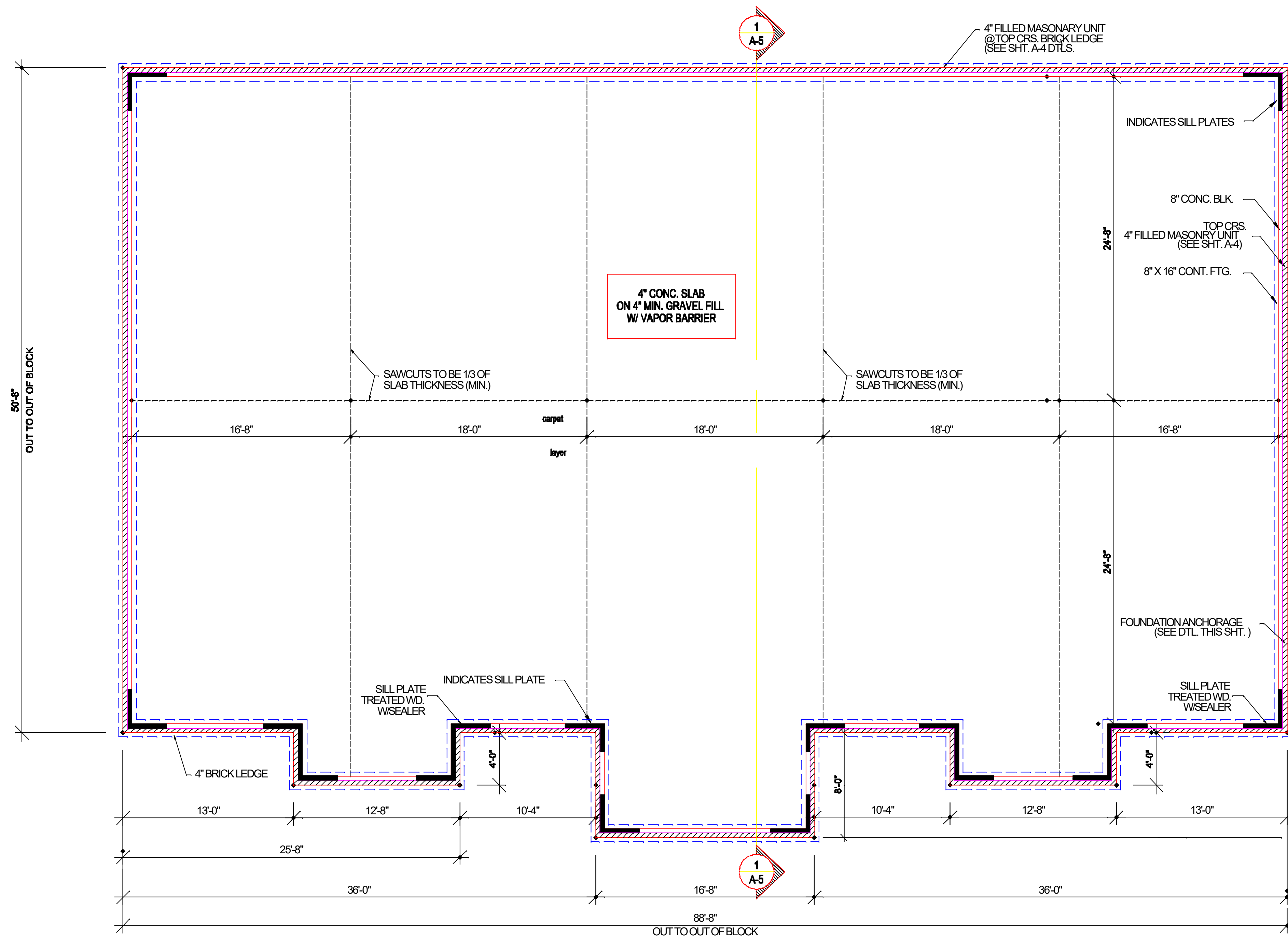
DATE
8-30-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:
JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050
FILE NAME:
TAYLOR

SHEET
E-2

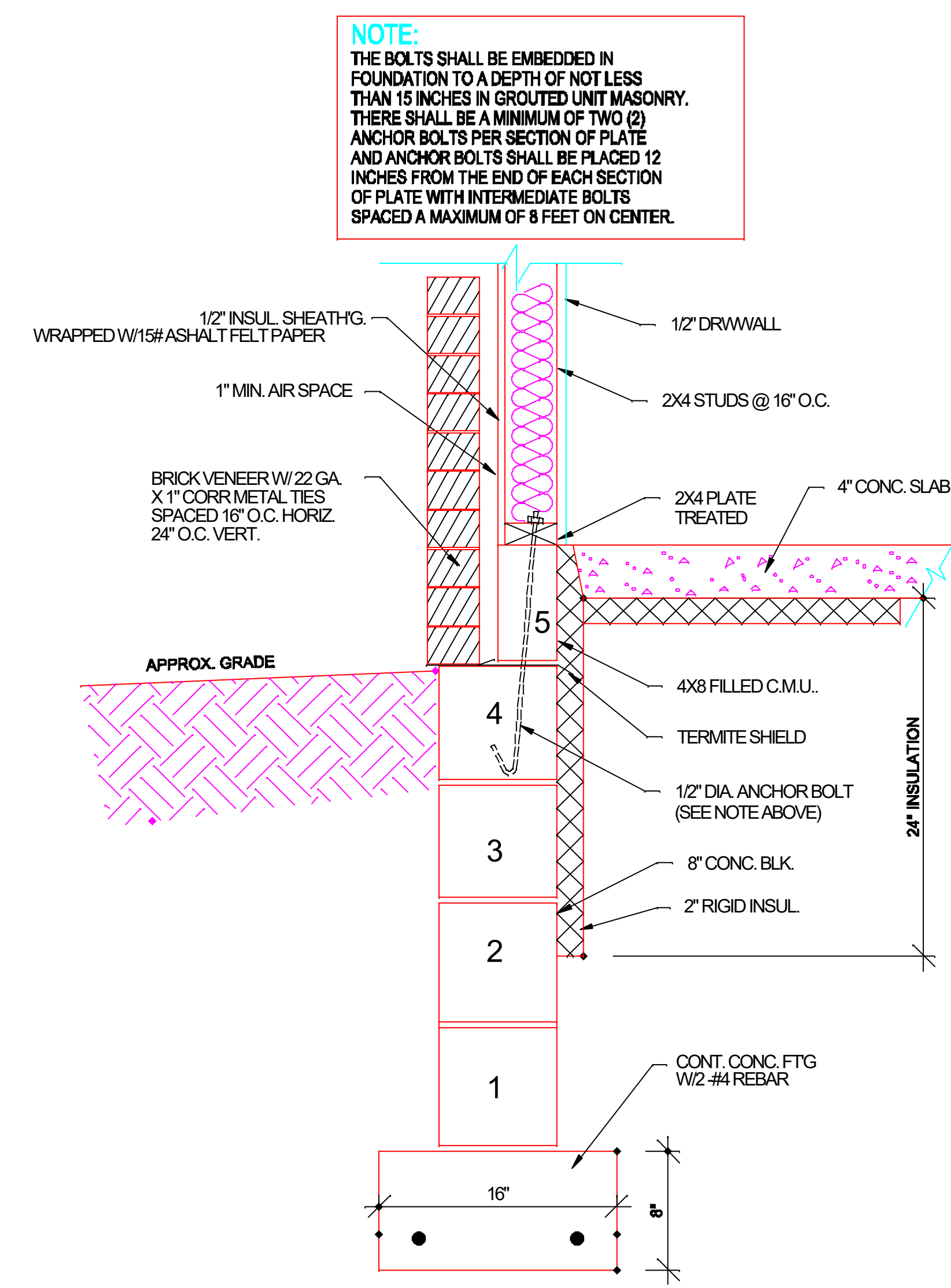


FOUNDATION PLAN

SCALE: 1/8"=1'-0"

NOTE:
 ALL WALLS ARE TO BE STANDARD 8" C.M.U. UNLESS OTHERWISE NOTED
 ALL DIMENSIONS ARE GIVEN FROM BLOCK TO BLOCK

1. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE LATERAL LOADING OF 40 POUNDS PER CUBIC FOOT.
2. THE FOUNDATIONS ARE DESIGNED FOR A SAFE SOIL BEARING PRESSURE OF 3000 POUNDS PER SQUARE FOOT. THE MAXIMUM CONCENTRIC VERTICAL LOAD TO BE APPLIED TO THE TOP OF THE WALLS SHALL NOT EXCEED 3380 POUNDS PER LINEAR FOOT FOR 8" WALLS AND 4087 POUNDS PER LINEAR FOOT FOR 12" WALLS.
3. CONCRETE USED FOR FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2800 POUNDS PER SQUARE INCH.
4. ALL REINFORCING STEEL SHALL CONFORM TO ASTM GRADE 80.
5. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
6. ALL CONCRETE WORK SHALL COMPLY WITH:
 A) ACI 301-89 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
 B) ACI 318-89 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
7. PRIOR TO PLACEMENT OF CONCRETE, ALL FOREIGN MATERIAL SHALL BE REMOVED FROM FOOTING FORMS.
8. ALL MASONRY WORK SHALL COMPLY WITH:
 A) ACI 530-89 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES."
 B) ACI 530.1-88 "SPECIFICATIONS FOR MASONRY STRUCTURES."
 C) C90-90 "SPECIFICATION FOR LOAD-BEARING CONCRETE MASONRY UNITS."
 D) ASTM C270-86B "MORTAR FOR UNIT MASONRY."
9. MASONRY BLOCKS SHALL BE GRADE N WITH A MINIMUM 1000 PSI AVERAGE GROSS COMPRESSIVE STRENGTH.
10. MORTAR AND GROUT SHALL BE TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI AND SHALL CONTAIN MASONRY CEMENT.
11. GLUE SHALL BE "TITEBOND CONSTRUCTION ADHESIVE" AS MANUFACTURED BY FRANKLIN INTERNATIONAL.
12. FOUNDATIONS SHOWN ON THIS DRAWING ARE DESIGNED FOR THE CONDITIONS SPECIFICALLY STATED ON THE DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THE HOUSE ON THE FOUNDATION SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITHIN THE TOLERABLE LIMITS OF THE STRUCTURE. THE CONTRACTOR IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATION SHOWN ON THIS DRAWING TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECTS ON THE BUILDING. CONTACT STORYTIME LEARNING CENTERS FOR CONDITIONS OTHER THAN THOSE SPECIFICALLY SHOWN ON THIS DRAWING. NO WARRANTIES OR GUARANTEES, EXPRESSED OR IMPLIED, ARE PRESENTED BY THIS DRAWING.



