



Pat Zollars, Chair
Alex Furst, Vice-Chair
Teresa Alabi
Toni Kleckley
Keith Benner
Amy Barnhart
Lee Bivens

Planning & Zoning Board

7232 East Main Street
Reynoldsburg, OH 43068
www.reynoldsburg.gov

Eric Meyer, Development Director
Melissa Butler, Administrative
Assistant

Thursday, July 20, 2023

6:00 PM

Council Chambers

A. CALL TO ORDER

1. ROLL CALL
2. APPROVAL OF MINUTES
 1. Planning & Zoning Board - Regular Meeting - 07/06/2023
 2. Planning & Zoning Board - Regular Meeting - 6/15/2023
3. APPROVAL OF AGENDA
4. SWEARING IN OF SPEAKERS

B. PUBLIC COMMENT

C. UNFINISHED BUSINESS

D. NEW BUSINESS

1. App# 2023-5371; 6672 E. Main St; Chase Bank; Major Site Plan

E. OTHER BUSINESS

F. ADJOURNMENT

ADJOURNMENT



**MINUTES Regular Meeting
REYNOLDSBURG Planning & Zoning Board
July 6, 2023**

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Planning & Zoning Board - Regular Meeting - 6/1/2023

Minutes stand approved

Planning & Zoning Board - Regular Meeting - 6/15/2023

Mr. Furst submitted some changes and tabled this until the July 20th, 2023 meeting.

APPROVAL OF AGENDA

Agenda stand approved.

SWEARING IN OF SPEAKERS

Speakers for the evening were sworn in by Mr. Furst.

PUBLIC COMMENT

UNFINISHED BUSINESS

App#2023-5162; 8555 E. Main Street; Skilken Gold LLC; Variances

Ms. Buathier read the staff report into the record.

Mr. McFarland wanted to reiterate that Sheetz has decreased the number of

variances to a minimum they feel is reasonable and appropriate. Sheetz feels that it is critical to have a south-facing wall sign to make it safer for northbound traffic getting into the right turn lane before getting to the intersection. They feel that they have met the intent of the code with the six-foot-height monuments sign and it's very important to have clear identification of the price.

Mr. Furst invited Mr. Waibel from 290 Windsor Drive to the podium for comment.

Mr. Waibel explained that he was there to represent the Windsor Forest HOA. His concern is that the code in their development has a minimum lot size of half an acre. The home owners do not like high-density development in their area. Mr. Waibel's additional concern is with the dip in Taylor Road where it crosses a creek. He explained that when cars hit that dip they disappear for 4 seconds and are right up on you when they reappear. If the city is going to increase traffic on Taylor Road, he would like for the road to be looked at and the dip to potentially be taken out. He doesn't have a specific concern about the Sheetz project, but asked the board to do their due diligence and good judgment while considering the long time residents in the area.

Mr. Benner stated that the staff report that was presented is the old one and the discrepancy regarding approval was corrected. Mr. Benner asked the staff to clarify what had been changed. Ms. Buathier stated that the applicant followed the board's recommendation to reduce the number of sign variances. The applicant did reduce the height to six feet, which meets the code. While the sign height was reduced, the electronic percentage area has increased due to the size of the sign becoming smaller. They reduced three of the wall signs, still requesting one variance for a wall sign. Staff does recommend approval due to following the board's recommendation.

Mr. Benner stands by the previous discussion that he doesn't believe a sign going northbound is necessary. Also, the monument sign variance he doesn't feel is necessary and he sees there's no reason to change the code when there are multiple apps that will guide people to find gas prices. People know a made to order restaurant with gas facilities is going to be there and they don't see a reason to alter the code for safety reasons, as the applicant indicated.

Mr. Furst's interpretation of the variance factors in 1109.13D of the code does not say give us two instead of 15 variances, but rather give us the minimum number of variances. The variances are there regardless of the number of variances the applicant is requesting.

Ms. Barnhart asked about the language that referred to East Broad Street and asked the applicant to be sure to update the language to Main Street to prevent

future confusion.

Ms. Barnhart does find it important to see the gas station prices and asked the applicant, by reducing the sign to six feet versus nine feet, how does that affect safety?

Mr. McFarland explained that people's decision when purchasing gas is usually an impulse decision. If they can clearly know there's a gas station and what the price is, they can avoid an abrupt turn or change of lanes. Mr. McFarland is very concerned about the safety of drivers and that it is illegal to use a device while driving, so gas apps shouldn't be used. He feels it is not realistic to see a six-foot sign in traffic or congestion. Safety is Sheetz number one concern and a taller sign is easier to see in advance. They feel as if this is the minimum necessary and that the intent of the code is to argue about hardship and they feel as if they have done that.

Ms. Barnhart pointed out that she suspects traffic will get heavier in this area in the coming years due to the freeway interchange down the street.

Mr. Benner reiterated that he doesn't see the hardship and he doesn't buy that people are wandering the streets of Reynoldsburg looking for a gas station.

Mr. Shook explained that four votes are needed to approve an application, but not necessarily four votes to reject. If the board wants to split out the variances, they have that option.

Ms. Barnhart: I'd like to make a motion to accept staff recommendation to approve the variance requests in section 1109.13; figure 8.3 for additional signage and figure C, which is additional square footage.

No second. Motion dies.

Mr. Benner: I motion that we reject the application of the three variances requested.

Mr. Bivens: I second.

RESULT:	DENIED
MOVER:	Benner
SECONDER:	Bivens
AYES:	Benner, Bivens, Furst, Kleckley
NAYS:	Barnhart

NEW BUSINESS

OTHER BUSINESS

ADJOURNMENT

Planning and Zoning Administrator

Chairman



**MINUTES Regular Meeting
REYNOLDSBURG Planning & Zoning Board
June 15, 2023**

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

Agenda stands approved.

SWEARING IN OF SPEAKERS

Speakers for the evening were sworn in by Mr. Furst.

PUBLIC COMMENT

None

UNFINISHED BUSINESS

App# 2023-5185; 7335 E Livingston Ave; Hopewell Health; Variance for Monument Sign

Ms. Buathier read the staff report into the record and reminded the board that it was tabled previously.

Mr. Furst explained the uniqueness of the site and that since it is not on a main road, but rather a private drive, he doesn't feel as if approving this variance would set a precedent for future sites. Mr. Furst asked if the applicant would be amenable to staff coming to the site in six months or so to verify the materials and layout match what was submitted. Ms. Poling agreed to that.

Mr. Furst: I move that we approve this application with the conditions listed here, with the additional condition that staff visit the site in six months to verify that the installation meets the application specifications listed.

Mr. Benner: I second.

RESULT:	Approved
MOVER:	Furst
SECONDER:	Benner
AYES:	Alabi, Furst, Kleckley, Benner, Barnhart

NEW BUSINESS

None

OTHER BUSINESS

Central SDA Church

Mr. Meyer explained that this is not an official submittal, but a presentation to receive feedback from the board.

Ms. Harrison from Central SDA Church explained that they are in contract on the 2.8 acre parcel at Brice and Main. It is in the Brice and Main District and next door to the Ziebart. They are looking to build a 300 seat church and are currently working on the design of the church. The congregation meets on Saturday mornings and Wednesday evening, which would be their peak traffic times.

Mr. Harrington explained that they are just looking for a little bit of feedback as they are looking to purchase the property and the due diligence phase is almost over.

Mr. Furst asked them to keep in mind easements and setback requirements, or anything that may require a variance and attempt to eliminate those in the planning process.

Mr. Harrington doesn't initially think they will have any variances unless the easement becomes a problem with the 25 feet from the road requirements. Mr. Furst said they have granted a number of variances in this district for that purpose, so they could probably find a way to forward that on. Mr. Furst just wants to make sure they stick away from variances for preferences or esthetic purposes.