ANCHORING DETAIL

SCALE: 1/2"=1'-0"

NOTE:
 THE BOLTS SHALL BE EMBEDDED IN FOUNDATION TO A DEPTH OF NOT LESS THAN 15 INCHES IN GROUTED UNIT MASONRY. THERE SHALL BE A MINIMUM OF TWO (2) ANCHOR BOLTS PER SECTION OF PLATE AND ANCHOR BOLTS SHALL BE PLACED 12 INCHES FROM THE END OF EACH SECTION OF PLATE WITH INTERMEDIATE BOLTS SPACED A MAXIMUM OF 8 FEET ON CENTER.

DAYCARE NO.

24

F:\STORY\WEDGE\F-1

B:\WEDGE\F-1

DATE

8-30-95

STORYTIME
 LEARNING CENTERS
 TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

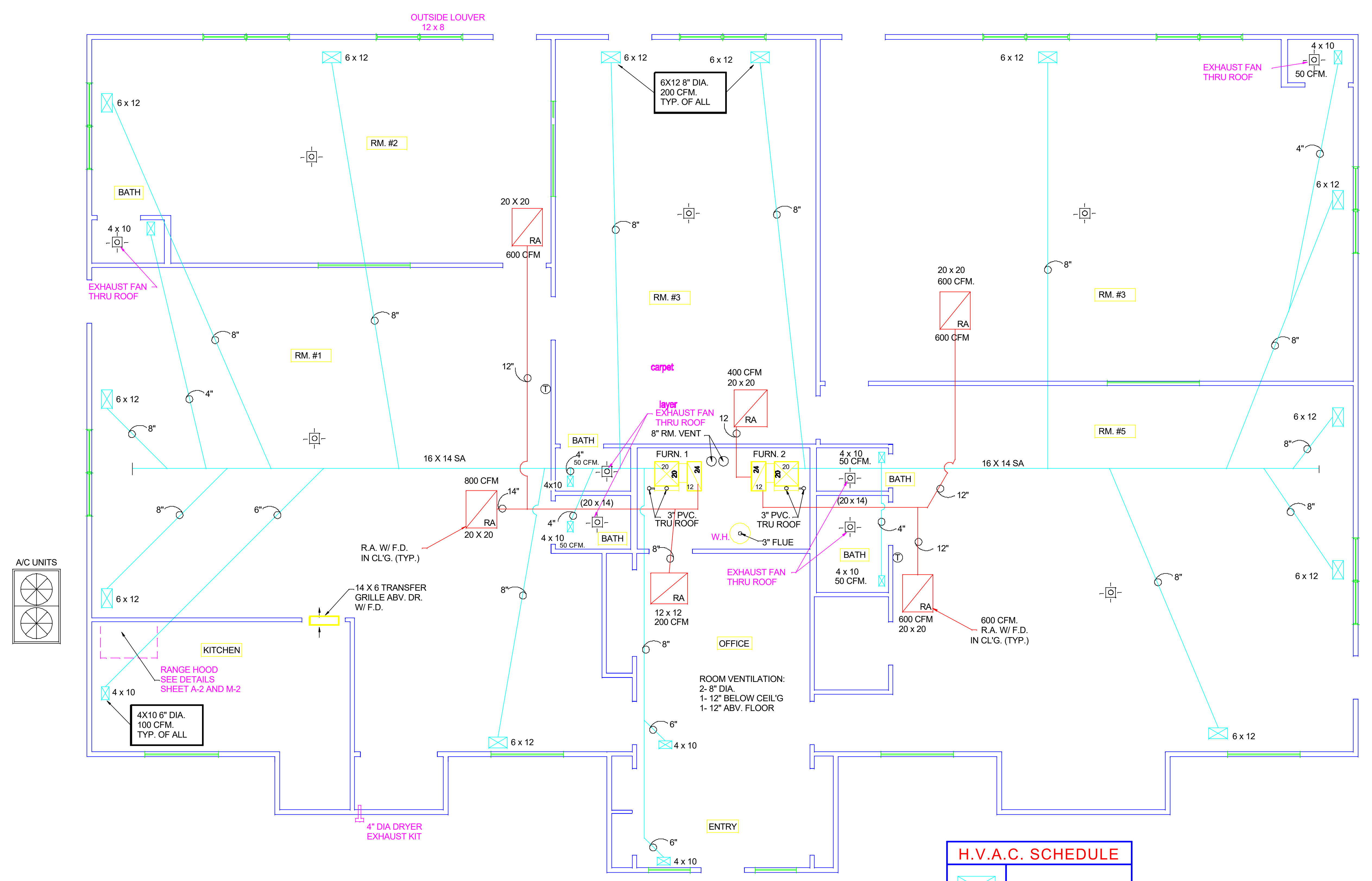
JEFFREY A ROBY
 7100 MUIRFIELD DR.
 DUBLIN, OHIO

791-0050

FILE NAME:
 TAYLOR

SHEET

F-1



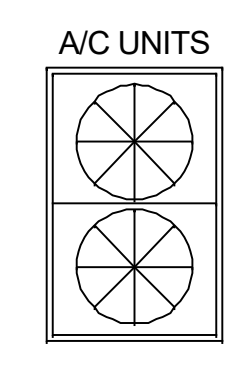
H.V.A.C. PLAN

SCALE: 3/8"=1'-0"

NOTE:
ALL DUCT WORK TO BE
INSTALLED W/ 1 1/2" DUCT WRAP

NOTE:
SEE PG. M-2
FOR HEATING
DETAILS

H.V.A.C. SCHEDULE	
	SUPPLY AIR
	RETURN AIR
	THERMOSTAT
	EXHAUST FAN 80 CFM. TYP. OF ALL



DAYCARE NO.

24

F:\STORYWEDGE\M-1

B:\WEDGE\M-1

DATE
03-01-95

STORYTIME
LEARNING CENTERS
TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

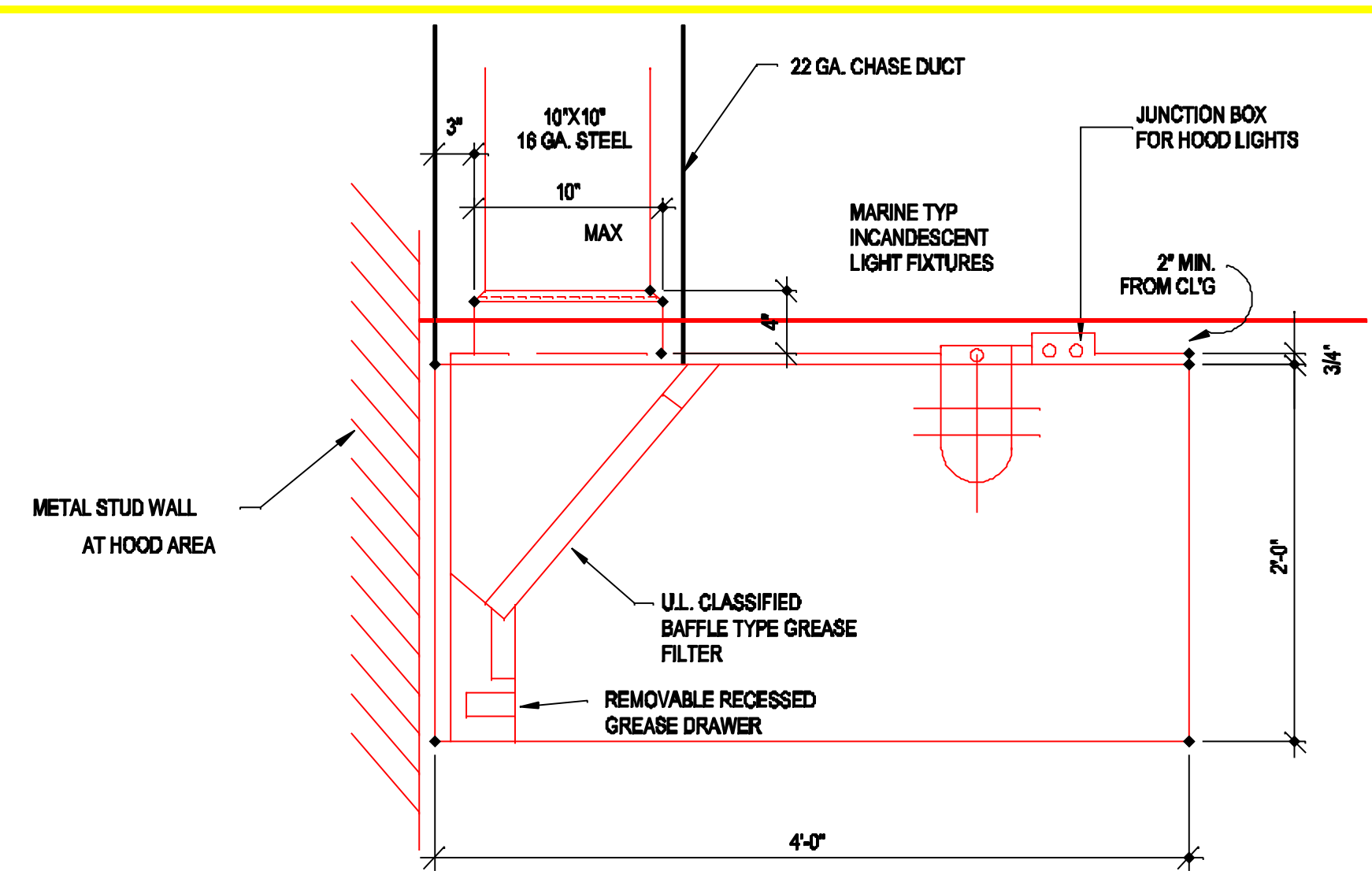
JEFFREY A ROBY
7100 MUIRFIELD DR.
DUBLIN, OHIO

791-0050

FILE NAME:
TAYLOR

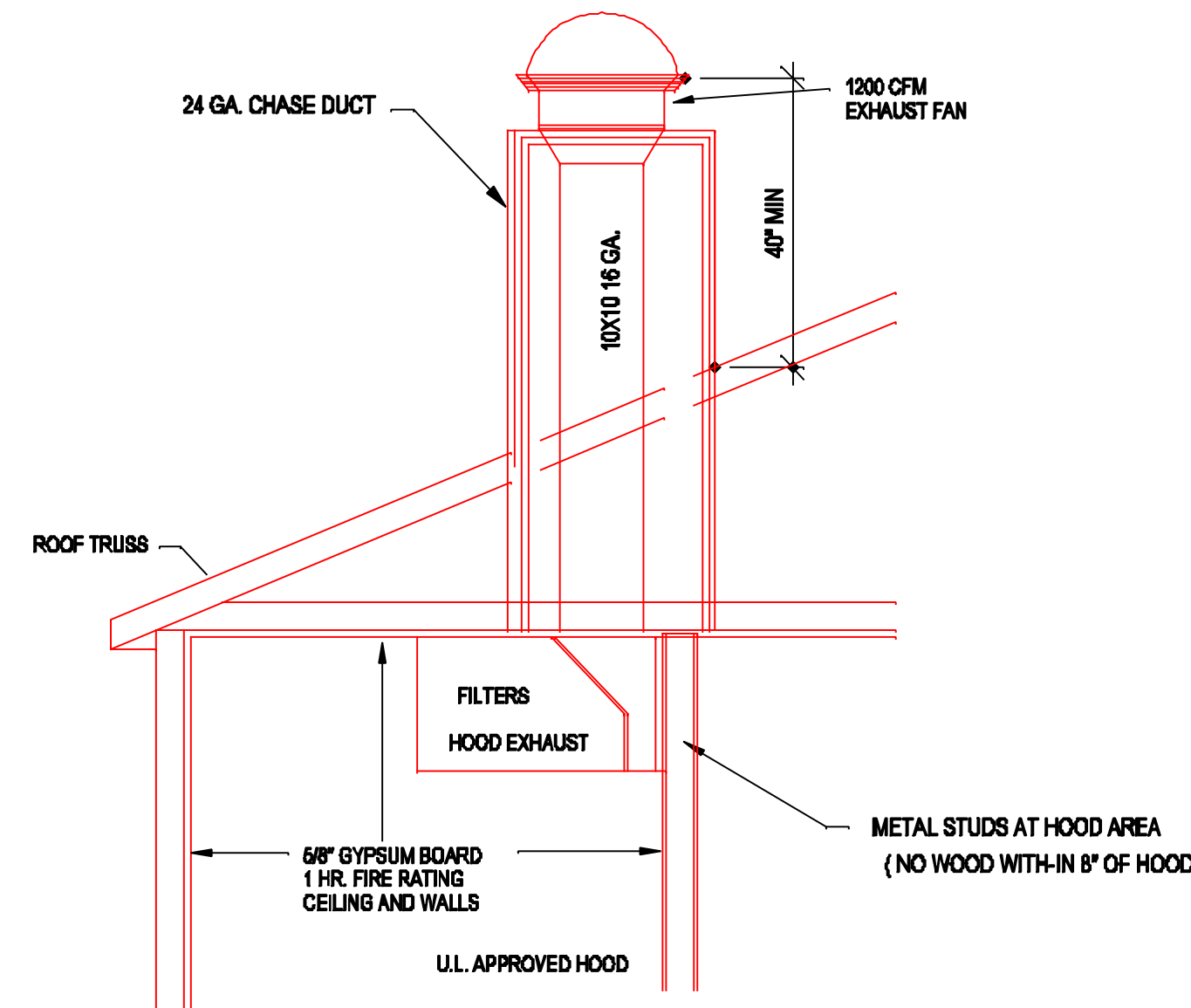
SHEET

M-1



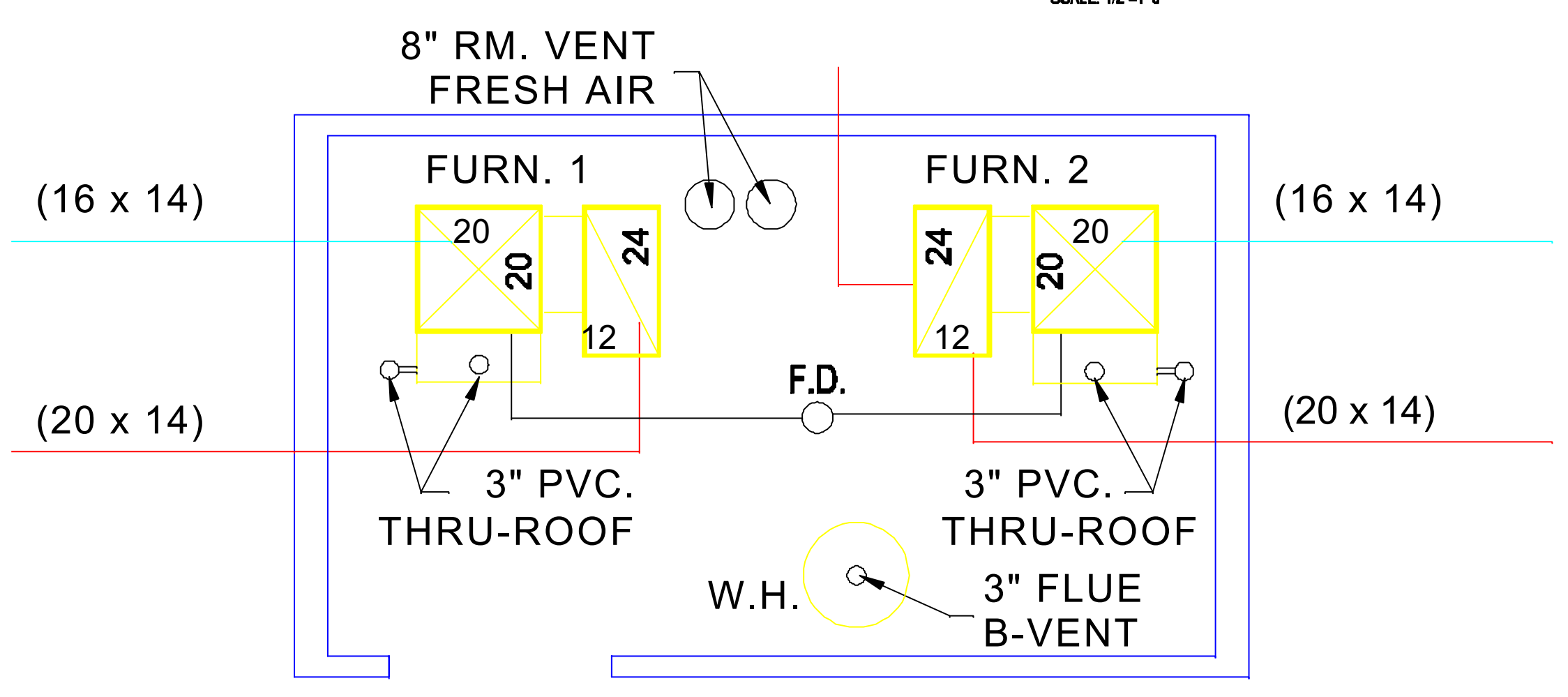
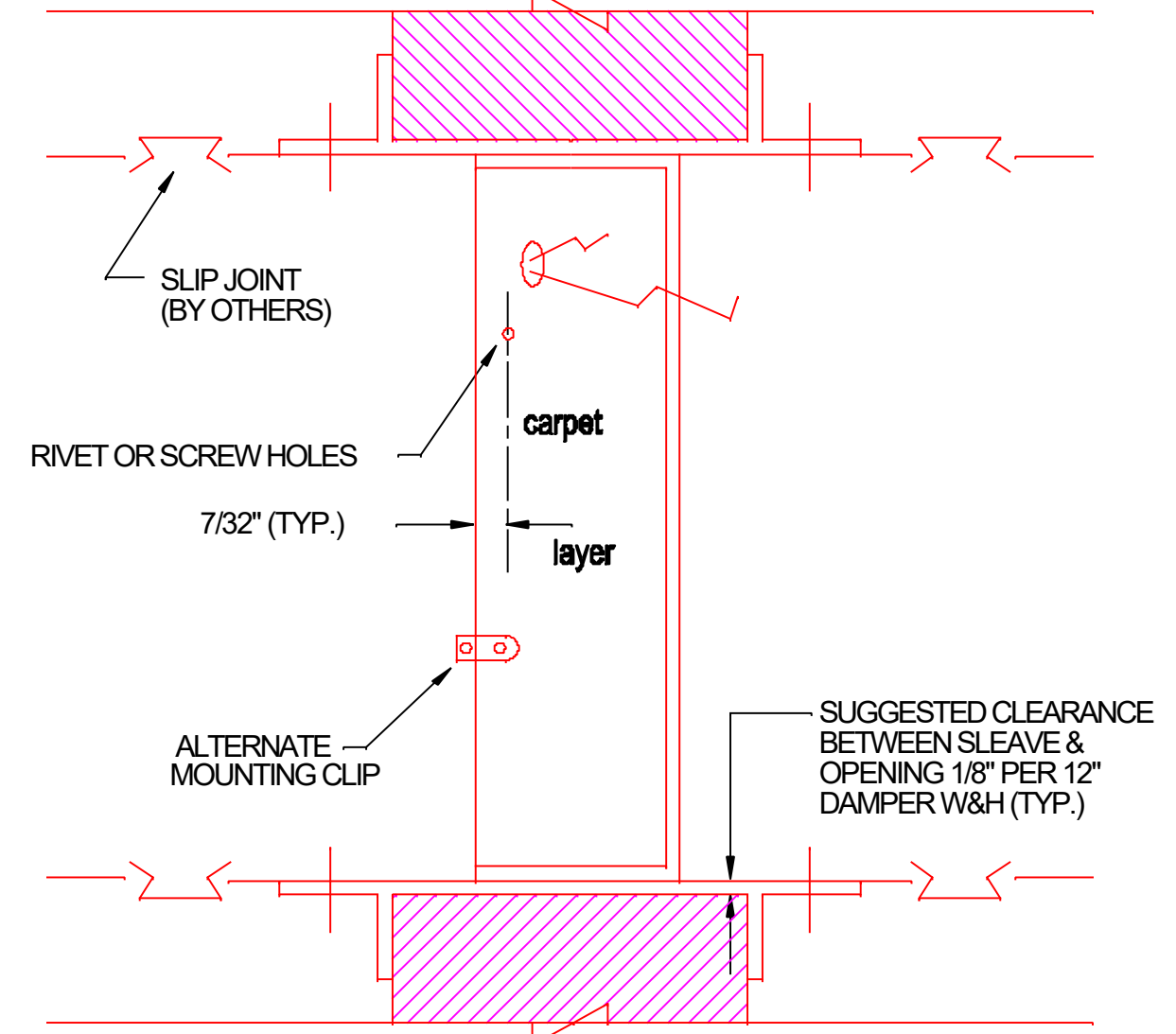
HOOD SECTION VIEW