Mr. Benner asked if there was a traffic issue that the board should be aware of. Mr. Meyer explained that while the project is not funded, the city is intending to align the intersection at Brice and Main. Mr. Harrison asked if any right-of-way would be taken for that project and Mr. Meyer wasn't sure because we do not have any construction plans yet.

Ms. Alabi asked what would be happening in the building when they were not meeting. Outside of Saturday and Wednesday, the only other use they see would be on Sunday mornings, when they would utilize the building for youth groups and most of them are non-drivers because they are underage, so it's a drop off situation.

Ms. Kleckley asked if they had any intention of using the facility as a daycare. Ms. Harrison explained that they are very community involved and their intent is to have a church, but are open to ways to continue to help the community. Mr. Furst explained that a previous application for a daycare was not met with open arms and that he would not put that as a top priority in this location.

No further questions from the applicant or the board.

ADJOURNMENT

Planning and Zoning Administrator

Chairman

July 5, 2023

Planning and Zoning Board
City of Reynoldsburg
7232 E. Main Street
Reynoldsburg, OH 43068

RE: Vaughn Benson; 6672 E. Main Street: Major Site Plan Application

Planning and Zoning Board:

Below is the staff review of the above referenced Major Site Plan Application.

1. Project Summary

- a. The subject site is located at 6672 E Main Street. The 2.62 acre lot is zoned BMD, Brice and Main District. A Major Site Plan has been submitted for a portion of the site (0.92 acres), while the remainder of the site is intended for future development (1.7 acres). This information is identified on the Overall Site Plan sheet.
- b. The subject site is the remaining out parcels, from the previously developed Kroger site. The parcels current land use is vacant land.
- c. The surrounding zoning and land uses consist of BMD, Brice and Main District, to the north, west, and south of the subject site, with a surrounding gas station, retail – large format and retail – medium format. The land use to the east is a retail – convenience store with gasoline which is zoned EMD, East Main Street Insight District.
- d. The applicant has submitted a Major Site Plan application with the intended land use for Financial Services and Banking with a Drive-Thru. A Financial Services and Banking with a Drive-Thru is conditional permitted land use in the Brice and Main District. The conditional land use application was approved by the Planning and Zoning Board at the June 1st, 2023 meeting. The applicant is proposing a 3,742 square foot Financial Service and Banking with a Drive-Thru new building.

2. Project Review, Major Site Plan

- a. **Setbacks:** Per the zoning code, the front building setback requirement along E. Main Street and Rosehill Road is a minimum of 5 feet and maximum of 20 feet. The site plan shows a front setback of 58.3 feet to 60 feet, along E. Main Street and 50.3 feet to 57.9 feet, along Rosehill Road. The applicant was approved by the Planning and Zoning Board for a minimum front setback variance of 58.3 feet and a maximum front setback variance of 60 feet along E. Main Street. The applicant was also approved by the Planning and Zoning Board for a minimum front setback variance of 50.3 feet and a maximum front setback variance of 57.9 feet along Rosehill Road. The proposed front setbacks along E. Main Street and Rosehill Road, meet the minimum and maximum front setback

requirements. The site plan also shows that the required 10 foot side and rear building setbacks are met.

- b. **Lot coverage:** Per the zoning code, the minimum lot coverage is 50%, and the maximum lot coverage is 80%. The provided lot coverage is 54%. The lot coverage requirement is met.
- c. **Building Height:** Per the zoning code, the building height requirements are a minimum of 22 feet and maximum of 75 feet. The provided building height is 22 feet. The building height requirement is met.
- d. **Design Standards/Architecture:** The building façade provided is comprised of natural materials, such as chiseled limestone, fiber cement, and aluminum accents, which are all in compliance with the Code. The building also has finished facades on all sides of the building, incorporating different materials, building setback and windows into the design of the building.
- e. **Parking/Loading requirements:** The required number of parking spaces is 19 parking spaces. The applicant has provided 24 parking spaces on the site. 2 ADA parking spaces are required and 2 ADA parking spaces are provided. The required number of parking spaces for the site has been met. The site does not provide a loading space; however, a variance was granted to omit the loading space requirement by the Planning and Zoning Board at the June 1st meeting. No part of the parking lot is located closer than 5 feet to a public right-of-way, which meets the zoning code requirements. The parking lot provided is made of asphalt, which is a permitted surface.
- f. **Access:** The site can be accessed internally by service roads that currently exist. All access into the site, meets the maximum of 30 feet wide or less ingress/egress. The service roads lead to access along E Main Street and Rosehill Road. The fire department and engineering department have reviewed the access and circulation throughout the site, and do not have any concerns regarding either access or circulation.
- g. **Landscaping and Buffering:** The applicant has provided a landscaping plan with the following information:
 - i. **Tree Preservation/Tree Replacement:** The subject site is a vacant parcel that does not have any existing trees on the lot. Therefore the tree preservation and replacement requirements would not be applicable.
 - ii. **General Landscape Standards:** The required landscape setback is a minimum of 6 feet. The applicant states they have provided a 6 foot landscape setback, however the site landscape plan does not depict the setback. The applicant will need to show on the landscape plan, the required minimum 6 foot landscape setback.
 - iii. **Street Tree Requirements:** Street trees are required with spacing of 25 feet to 35 feet for medium trees, and 35 feet to 45 feet for large trees. The provided trees by the applicant are large trees, and existing street trees that are medium trees. With the combination of existing and proposed street trees, the spacing requirement is met.

- iv. **Interior Lot Landscaping:** Per zoning, the applicant is required to provide 10" of tree trunk diameter for a site with 19,815 square feet of building and ground coverage on the site. The applicant is providing 14" of tree trunk diameter on the site, and meets the code requirement. The applicant states there is 33" of tree trunk diameter provided, however only 7 deciduous trees with a minimum caliper of 2" is provided on the landscape plan, within the parcel. The Landscaping Code Requirements will need to be updated to reflect the correct number.
- v. **Property Buffer Requirements:** Grass coverage is provided throughout the subject site, except where hard non-pervious surfaces are provided. The property buffering requirements are met.
- vi. **Parking Area Landscaping Standards:** Based on the code requirements 600 square feet for interior landscaping for the parking lot area is required, along with 3 trees, 12 shrubs. The applicant is providing 3 trees, 12 shrubs, and 840 square feet of interior landscaping for the parking lot area. The applicant is also required to provide perimeter landscaping around the parking lot area, which the applicant shows shrubs around the perimeter of the parking lot area. The code requirements have been met.
- vii. **Screening and Landscaping for Service Structures:** The applicant appears to provide a trash enclosure against the north elevation of the building. The enclosure appears to be a wooden enclosure. While this appears to meet Section 1105.07.K.ii, more detailed information regarding this trash enclosure is required. The applicant did receive a variance from Section 1105.07.K.ii, to not require planting material around the trash enclosure from the Planning and Zoning Board at the June 1st meeting. All other screening and landscaping requirements for service structures have been met.
- h. **Lighting:** The code requires average horizontal illumination level on the ground floor not to exceed three foot candles. The average horizontal illumination level is 1 foot candle based on the photometric plan provided. The proposed parking lot lighting is cut-off lighting, which meets the code requirements. The maximum allowed height for parking lot lighting is 20 feet. The applicant is requesting 25 foot parking lot lighting. The required parking lot lighting height will need to be reduced to 20 feet, or a variance would be needed for the site.
- i. **Drive-Thru Service:** The zoning code requires a lane for vehicle access waiting for use of a drive-thru facility, that is designed to have sufficient length to accommodate the peak number of vehicles projected to use the facility at any 1 time, along with providing an escape/abort lanes for vehicles desiring to leave the stacking lanes or to avoid disabled vehicles, and to minimize impacts on the use of other required parking or drives or on the use of abutting streets and hazards to pedestrians. There appears to be sufficient space to accommodate stacking for vehicles at the drive thru as well as space to allow vehicles desiring to leave the stacking lanes or to avoid disabled vehicles. The conditional use for

the Drive-Thru Service was previously approved by the Planning and Zoning Board at the June 1st meeting.