HOOD NOTES:
 CONFORMING COMMERCIAL EXHAUST HOOD SHALL BE SUPPLIED ABOVE ALL COMMERCIAL COOKING APPLIANCES IN ACCORDANCE WITH SECTION M-501.0 OBBC.
 A) HOOD DESIGN SHALL COMPLY WITH SECTION M-501.0 OBBC.
 B) HOOD EXHAUST DUCTS SHALL BE CONSTRUCTED AND SUPPORTED BY STEEL NO LIGHTER THAN 16 GAUGE (18 GAUGE SS) AS REQUIRED BY SECTION M-505.2 OBBC.
 C) ALL DUCTS SHALL LEAD AS DIRECT AS POSSIBLE TO THE OUTDOORS AS REQUIRED BY: M-505.7 OBBC.
 D) DUCTS SHALL HAVE AT LEAST 18" CLEARANCE FROM ALL COMBUSTIBLE MATERIALS: M-506.1 OBBC.
 E) EXHAUST AND MAKE-UP AIR SHALL COMPLY WITH SECTION M-503.0 AND ARTICLE M-500 OBBC.
 F) APPROVED AUTOMATIC AND MANUAL FIRE SUPPRESSION SHALL BE INSTALLED IN KITCH HOODS AND DUCTS IN ACCORDANCE WITH SECTION 1710.6 AND ARTICLE M-500 OBBC.
 G) A HAND TYPE PORTABLE FIRE EXTINGUISHER SHALL BE INSTALLED IN THE COOKING AREA AND SHALL HAVE A RATING OF AT LEAST 20 BC AND BE LOCATED NOT MORE THAN 15' AND NOT LESS THAN 10' FROM THE HAZARDOUS DRY CHEMICAL TYPE FIRE EXTINGUISHER SHALL BE OF ALKALINE TYPE: SECTION 1710.6.7 OBBC.



EXHAUST FAN SECTION

TYP. SECTION THRU WALL & CEIL. DUCT

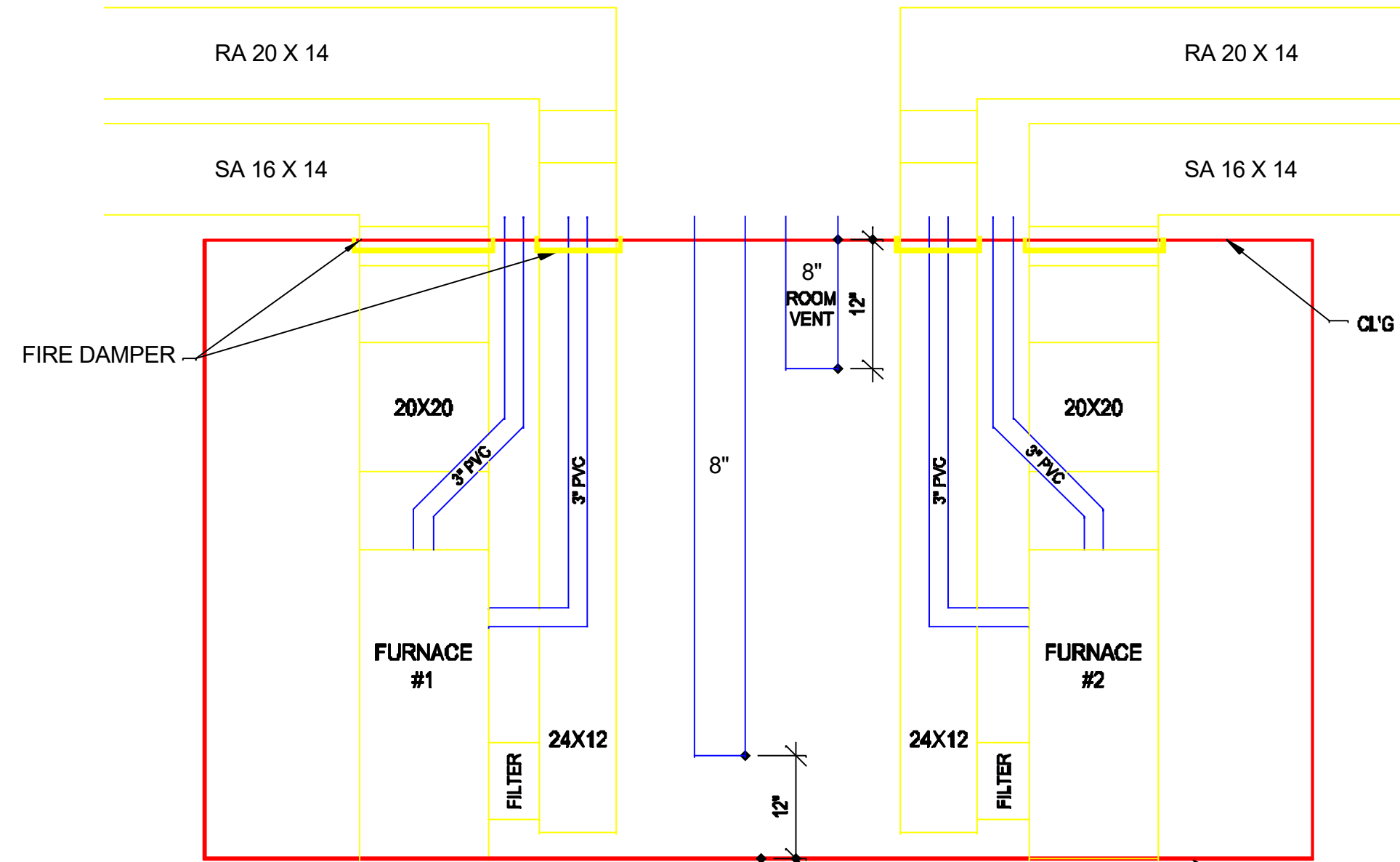


MECHANICAL ROOM DETAIL

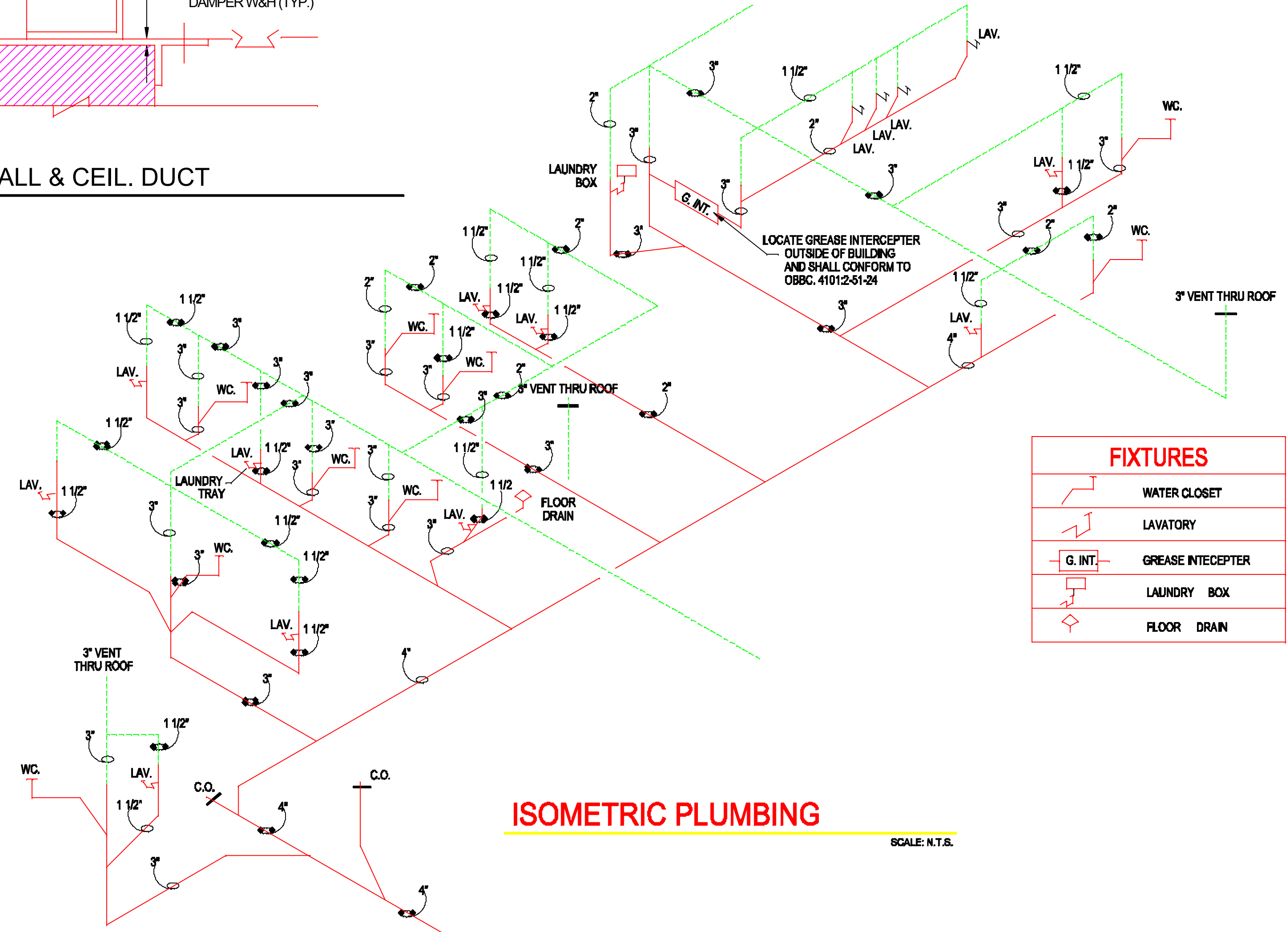
MECHANICAL EQUIPMENT SCHEDULE

- 2- FURNACES BRYANT -120,000 BTU, 350MAV000120120V/60 CY
 - 2- AIR COND. BRYANT 48,000 BTU, 561AJXD48 208/230V 1/1" DIA. 60 CY. COILS-CD6AXW048
 - 11- EXHAUST FANS (BROAN-80 CFM - 115 VOLT/60 CYC.
- SEE SPECIFICATION FOR MORE DETAILS ON FURNACE