3. Recommendations

- a. Staff recommends approval of the Major Site Plan with the following conditions:
 - i. On the lighting plan, change the parking lot light pole height from 25 feet to 20 feet in height. Section 1105.09.B.ii
 - ii. On landscaping site plan, depict the 6 foot minimum landscaping setback line on the site plan. Section 1105.07.F.ix
 - iii. On the Landscape site plan, update the Landscape Code Requirements table, H.i.2 to state 14" provided throughout interior landscaping. Section 1105.07.H.i.2.a
 - iv. Have the applicant provide more detailed information regarding the trash enclosure such as height, material and opacity to meet the code requirement. Section 1105.07.K.ii
 - v. Provide two physical and one electronic updated Major Site Plan copy to staff, showing the required changes have been made, to meet the conditions mentioned above.



Engineers, Surveyors, Planners, Scientists

MEMO

Date: July 10, 2023

To: Mr. Eric Meyer, Director of Development

From: Ryan Andrews, City Engineer

Subject: Staff Report for: JP Morgan Chase Bank – East Main St and Rosehill Road

Copies: Joseph Begeny, Mayor; William Dorman, Public Service Director

On behalf of the City of Reynoldsburg, EMH&T conducted a preliminary engineering review of the major site plan and supporting information for the proposed project on the northwest corner of East Main Street and Rosehill Road for a bank with a drive-thru. The following summarizes our findings and recommendations with respect to this development.

ROADWAY ACCESS AND SITE PARKING

1. The site will have two access points for the project. One access point is from the Kroger fueling station parking lot that is located directly west of the proposed project. Note the Kroger fueling station has access to East Main Street via a direct connection or through the Kroger store's western access drive. The second point will be via a private internal access road to the north, which will connect to an existing access road (also owned by The Kroger Co.) from Rosehill Road.
 - a. The access drive to the west is shown as 29-feet wide and is adequate. The existing fueling center's access to East Main Street is approximately 30-feet wide.
 - b. The north access point is shown as 24-feet wide and is adequate.
 - c. Note that the north access drive is shown as "by others". This will need to be discussed during further development review.
2. Internal two-way access drives are shown as 22 feet wide and are adequate.
3. There is a one-way drive leading to the ATM which varies from 14 to 22-feet wide and is also adequate.
 - a. A by-pass lane is shown to provide a greater available distance for vehicles to "escape" if they mistakenly travel into the ATM queue. The by-pass lane extends the entire length of the ATM queue on the east side of the building and is adequate given the number of expected vehicles that will queue based on the study provided.
4. The development provides adequate onsite parking (24 spaces which includes 2 ADA parking spots) based on the Reynoldsburg zoning parking calculation and the proposed use as indicated.
5. The site plan shows pedestrian connectivity to the right-of-way via two separate sidewalks exiting the facility and connecting to existing walks on both East Main Street and Rosehill Road.
6. As the access points to the public roads are existing and would have been studied as part of the master development, there is no concern with traffic access or traffic flow related to this use.
7. A loading space is not included in the site plan. A variance was requested to allow the site to not include the loading space.
8. Based on the created 4-way intersection of the access points and drives around the building, the applicant should review/consider the use of stop signs, likely at 2 of the 4 legs to promote safety at the intersection. This can be determined during PGU plan review process.

UTILITIES

9. The project proposes to tap into the existing 8-inch watermain located on the north side of East Main Street via a 1.5-inch water service line extended into the site with the water meter to be located inside of the building.
10. As shown, sanitary sewer service will be provided via a proposed lateral extended into the site from an existing 8-inch line on the north side of East Main Street. The existing sewer connection point has been further investigated by EMH&T and there may be access as originally thought, even though previous Kroger plans indicated that the sanitary line was to be "Removed and Disposed of". Final confirmation may entail inspection of the existing manhole in that area.
11. A site photometric plan was previously provided. Please also include with PGU submittal.

STORMWATER

12. The utility plan shows a total of three catch basins in the parking and drive areas. The storm sewer is shown outletting into existing storm sewer to the west at the fueling station. Based on the Kroger plans, this appears to be the correct location as the existing underground detention system appears to have been sized to include this outlot. This will need to further investigated and confirmed with PGU.
13. Further grading information in the way of spot grade elevations will be needed with the PGU.

DETAILS / SPECIFICATIONS / GENERAL

14. Verify with the Fire Department if a fire department connection will be required and that access shown is adequate.
15. Where applicable, refer to Reynoldsburg Standard Construction Drawings.

PLANNING AND ZONING BOARD MAJOR SITE PLAN/DISTRRICT CHANGE

Property Address/Name of Plat: 6672 E Main Street			FOR REZONING ONLY
Description of Location: Northwest corner of E Main Street and Rosehill Road			
Parcel ID#(s): 060-009340-00			
Number of Lots: 1	Present Zoning: Brice and Main District	Present Use: Vacant	
Complete Where Applicable: Engineer/Surveyor: The Mannik & Smith Group (Engineer) Builder/Developer: JPMorgan Chase (Developer)			
			Proposed Zoning District:
			Size of Area to be Rezoned:
			Existing Structures:

II. PROPERTY OWNER OF RECORD

Property Owner Name(s): Main & Rosehill LLC, Attn: Becky KegelWitsch	Property Owner Address: 1281 Poppy Hills Road
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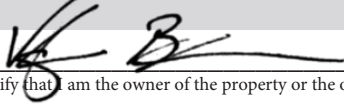
III. APPLICANT INFORMATION

Applicant Name: Vaughn Benson	Applicant Address: 995 West 3rd Avenue, Columbus, OH 43212
Applicant Phone Number: 614-743-9463	Applicant Email: VBenson@fmsarchitects.com
☐ Property Owner ☐ Business Owner/Tenant ☐ Contractor ☒ Architect/Engineer ☐ Owner's Consent Attached.	

IV. PROJECT TYPE

☐ District Change (Rezoning) (Application Fee: \$750 Residential \$1000 Non-Residential)	☐ Amendment of Development Plan (Application Fee: \$500)	☒ Major Site Plan \$3500 (Application Fee: \$500 Review Fee: \$3000 [min.])
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Please review the attached checklist and note the items you are responsible for submitting with this application. All required items must be submitted to the Planning & Zoning Administrator.

Applicant Signature:  Date: **06/28/2023**

*By signing this application, I certify that I am the owner of the property or the owner's agent, and that the work is authorized with the full knowledge of the owner. *

OFFICE USE ONLY

Additional Notes:	Additional Approval Required		PZB Meeting Date: _____ ☐ Approved as Submitted ☐ Approved w/ Conditions ☐ Tabled ☐ Denied	City Council Meeting Date: _____ ☐ Approved as Submitted ☐ Approved w/ Conditions ☐ Tabled ☐ Denied
	☐ Planning and Zoning Board			
	☐ Other: _____			
	Zoning Information Zoning District: _____			
	☐ Olde Reynoldsburg District			
Clerk of Council: _____		Date: _____		
Planning and Zoning Administrator: _____		Date: _____		

Overview

The following checklist of requirements is to be used to assist in site plan preparation. An application for major site plan review shall be submitted to the Planning & Zoning Administrator at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning and Zoning Board.

(1) General Requirements

- ☒ Completed application form.
- ☒ All plans shall be signed and sealed by a professional engineer, architect, or landscape architect registered with the State of Ohio.
- ☒ Each sheet shall contain a title block.
- ☒ A vicinity map showing the location of the proposed development in relationship to the surrounding area including major thoroughfares.