- NOTE:
- 1) FIRE DAMPER PER SECT. 1417 OBBC.
 - 2) EQUIP. INSTALLED PER M-48 PER M-403.1 OBBC.
 - 3) ALL MECHANICAL EQUIPMENT SHALL HAVE A LABEL FROM AN APPROVED AGENCY



MECHANICAL ROOM ELEVATION



ISOMETRIC PLUMBING

FIXTURES	
	WATER CLOSET
	LAVATORY
	GREASE INTERCEPTER
	LAUNDRY BOX
	FLOOR DRAIN

DAYCARE NO.

24

F:STORYWEDGE-M-2

B:WEDGE-M-2

DATE

11/30/94

STORYTIME
 LEARNING CENTERS

TAYLOR ROAD REYNOLDSBURG OHIO

DRAWN BY:

JEFFREY A ROBY
 7100 MUIRFIELD DR.
 DUBLIN, OHIO

791-0050

FILE NAME:
 TAYLOR

SHEET

M-2

November 19th, 2025

Planning and Zoning Board
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: Richard and Katherine Verhoeven: Variance Application

Planning and Zoning Board:

Below is the staff review of the above referenced Variance Application.

1. Project Summary

- a. **Site Summary:** The subject site is located at 166 Cady Court. The 0.23 acre single-family lot is zoned SR, Suburban Residential.
- b. **Surrounding Zoning:** The surrounding zoning consists of SR, Suburban Residential to the North, East, West and South. The surrounding land uses consist of Dwelling – Detached Single Family.
- c. **Applicants Request:** The applicant is requesting a variance to allow for a 4’ encroachment into the 30’ rear yard setback to allow the addition of a 12’x14’ covered porch, for a total set back of 26’ instead of the required 30’. They are also proposing a detached deck next to the covered porch, but detached decks only require a 3-foot setback from property lines, therefore the covered porch is the only one that requires a variance.
- d. **Statement of Hardship:** The applicant’s statement of hardship states that the irregular shape of the lot causes hardship because it does not allow enough space to add a covered porch without a variance. That the lot is situated on a cul-de-sac and that the front property line is curved which pushes the existing house deep into the lot. That the rear property line is angled, and that these lot characteristics reduce the size of the useable rear yard. That there are several neighboring properties that have covered porches that encroach into the 30’ rear setback.
- e. **Comprehensive Plan:** The 2018 Comprehensive Plan, upon which the current zoning code is based, states that the SR, Suburban Residential district “...should largely consist of single-family homes situated on medium-sized lots.”

2. Project Review

- a. The applicant is seeking a variance to Section 1103.17.III, “Development Standards; SETBACKS; REAR YARD SETBACK (MIN. FT.);”
 - i. The applicant is proposing an attached 12’x14’ covered porch alongside a 14’x14’ detached deck. The detached deck is a permitted accessory structure with a 3-foot setback requirement. The applicant is requesting a 4-foot variance for the attached covered porch to encroach into the required rear yard setback of 30 feet.
- b. The following variance factors are considered below:
 - i. The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and

shall not be injurious to the area or otherwise detrimental to the public welfare.

1. The applicant states this variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which is it located, and is not injurious to the area or otherwise detrimental to the public welfare.
 2. Staff is of the opinion that granting the variance would not be detrimental to the public welfare.
- ii. The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a conditional use in the zone or district in which the subject property is situated.
1. The applicant states this variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exemption in the district, or which is expressly or by implication prohibited by this Code.
 2. Staff is of the opinion that granting this variance would not permit the establishment of any use which is not permitted. This variance is for a covered porch for a Dwelling – Detached Single Family land use, which is permitted in SR, Suburban Residential zoning district.
- iii. There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures.
1. The applicant states the lot is odd shaped and the house is pushed closer to the rear property line reducing the size of the rear yard. That additionally, the rear property line is angled which reduces the size of the rear yard. That these special circumstances and conditions are applicable to this land for which the variance is sought and are peculiar and do not apply generally to land in the area. That the strict application of the provisions of this Code would deprive the property owners of the reasonable use of their land and structures.
 2. Staff is of the opinion that the house as it currently exists meets Zoning Code requirements, along with the existing rear patio. The proposed rear covered porch will encroach into the rear setback. Although the lot is not a typical shape, the lots to the North, East, and South have similar shaped lots. The owner would not be deprived of the reasonable use of land or structures, due to the land use of Dwelling- Detached Single Family being a permitted and current land use on the site.
- iv. There must be a deprivation of the beneficial use of land, as opposed to mere loss in value as justification for the variance.
1. The applicant states that there is a deprivation of beneficial use of

- land because the lot is an odd shape. That because of this, the buildable area is drastically less than rectangular neighboring properties. That the shape of the street pushes the house closer to the rear property line. That the rear property line is angled further reducing the buildable rear yard and ability to add a covered porch without a variance.
2. Staff is of the opinion that the land use for this parcel is Dwelling – Detached Single Family and meets all Zoning Code requirements as it currently exists. The required rear setback does not deprive the applicant of the ability to use the property for its intended land use.
- v. There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
1. The applicant states that there is proof of hardship created by the strict application of this Code. That the lot is irregular shape and located on a cul-de-sac. That the curved front build line pushes the house deep into the property. That the angled rear property line and 30' setback compromise the area to add a covered porch.
 2. Staff is of the opinion that while the lot has an irregular shape, it is not unique, as several surrounding lots share similar configurations. The property currently complies with all applicable Zoning Code requirements, and the applicants are choosing to pursue an encroachment into the required rear yard setback. The applicant has also not demonstrated why a covered porch is necessary for the reasonable use of the property, given that it is not required for the Dwelling – Detached Single Family land use.
- vi. The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
1. The applicant states that the variance is necessary for the reasonable use of the land. That the variance requested is the minimum variance that will accomplish this purpose.
 2. Staff is of the opinion that the applicant is using the property for the intended land use of Dwelling – Detached Single Family. The applicant has requested the minimum variance.
- vii. The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
1. The applicant states that granting this variance will not impair an adequate supply of light and air to adjacent properties,

- substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
2. Staff is of the opinion that granting the variance would not impair the surrounding properties in any manner. The fire department does not have concerns regarding the variance requested.
- viii. The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
1. The applicant states that granting this variance will not confer on the property owner any special privilege that is unduly denied by the Code to other land, structures, or buildings in the same district.
 2. Staff is of the opinion that granting the variance will confer the property owner special privileges and will set a precedent for all Dwelling – Detached Single Family land uses that want to encroach into the rear setback.
- ix. No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
1. The applicant states that no nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of this variance.
 2. A covered porch is not a principal land use or structure; it is a modification to the existing dwelling. Granting the variance would not cause the property's land use to become legal-nonconforming, since the principle land use of the site is a dwelling, which is permitted.
- x. The variance is not a matter of convenience when other remedies are available within the provisions of this Code.
1. The applicant states that the variance request is not a matter of convenience. That there are no other remedies available within the provisions of this code.
 2. Staff is of the opinion that the applicant has not identified any alternative remedies pursued to avoid the need for a variance. The applicant has not demonstrated why the proposed covered porch is necessary for the reasonable use of the property, rather than a matter of personal convenience. This conclusion is supported by Franklin County Auditor records indicating that a concrete patio, installed in 2002, already exists on the property and complies with current Zoning Code requirements.

3. Recommendations

- a. Staff recommends denial of the requested variance. The request appears to be driven primarily by convenience, and there is no demonstrated deprivation of property use, as the site is currently being used as intended for a Dwelling – Detached Single Family. The lot is similar in size and shape to surrounding

properties and does not exhibit unique physical characteristics that would justify a variance. Both the home and existing patio comply with the Zoning Code as built, and the applicant is choosing to pursue an encroachment into the required rear setback. The applicant has also not demonstrated why a covered porch is necessary for the reasonable use of the property. The applicant has not provided staff with any alternate design options that wouldn't require a variance, and as a result staff is not able to evaluate the impacts the code has on this project. Additionally, granting the variance would confer a special privilege to the applicant and could establish an undesirable precedent for similar requests in the future.





Building/Zoning Department
7232 East Main Street
Reynoldsburg, Ohio 43068

*All submissions must include a physical and digital copy. The digital portion of the application can be submitted to the Building Department at: permit@reynoldsburg.gov

App./Case#: _____

Date Submitted: _____

*Please know that an application will not be processed until payment has been received.

Fee Amount: _____

PLANNING AND ZONING BOARD VARIANCE AND CONDITIONAL USE APPLICATION

Paid: _____

Property Address: 166 Cady Ct., Blacklick, OH 43004	Parcel ID#(s): 068-000198
--	------------------------------

I. PROPERTY OWNER OF RECORD

Property Owner Name(s): Verhoeven, Richard and Katherine	
Contact Email: Jim@suncraftdesignbuild.com	Contact Phone Number: (614) 475-0000

II. BUSINESS/TENANT INFORMATION (IF APPLICABLE)

Business Name: Suncraft Corporation, Inc.	Contact Name: James Knox
Contact Email: Jim@suncraftdesignbuild.com	Contact Phone Number: (614) 475-0000
Description of Use:	

III. APPLICANT INFORMATION

Applicant Name: Suncraft Corporation, Inc. - James Knox	Applicant Address: 122 W. Johnstown Rd., Columbus OH 43230
Applicant Phone Number: (614) 475-0000	Applicant Email: Jim@suncraftdesignbuild.com
<input type="checkbox"/> Property Owner <input type="checkbox"/> Business Owner/Tenant <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Owner's Consent Attached.	