(2) Site Plan. A site plan indicating the following:

- ☒ The dimensions of property lines, parcel dimensions and adjoining rights-of-way.
- ☒ The current zoning of the parcel and all adjacent parcels.
- ☒ The location of proposed buildings and structures.
- ☒ The location of existing water bodies, streams, drainage ditches, stands of trees and other pertinent features within one hundred fifty feet (150FT) of the proposed development.
- ☒ Setbacks and building separations shall be noted in accordance with zoning requirements.
- ☒ The location of all existing structures with one hundred fifty feet (150FT) of parcel.

(3) Environmental/Landscape Concept Plan. A Landscape Plan that indicates the following:

- ☒ Topography with a maximum contour interval of two feet (2)
- ☒ The limits of all wetlands and of the one hundred (100) year flood plain.
- ☒ The approximate location, dimensions, and area of all property proposed to be set aside for parks, open space, and other public or private reservation, with designation of the purpose and proposed ownership thereof.
- ☒ The location and type of all new landscape material and plantings, including street trees. Utilities shall be shown on all landscape plans (Section 1105.07).

(4) Utility Plan. A basic utility plan that indicates the following:

- ☒ All existing conditions, including but not limited
- ☒ Preliminary proposals for connection to existing water supply and sanitary sewer systems and for the collection and discharge of surface water drainage including the location and size of existing and proposed water mains, sanitary sewers and drainage facilities.
- ☒ Complete "Facilities Demand Worksheet".
(See attached)

(5) Parking/Transportation Plan.

A transportation/parking plan that indicates the following:

- ☒ The location, width, names, and classification of existing and proposed streets, rights-of-way, and easements, and where pertinent, their designated use within one hundred fifty feet (150') of the proposed development.
- ☒ The location, typical dimensions, and number of all parking and loading spaces and the number of spaces required by Table 1105.01(A).
- ☒ The location of all proposed walkways and pedestrian accesses within or to the site.
- ☒ The location of all service areas or structures and associated screening (Section 1105.01).

(6) Architectural Plan. An architectural plan that indicates the following:

- ☒ Exterior building design and surface treatments shall be indicated, including building material and color. Color and material samples shall be made available for inspection upon request.
- ☒ All exterior lighting shall be shown, including parking lot, pedestrian, and building accent lighting. Lighting intensity and installation height shall be indicated. The styles and method of illumination of all heads and colors of all poles shall be indicated as well.

(7) A completed zoning certificate application and fees as required.

(8) Such other information as the Planning & Zoning Administrator or Planning Commission may require so as to carry out the full intent of the Zoning Code.

Major Site Plan – Final Submittal Checklist

- ☒ Seven (7) complete sets of plans satisfying the requirements items 1-8. All plans to be in 11" x 17" size.
- ☒ PDF or similar scan of completed application and submittal packet, to be submitted by CD or other electronic means in coordination with the Planning & Zoning Administrator.
- ☒ Payment for the amount noted on the application form: "Plan Review Fee Schedule – Major Site Plans."
- ☒ Traffic evaluation, as stated on the attached "Facilities Demand Worksheet".

1. Water:

a) What will the total demand for water be in gallons per day (gdp) for this proposed site improvement?

1063.725 gdp

b) How much pressure is required?

70 psi

Coordinate with the City Engineer to determine if a Water Usage/Flow Study is required.

2. Sanitary Sewer

a) What will the total anticipated flow in gallons per day for this proposed site improvements?

160 gdp

Coordinate with the City Engineer to determine if a Utility Study is required.

3. Traffic

a) Definitions:

i) Traffic Access Study: This type of study is to be used for small scale projects generating 50- 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. These studies are applicable to projects that do not have a significant impact on the overall transportation system, but will have impacts on site access points. Analysis is typically limited to review of access point location, type, and size. Analysis of turn lane requirements on the public road at the proposed access point may also be reviewed.

ii) Traffic Impact Study: An impact study is to be completed for uses that generate more than 200 trip ends during the peak hour of the adjacent street or during the peak hour of the generator, whichever is higher. This type of evaluation usually includes all access points and nearby intersections. The scope of the Traffic Impact Study is to be determined by affected agencies and the Applicant.

iii) Regional Traffic Analysis: This type of analysis is suited for large scale or groups of smaller projects that impact a large geographical area significant enough in the judgment of City to require an evaluation of impacts on a Comprehensive or Thoroughfare Plan Scale. Road segments, intersections, and perhaps alternative road networks shall be analyzed and long term needs identified. The scope is to be determined by affected agencies and the Applicant.

b) What are the anticipated Average Daily Traffic (ADT), Generator Peak Traffic, Adjacent Street Peak Traffic volumes, generated by the site improvement and what are the Peak Hours of operation (using ITE Trip Generation Manual).

		<u>371</u> ADT Peak
Generator Peak	Adjacent Street Peak	Hour
<u>28</u> AM	<u>19</u> AM	<u>8-9</u> AM
<u>39</u> PM	<u>39</u> PM	<u>4-5</u> PM

c) USE FOR ZONING DISTRICT CHANGES: Is a zoning district being requested for uses that can generate 200 or more peak hour trip ends that the current zoning does not anticipate?

_____ Yes, Traffic Impact Study or Regional Traffic analysis is required. No,

_____ Traffic Access Study Required.

d) USE FOR MAJOR SITE PLANS: Check the following as applicable to the site development:

_____ There are 200 or more Peak Hour trips anticipated
(Traffic Impact Study or Regional Traffic Study is required.)

_____ There are between 50-200 Peak Hour trips anticipated.
(Traffic Access Study is required.)

X There are less than 50 Peak Hour trips anticipated (No additional requirements)

e) The information presented in this section is to assist the applicant with the requirements for traffic analysis within the City of Reynoldsburg. The City reserves the right to change these requirements if special conditions exist. If a Traffic Impact Statement or Regional Traffic Analysis is required, the applicant and the City Engineer must schedule a scope verification meeting with the City and any other local, state, or federal agencies affected by the proposed site improvements.

I certify that the information provided with this application is correct and accurate to the best of my knowledge, in filing this application with the City of Reynoldsburg.


Applicant's Signature

06/28/2023
Date

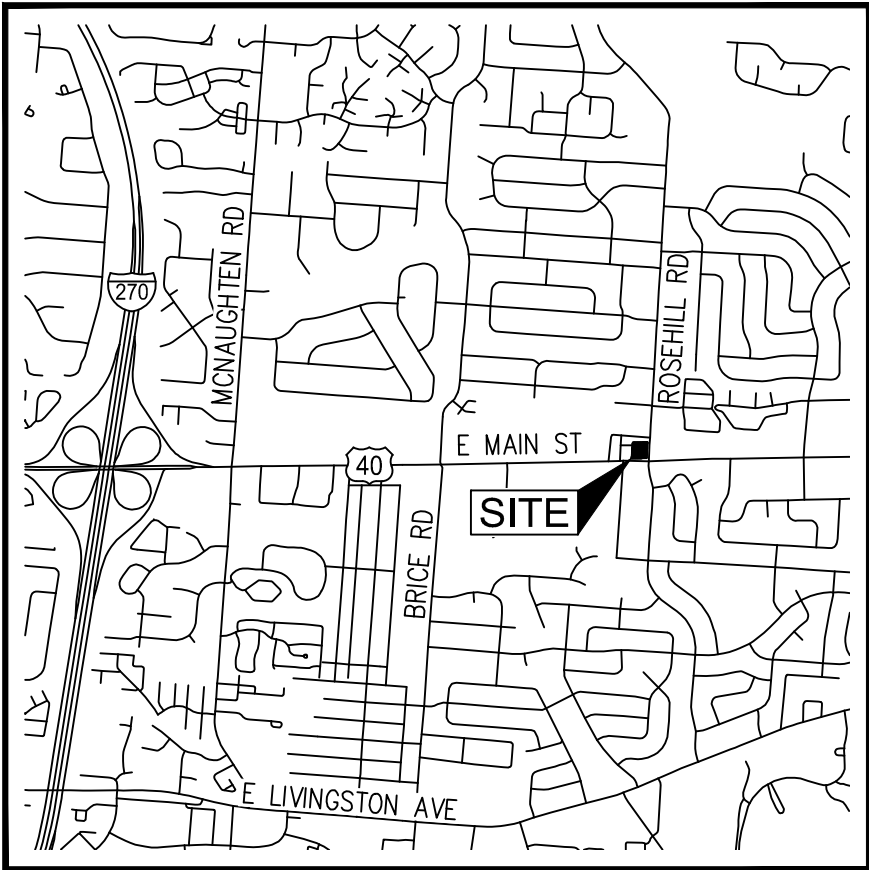
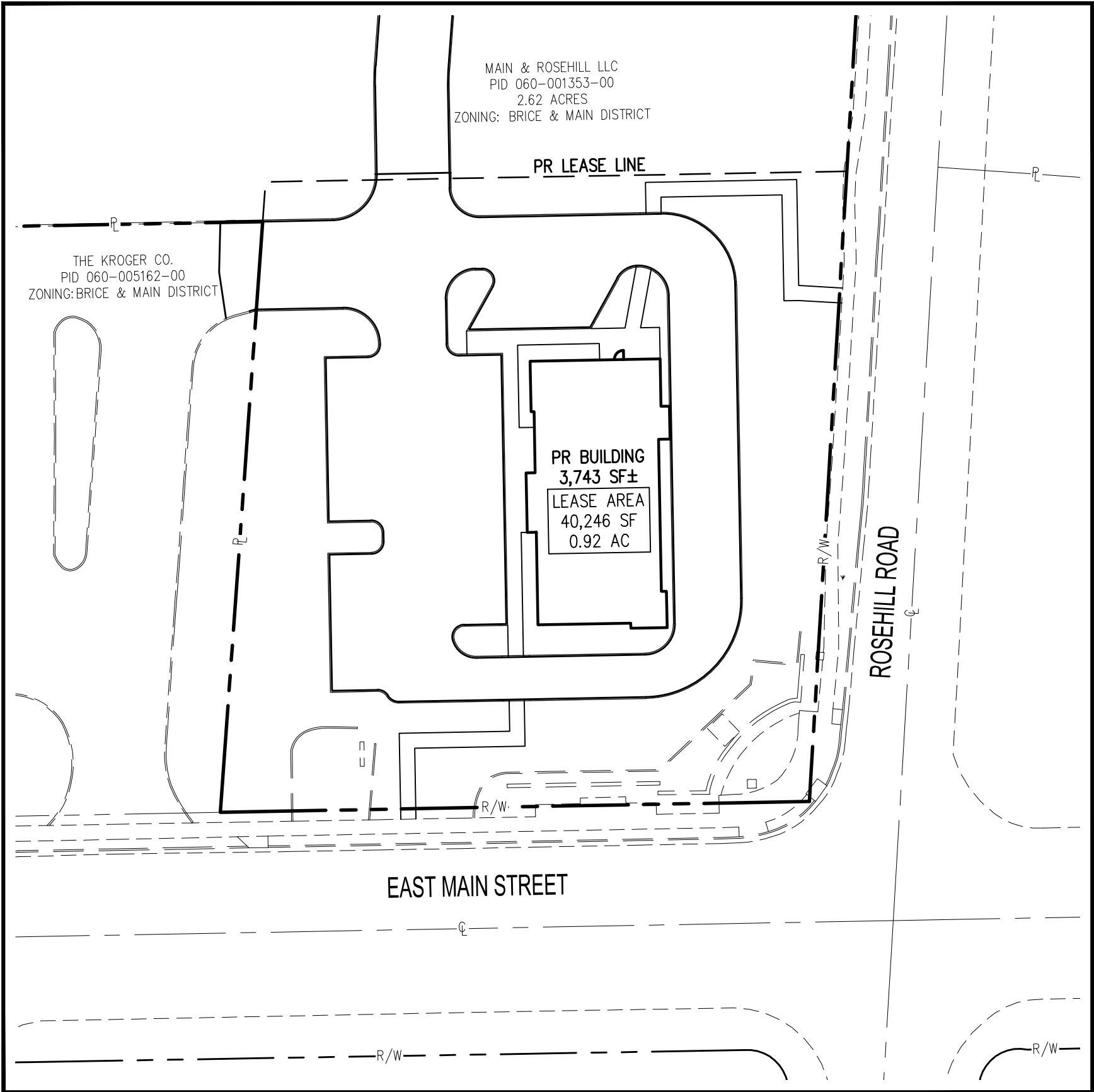
MAJOR SITE PLAN FOR
JPMORGAN CHASE BANK
6672 EAST MAIN STREET
REYNOLDSBURG, OHIO 43068

PROJECT DESCRIPTION

DEVELOPMENT OF AN EXISTING VACANT LOT INTO A JPMORGAN CHASE BANK AND DRIVE-THRU ATM WITH ASSOCIATED PARKING, DRIVEWAYS, AND UTILITIES.

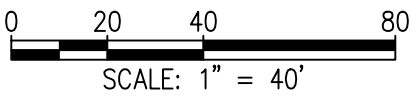
FLOOD ZONE

THE PROPERTY SHOWN HEREIN LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE, PER NFIP FLOOD INSURANCE RATE MAP 39049C0354K, EFFECTIVE 06/17/2008.



VICINITY MAP
NOT TO SCALE

INDEX MAP



OWNER	DEVELOPER	DESIGN CONSULTANT
MAIN & ROSE LLC 13375 NATIONAL ROAD, SUITE D ETNA, OHIO 43068 CONTACT: BECKY KEGLEWITSCH PHONE: (614) 561-6135 EMAIL: BECKY@PRIMERETAIRE.COM	FMS ARCHITECTS 995 WEST 3RD AVENUE COLUMBUS, OHIO 43212 CONTACT: RHONDA HILLIS PHONE: (614) 869-2144 EMAIL: RHILLIS@FMSARCHITECTS.COM	THE MANNIK & SMITH GROUP, INC. 1160 DUBLIN ROAD, SUITE 100 COLUMBUS, OHIO 43215 CONTACT: ASHLEY FOWLER PHONE: (614) 441-4222 EMAIL: AFOWLER@MANNIKSMITHGROUP.COM

INDEX OF SHEETS

COVER SHEET	C000
OVERALL SITE PLAN	C100
SITE PLAN	C101
GRADING PLAN	C200
UTILITY PLAN	C300
LANDSCAPE PLAN	L100
LIGHTING PLAN	1 SHEET



ENGINEER OF RECORD



CONTACT: ASHLEY FOWLER
ADDRESS: 1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
PHONE: 614.441.4222
EMAIL: AFOWLER@MANNIKSMITHGROUP.COM