PROJECT INFORMATION

CHECK AND DESCRIBE IF APPLICABLE: Variance
 Conditional Use
 Variance or Conditional Use Extension (\$50)
 Residential (single-family residential only)(\$200)
 Non-Residential (all residential except single-family residential)(\$450)
 Engineering Report (\$750 [min.]

Add 12' x 14' open porch with 14' x 14' detached deck to rear of house.

Variance is required due to 30' rear yard setback - the porch will encroach approximately 4' into setback.

Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Suncraft Corp. Inc. by [Signature] Date: 11/12/2025
 *By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:

Zoning Information	Additional Approval Required	PZB Meeting
Zoning District: _____	<input type="checkbox"/> Major/Minor Site Plan	Date: _____
<input type="checkbox"/> Olde Reynoldsburg District	<input type="checkbox"/> Other: _____	<input type="checkbox"/> Approved as Submitted
		<input type="checkbox"/> Approved w/ Conditions
		<input type="checkbox"/> Tabled
		<input type="checkbox"/> Denied

P&Z Administrator: _____ Date: _____

Section 1109.11 VARIANCES

Initiating a Variance Request

A variance application shall be submitted to the Planning & Zoning Administrator at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning and Zoning Board. The Board meets on the first and third Thursday of each month (except December).

What information must be provided for a Variance?

A property owner seeking a Variance shall submit a written request for Variance on forms provided by the Planning & Zoning Administrator. Such request shall include the following:

- Name, address, and telephone number of the property owner(s) and owner's agent(s);
- Legal description, address, tax district and parcel number of the property;
- Description of the nature of the variance requested and a statement address each of the standards for variance in the Code (see section 1109.13);
- Statement of the hardship;
- Such other information and exhibits as may be appropriate to establish the facts of the appeal and the grounds for relief.

***Note: The application must be signed by the property owner for the property which pertains to the variance.*

- Along with a completed application form, please submit ten (10) hardcopy packets of all required items. Please also submit a PDF or similar scan of the completed application and packet.

What is the time frame for a variance request?

In general the application process takes 30-45 days. Once a variance application is submitted, it will be placed on the next PZB agenda. The PZB can hold the application but a decision must be reached by the Board within sixty (60) days.

Why might you request a Variance?

To allow development of property prohibited by current zoning if such development will not adversely affect the surrounding property or neighborhood and if the PZB is satisfied that it will alleviate some hardship or difficulty.

How much will a Variance cost?

The fee for a variance is two hundred dollars (\$200) for a residential variance, and four hundred and fifty dollars (\$450) for all other variance requests.

What are the next steps after a Variance approval?

The approved variance will need to be officially documented through the issuance of a zoning certificate or a zoning sign permit depending on the type of variance. Any action of the PZB granted a variance shall be valid for a period of 12 months.

Who may I call if I have questions?

Contact the Planning & Zoning Administrator at

614-322-6829.

OR Visit our website at:

<http://www.reynoldsbura.gov>

Section 1109.11.D STANDARDS FOR VARIANCE

No variance in the strict application of the provisions of this Code shall be granted unless the Board makes specific findings of fact, based on the evidence presented to it, which supports conclusions that the variance conforms to the following standards. Such findings shall be stated for the record and reported in the Board's minutes.

- The variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- The variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exception in the district, or which is expressly or by implication prohibited by this Code. (Note: Section 1107 for provisions regarding the replacement of non-conforming uses with other non-conforming uses.)
- There exist special circumstances or conditions, fully described in the findings, applicable to the land or structures for which the variance is sought, which are peculiar to such land or structures and which do not apply generally to land or structures in the area, and which are such that the strict application of the provisions of this Code would deprive the property owner of the reasonable use of such land or structures.
- There must be deprivation of beneficial use of land, as opposed to mere loss in value as justification for the variance.
- There is proof of hardship or practical difficulty created by the strict application of this Code, beyond simply a showing that greater profit will result if the variance is granted. Economic hardship is not grounds for the variance. Furthermore, the hardship complained of is not self-created nor is it established on this basis by one who purchased with or without knowledge of the restrictions. The hardship results from the application of this Code and is suffered directly by the property in question.
- The variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose.
- The variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- The variance will not confer on the property owner any special privilege that is unduly denied by this Code to other land, structures, or buildings in the same district.
- No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of the variance.
- The variance is not a matter of convenience when other remedies are available within the provisions of this Code.

VARIANCE REQUEST

Katherine and Richard Verhoeven
166 Cady Court Blacklick, OH 43004
Katherine: 614-989-2001 Richard: 614-989-6596

Owners Agent: SUNCRAFT CORPORATION, INC. by Jim Knox 614-475-0000

Legal description: CADY COURT
KINGSWOOD FARM SEC 2. LOT 99
Tax district: 068
Parcel number: 000198

We hereby request a variance from Zoning Code 1103.17.III to encroach 4' into the 30' rear yard setback to allow construction of a 12'x14' covered porch. We will also be adding a 14'x14' free-standing deck which does not require a variance.

Statement of hardship: The irregular shape of the lot causes a hardship because it does not allow enough space to add a covered porch without a variance. The lot is situated on a cul-de-sac. The front property line is curved which pushes the existing house deep into the lot. The rear property line is angled. These lot characteristics reduce the size of the useable rear yard. There are several neighboring properties that have covered porches that encroach into the 30' rear setback.

Section 1109.11.D STANDARDS FOR VARIANCE

1. This variance is in accord with the general purpose and intent of the regulations imposed by this Code in the district in which it is located, and is not injurious to the area or otherwise detrimental to the public welfare.
2. This variance will not permit the establishment of any use which is not otherwise listed as a permitted use or a special exemption in the district, or which is expressly or by implication prohibited by this Code.
3. The lot is odd shaped and the house is pushed closer to the rear property line reducing the size of the rear yard. Additionally, the rear property line is angled which reduces the size of the rear yard. These special circumstance and conditions are applicable to this land for which the variance is sought and are peculiar and do not apply generally to land in the area. The strict application of the provisions of this Code would deprive the property owners of the reasonable use of their land and structures.
4. There is a deprivation of beneficial use of land because the lot is an odd shape. Because of this, the buildable area is drastically less than rectangular neighboring properties. The shape of the street pushes the house closer to the rear property line. The rear property line is angled further reducing the buildable rear yard and ability to add a covered porch without a variance.
5. There is proof of hardship created by the strict application of this Code. The lot is irregular shape and located on a cul-de-sac. The curved front build line pushes the house deep into the property. The angled rear property line and 30' setback compromise the area to add a covered porch.
6. This variance is necessary for the reasonable use of the land. The variance requested is the minimum variance that will accomplish this purpose.
7. Granting this variance will not impair an adequate supply of light and air to adjacent properties, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
8. Granting the variance will not confer on the property owner any special privilege that is unduly denied by they Code to other land, structures, or buildings in the same district.
9. No nonconforming use of neighboring land or structures in the same district and no permitted or nonconforming use of land or structures in other districts are considered as grounds for approval of this variance.
10. This variance request is not a matter of convenience. There are no other remedies available within the provisions of this Code.

November 11, 2025

A site plan with dimensions is attached with this request.

Submitted by:

James Knox, Permit Coordinator

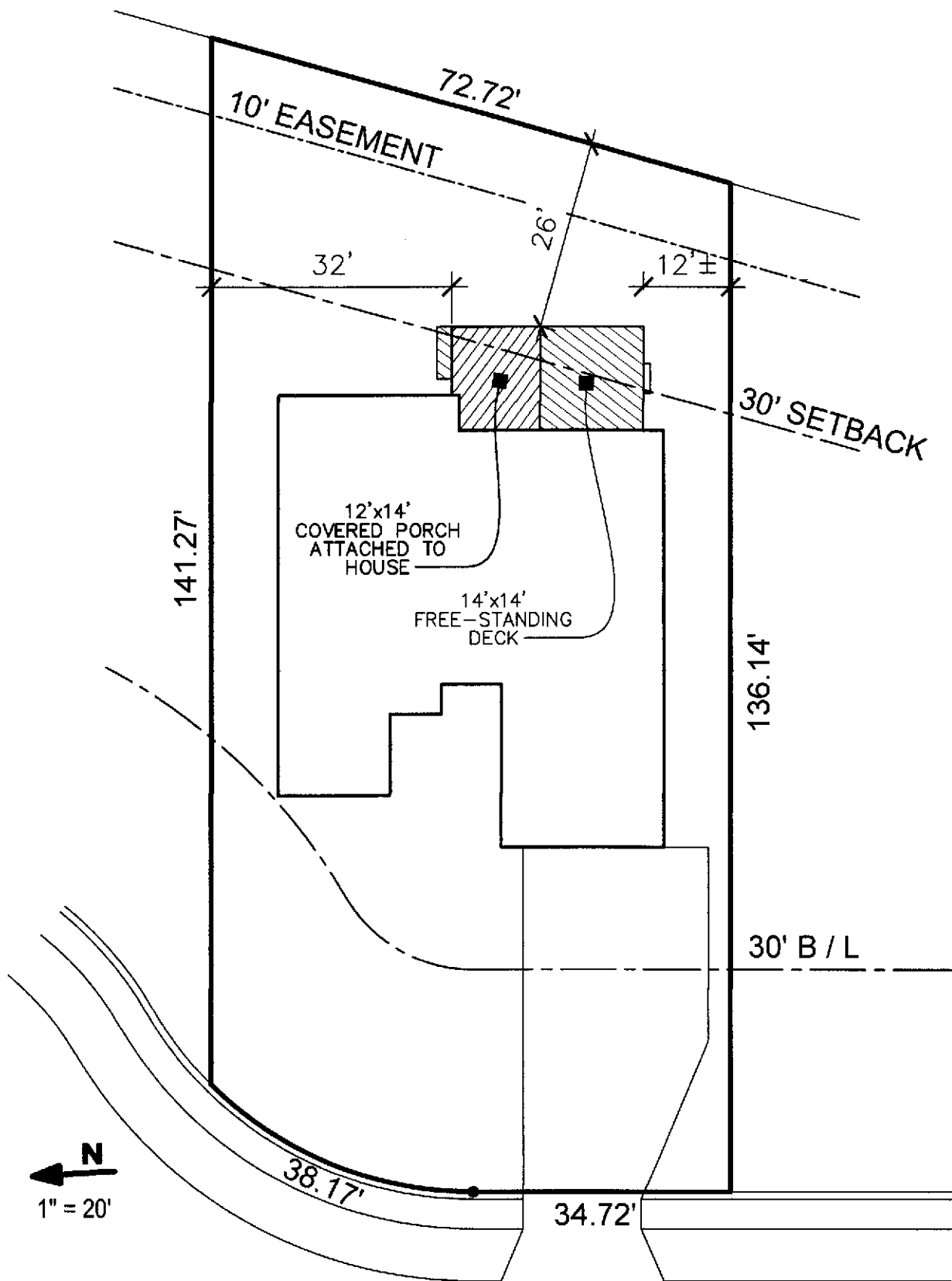
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122 West Johnstown Road