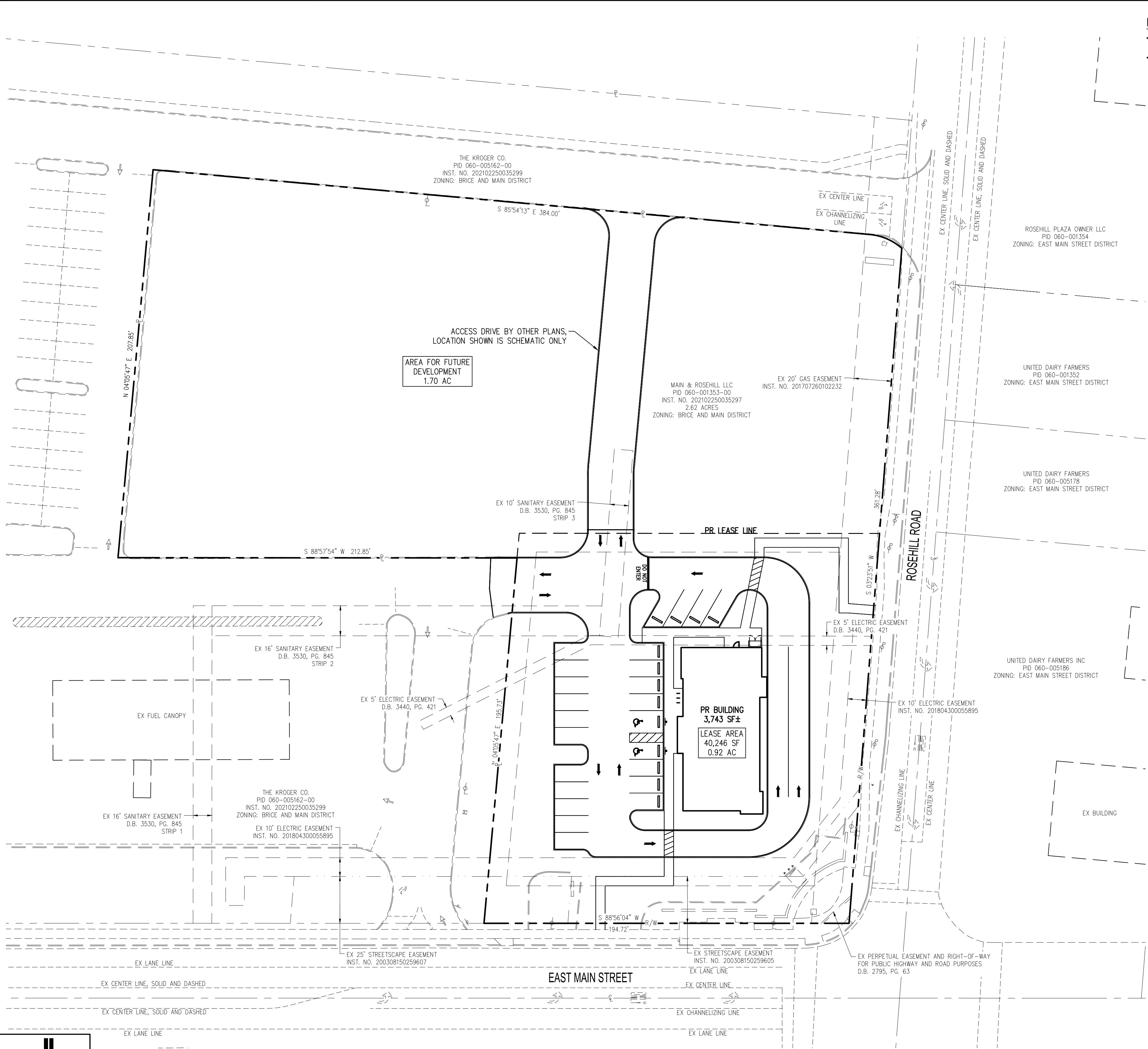
TECHNICAL SKILL.
CREATIVE SPIRIT.



ASHLEY FOWLER, PE
REGISTERED PROFESSIONAL ENGINEER

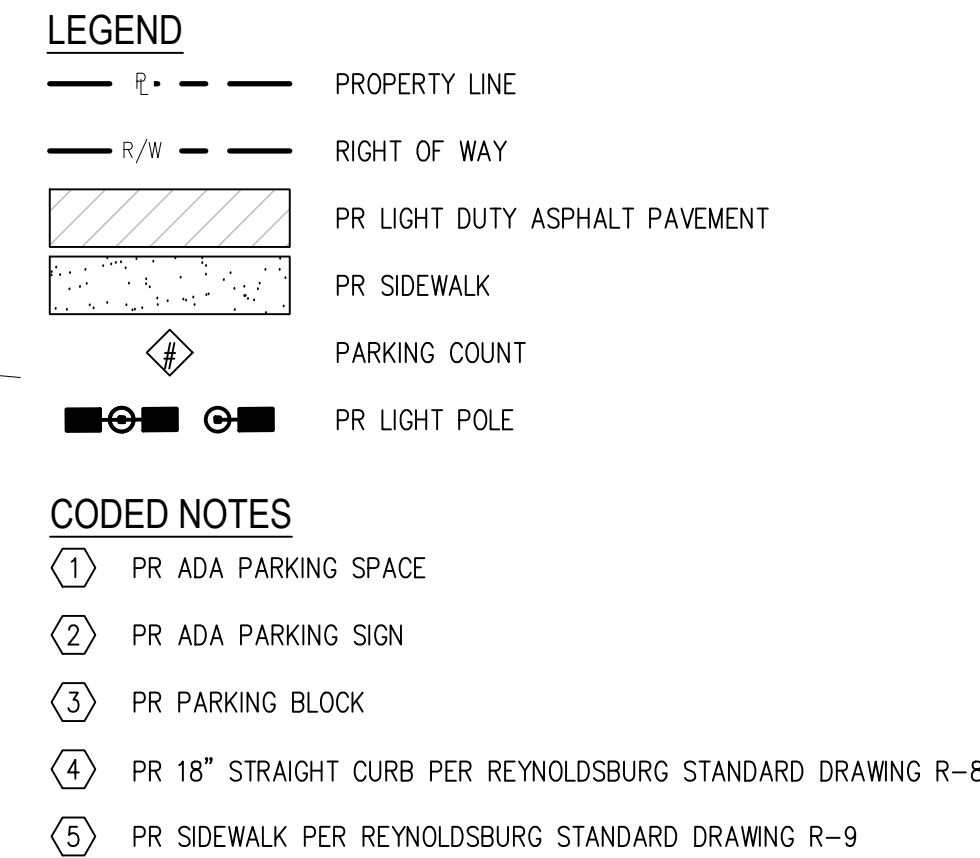
REV NO	DATE	BY	REVISION DESCRIPTION	PROJECT DATE: 6/28/23
				PROJECT NO.: F1630076
				C000

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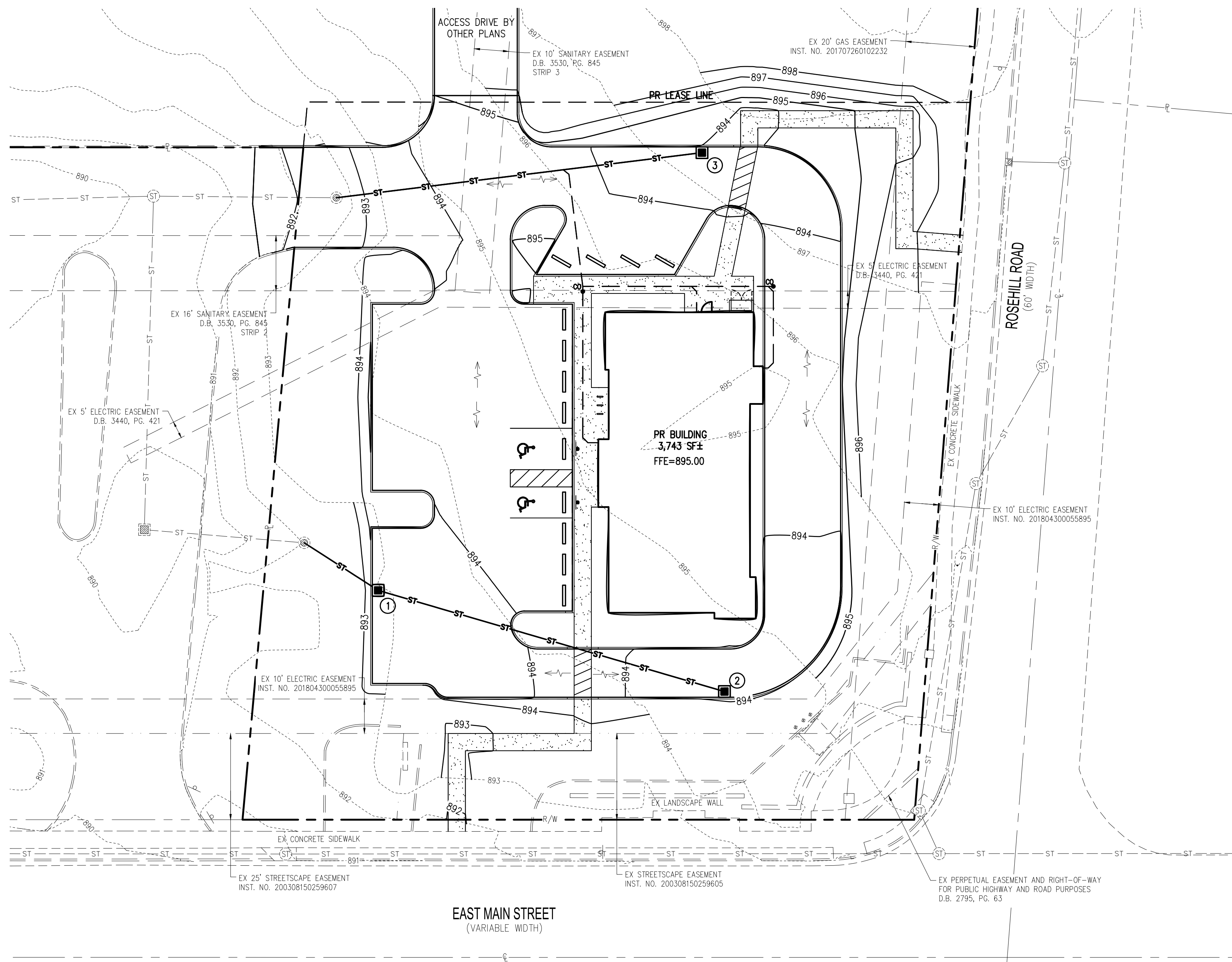
LEGEND
— P — — PROPERTY LINE
— R/W — — RIGHT OF WAY

NO.	DATE	BY	DESCRIPTION
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.688.7340			
PROJECT NO: F163076 DRAWN BY: GLS CHECKED BY: AAF			
TECHNICAL SKILL: CREATIVE SPIRIT.  www.MannikSmithGroup.com			
PREPARED FOR: FMS ARCHITECTS 985 WEST 3RD AVENUE COLUMBUS, OHIO 43212			
MAJOR SITE PLAN FOR JP MORGAN CHASE BANK REYNOLDSBURG EAST MAIN STREET REYNOLDSBURG, OHIO 43068			
OVERALL SITE PLAN			
C100			



1. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
2. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE SPECIFIED

Page 22 of 2



**Mannik
Smith
GROUP**

www.MannikSmithGroup.com

TECHNICAL SKILL.
CREATIVE SPIRIT.

MAJOR SITE PLAN FOR
**JP MORGAN CHASE BANK
REYNOLDSBURG**
EAST MAIN STREET
REYNOLDSBURG, OHIO 43068

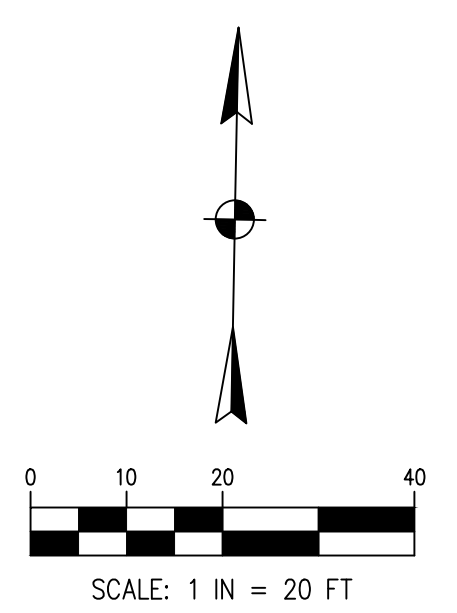
GRADING PLAN



OHIO
Utilities Protection
SERVICE

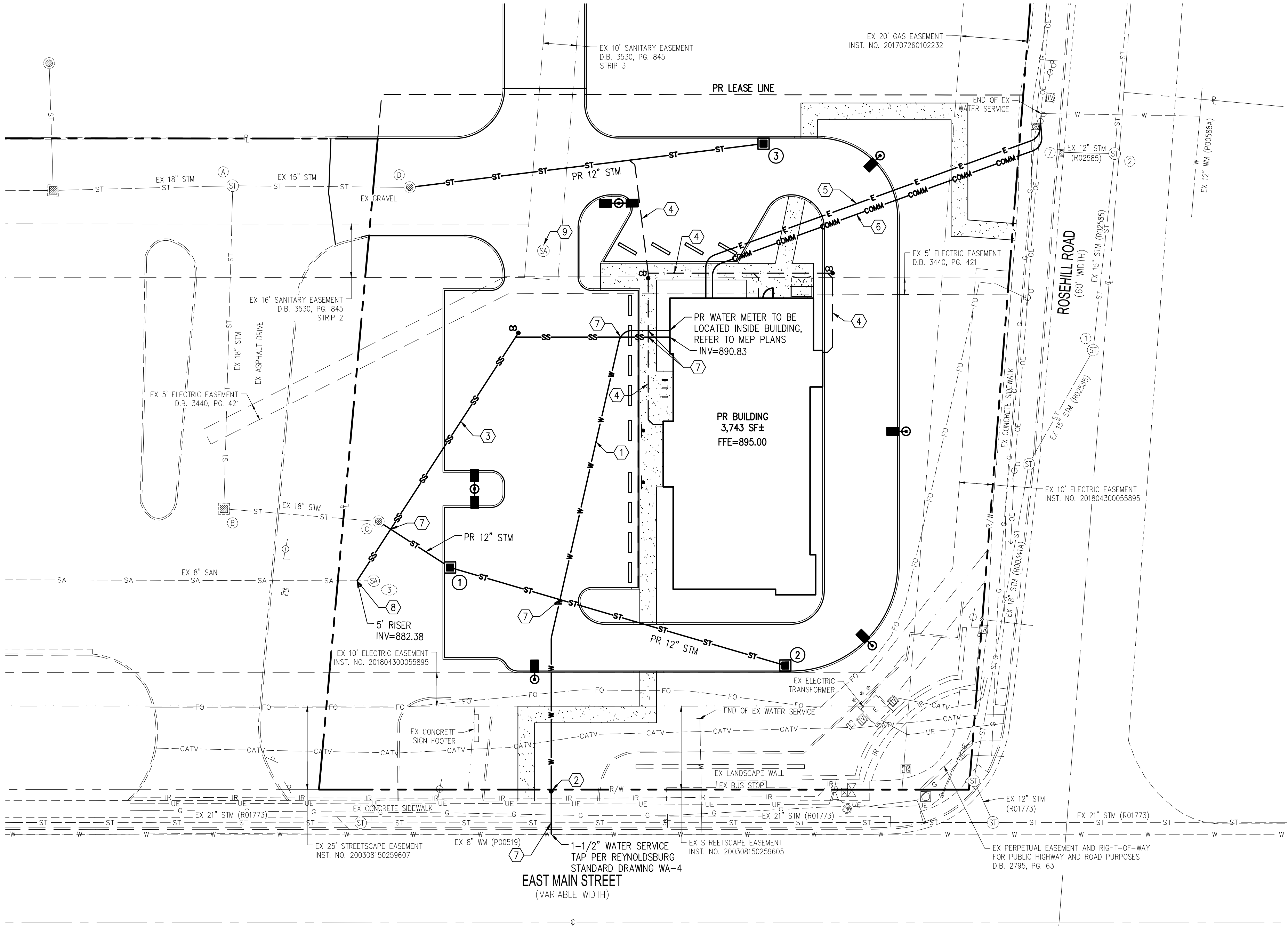
811 or
1-800-362-2764

Call Before You Dig





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LEGEND

— OE —	EX OVERHEAD ELECTRIC	— E —	PR ELECTRIC
— UE —	EX UNDERGROUND ELECTRIC	— COMM —	PR COMMUNICATION
— FO —	EX FIBER OPTIC	— W —	PR WATER SERVICE
— CATV —	EX CABLE	— SS —	PR SANITARY LATERAL
— G —	EX GAS	— ST —	PR STORM SEWER
— W —	EX WATER	⊕	PR LIGHT POLE
— IR —	EX IRRIGATION	•	PR WATER VALVE
— SA —	EX SANITARY SEWER	⊙	PR CLEANOUT
— ST —	EX STORM SEWER	⊞	PR CATCH BASIN
⊙	EX UTILITY POLE	⊞	PR STORM STRUCTURE NUMBER
⊞	EX LIGHT POLE		
⊞	EX ELECTRIC PULLBOX		
⊞	EX COMMUNICATIONS PULLBOX		
⊞	EX GAS METER		
⊞	EX TRAFFIC SIGNAL PULLBOX		
•	EX WATER VALVE		
⊙	EX SANITARY MANHOLE		