Columbus, OH 43230

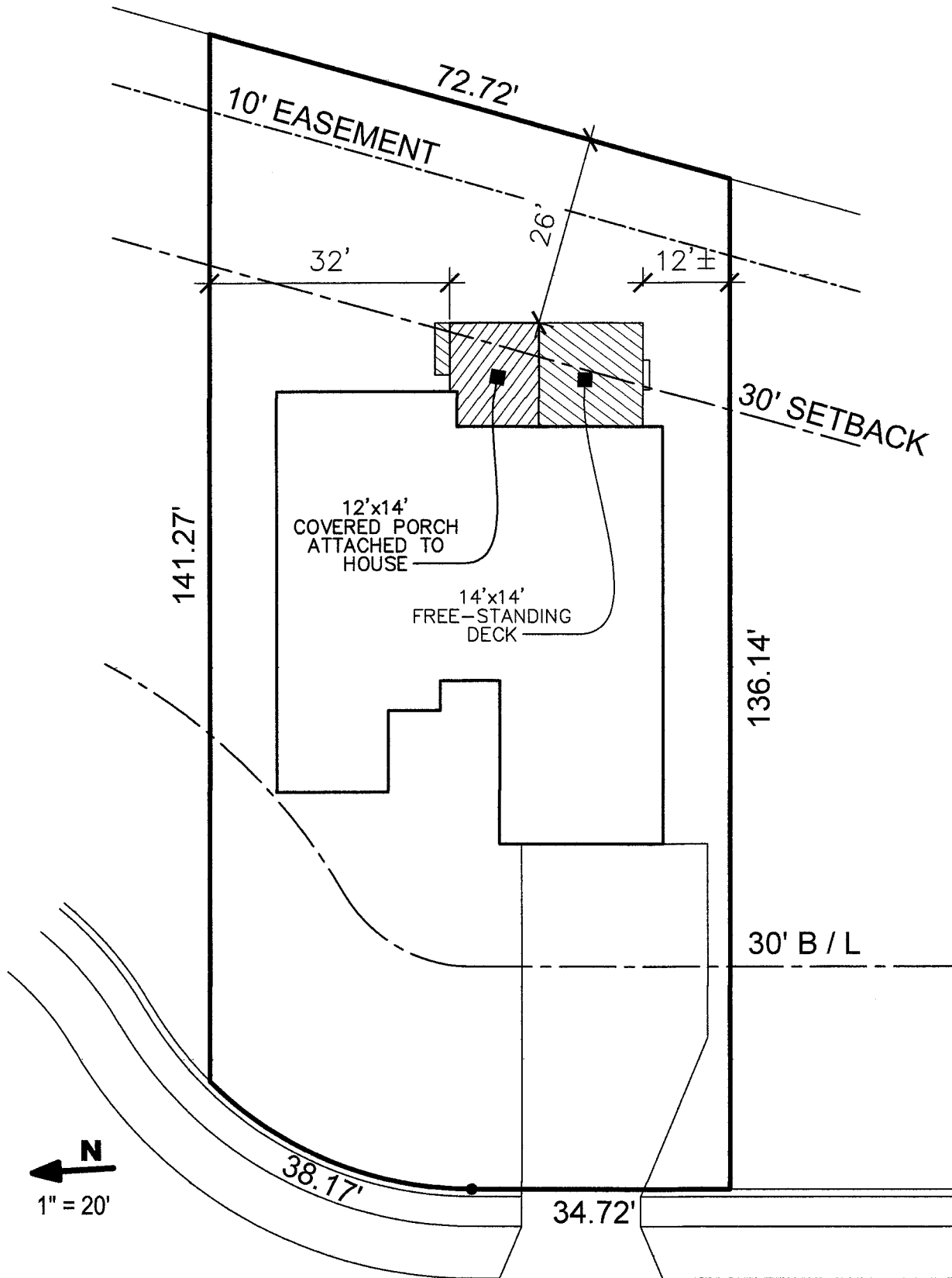
614-475-0000

jim@suncraftdesignbuild.com



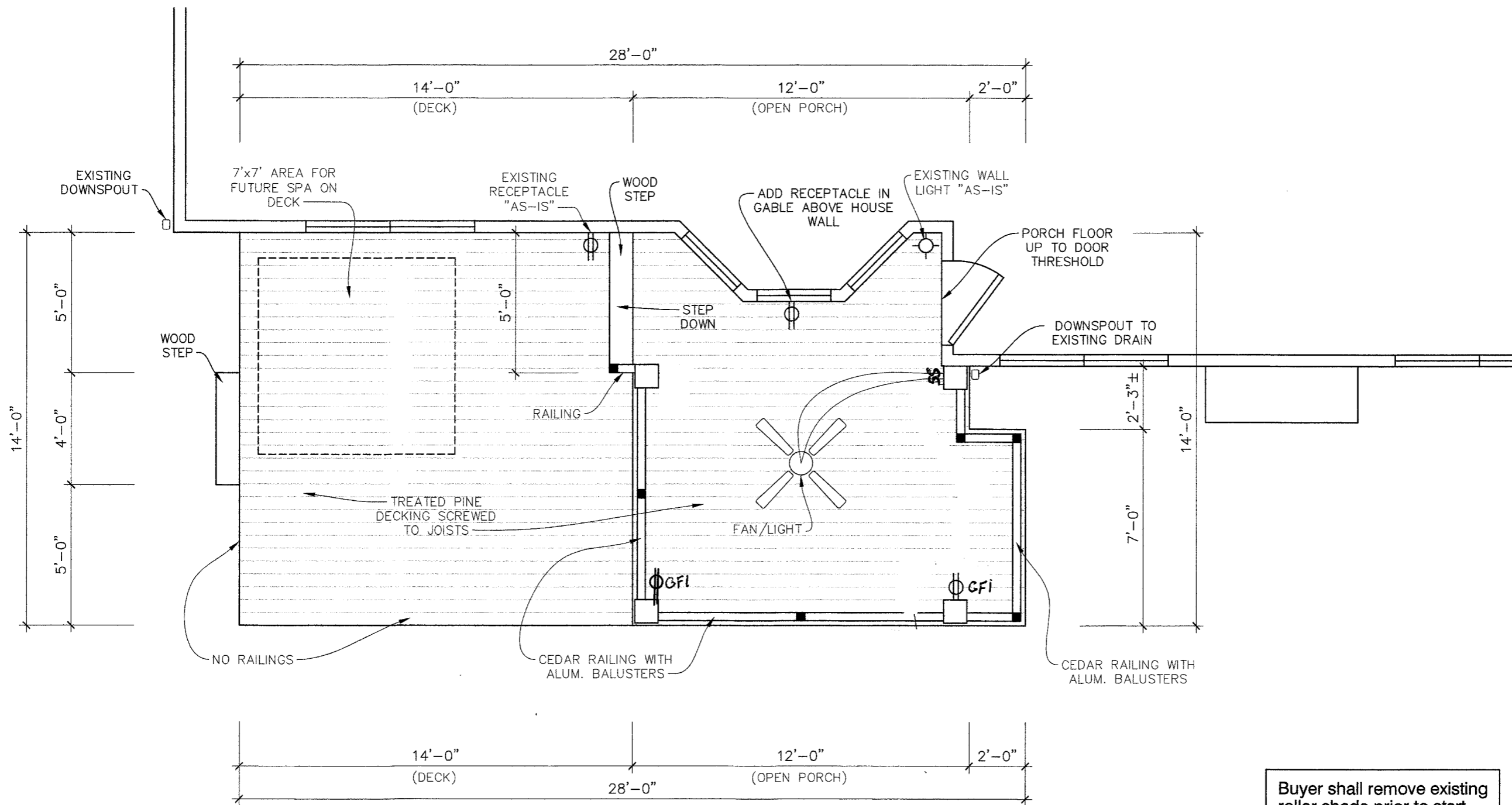
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 166 CADY COURT
 BLACKLICK, OH 43004
 PARCEL# 068 - 000198

CADY COURT



VERHOEVEN, KATHERINE / RICHARD
 166 CADY COURT
 BLACKLICK, OH 43004
 PARCEL# 068 - 000198

CADY COURT



PLAN VIEW

Buyer shall remove existing roller shade prior to start of work.

No interior or exterior painting, staining, caulking, or nail hole filling included.

____ Buyer Acknowledgement
 _____ Buyer Acknowledgement

DESIGNER	ZB
SCALE	1/4" = 1'-0"
DATE	8/12/25
CHECKED	
REVISED	

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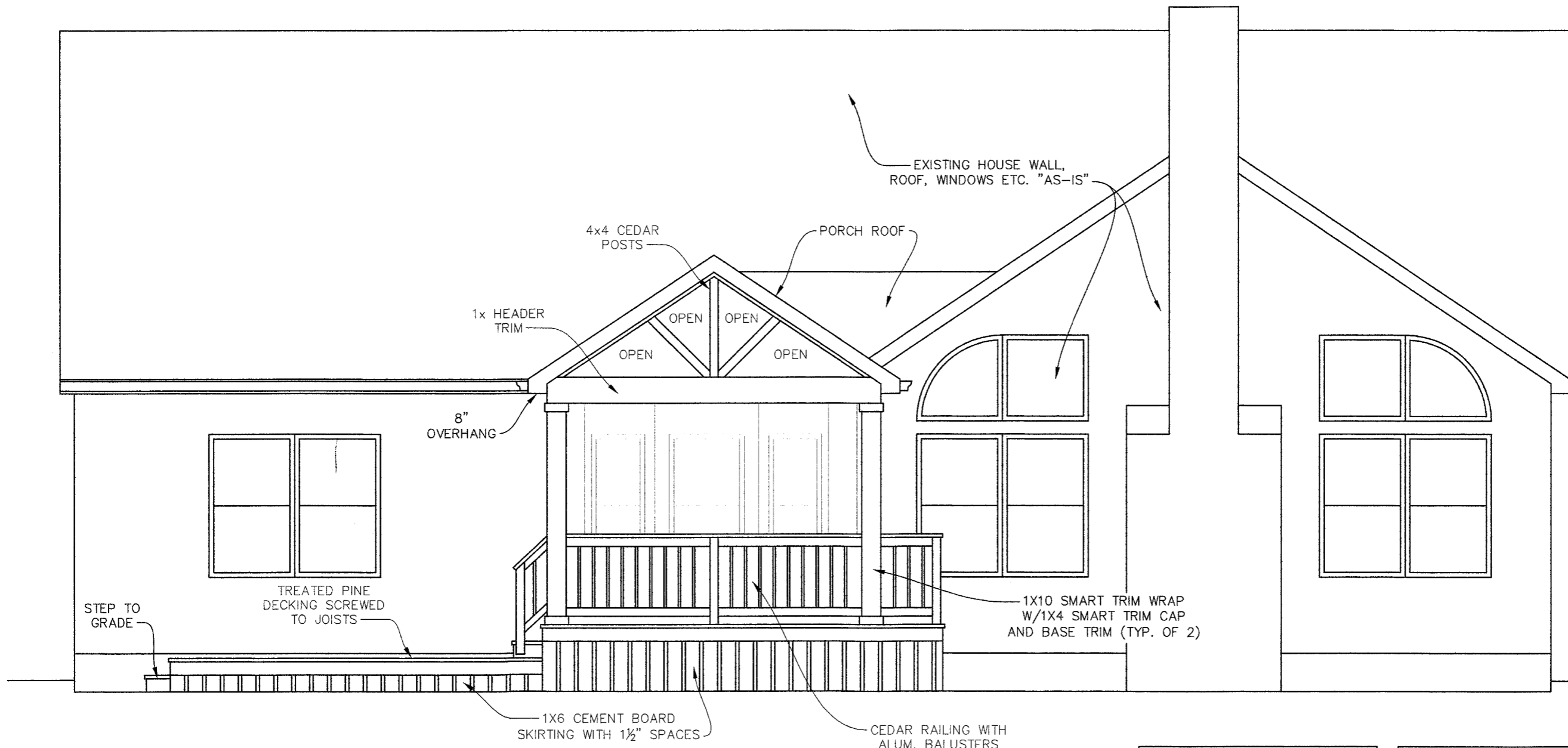
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- PRELIMINARY
- PERMIT
- CONSTRUCTION

CONTRACT - PLAN #	SHEET #
25091	1/3

APPROVED	DATE
APPROVED	DATE



REAR ELEVATION

Buyer shall remove existing roller shade prior to start of work.

No interior or exterior painting, staining, caulking, or nail hole filling included.

____ Buyer Acknowledgement
 ____ Buyer Acknowledgement

DESIGNER	ZB
SCALE	1/4" = 1'-0"
DATE	8/12/25
CHECKED	
REVISED	
APPROVED	DATE
APPROVED	DATE

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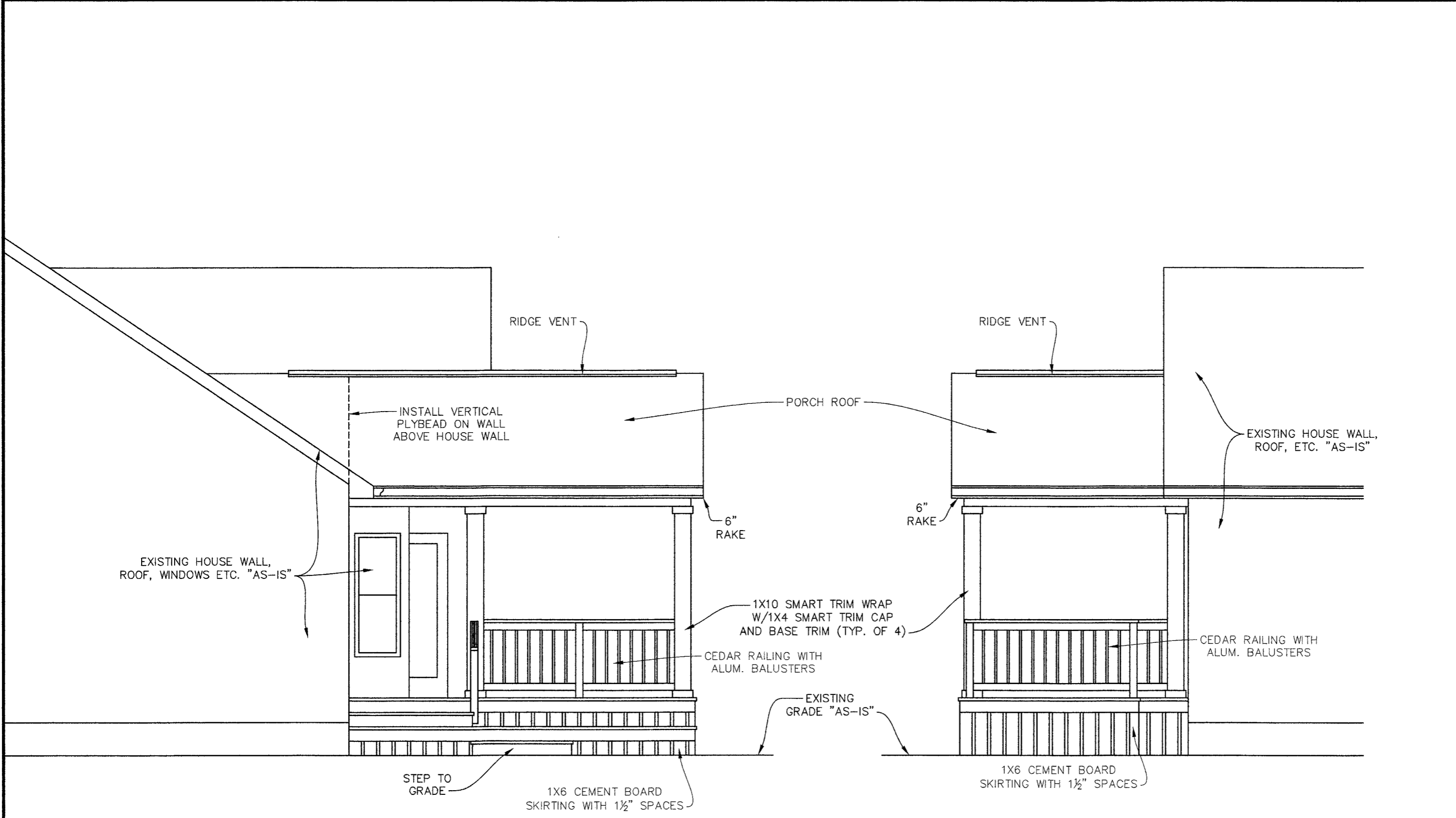
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- PRELIMINARY
- PERMIT
- CONSTRUCTION

CONTRACT - PLAN #	SHEET #
25091	2 / 3



LEFT ELEVATION

RIGHT ELEVATION

Buyer shall remove existing roller shade prior to start of work.

No interior or exterior painting, staining, caulking, or nail hole filling included.

____ Buyer Acknowledgement
 ____ Buyer Acknowledgement

DESIGNER ZB	SCALE 1/4" = 1'-0"	DATE 8/12/25	CHECKED	REVISED
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APPROVED _____ DATE _____ APPROVED _____ DATE _____				
<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> PERMIT <input checked="" type="checkbox"/> CONSTRUCTION		CONTRACT - PLAN # 25091 SHEET # 3 / 3		

From: [Chad Mast](#)
To: [Phoenikx Buathier](#)
Cc: [Eric Meyer](#); [Emma Cepek](#)
Subject: RE: 166 Cady Court - Variance Application
Date: Tuesday, November 18, 2025 11:18:25 AM

[NOTICE: This email originated outside of the City of Reynoldsburg.]

Good Morning Phoenikx,

I have no issues or cause for concern with this variance.

Thanks,

Chad Mast, Fire Marshal
Fire Prevention Bureau
Jefferson Township Fire
6767 Havens Corners Road
Blacklick, Ohio 43004
Office (614) 626-5160
Mobile (614) 588-5880

From: Phoenikx Buathier <pbuathier@reynoldsburg.gov>
Sent: Friday, November 14, 2025 1:37 PM
To: Chad Mast <cmast@jeffersontownship.org>
Cc: Eric Meyer <emeyer@reynoldsburg.gov>; Emma Cepek <ecepek@reynoldsburg.gov>
Subject: 166 Cady Court - Variance Application

WARNING: This email originated from a source outside of Jefferson Township! DO NOT CLICK links or attachments unless you recognize the sender. Never give out your user ID or password.

Mr. Mast,

I am sending you 166 Cady Court Variance Application and related items that are scheduled for the December 4th Planning and Zoning Board meeting. Our code requires us to send out a staff report at least a week in advance of the meeting. Therefore, I am asking for any comments the Fire Department may have by November 25th so that we can incorporate them in the staff report that goes out first thing on November 26th.

If you have any questions, please feel free to call or email. Thank you for your help.

Sincerely,
Phoenikx Buathier
PLANNING AND ZONING ADMINISTRATOR
—
City of Reynoldsburg

7232 East Main Street | Reynoldsburg, OH 43068
T 614-322-6829 | F 614-322-6830

www.reynoldsburg.gov

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