⊞	EX SANITARY STRUCTURE NUMBER		
⊞	EX STORM MANHOLE		
⊞	EX CATCH BASIN		
⊞	EX CURB INLET		
⊞	EX STORM STRUCTURE NUMBER		

CODING NOTES

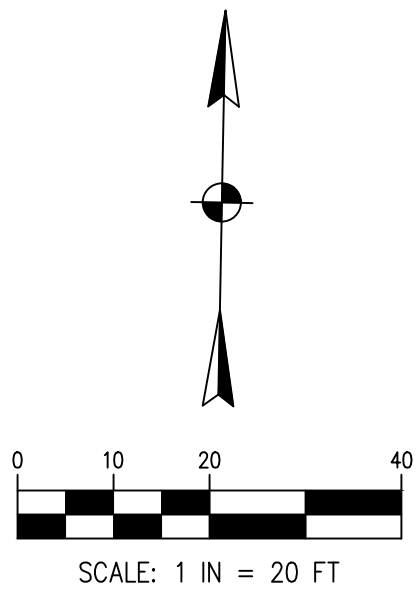
- PR 1-1/2" TYPE "K" COPPER DOMESTIC WATER SERVICE PER REYNOLDSBURG STANDARD DRAWING WA-4
- PR CURB STOP PER REYNOLDSBURG STANDARD DRAWING WA-4
- PR 6" SANITARY LATERAL PER REYNOLDSBURG STANDARD DRAWING SA-11, MAINTAIN MINIMUM 2.08% SLOPE
- PR 6" STORM LATERAL, MAINTAIN MINIMUM 1.04% SLOPE
- PR ELECTRIC SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY. LOCATION SHOWN ON THESE PLANS IS SCHEMATIC ONLY.
- PR COMMUNICATION SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY. LOCATION SHOWN ON THESE PLANS IS SCHEMATIC ONLY.
- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN UTILITIES
- PR 8"x6" WYE FITTING WITH RISER PER REYNOLDSBURG STANDARD DRAWING SA-12
- RECONSTRUCT MANHOLE TO GRADE

EXISTING STORM STRUCTURE TABLE

⊞	EX STORM MANHOLE RIM = 890.18 15" STM (E) INV = 881.68 18" STM (S) INV = 881.68 18" STM (W) INV = 881.68	⊞	EX CATCH BASIN RIM = 892.06 18" STM (W) INV = 884.16
⊞	EX CATCH BASIN RIM = 889.45 18" STM (E) INV = 884.05 18" STM (N) INV = 884.05	⊞	EX CATCH BASIN RIM = 892.56 15" STM (W) INV = 884.26

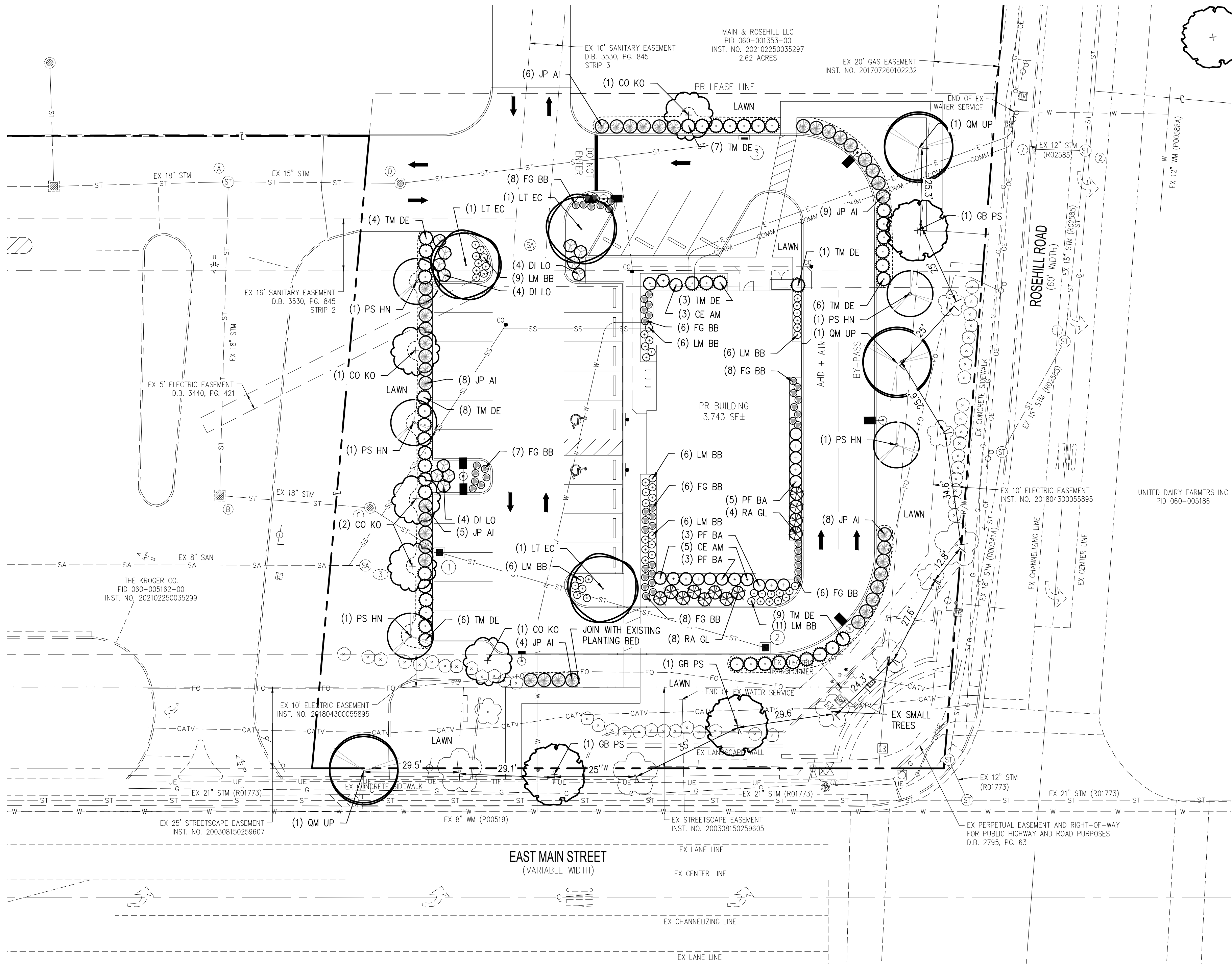
EXISTING SANITARY STRUCTURE TABLE

⊞	EX SANITARY MANHOLE RIM = 891.76 8" SAN (W) INV = 883.06
---	--



DESCRIPTION	BY	DATE	NO.	1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.688.7340	PROJECT NO: F1630076 PROJECT DATE: 6/28/2023	GLS AAE	CHECKED BY:
TECHNICAL SKILL: CREATIVE SPIRIT. www.MannikSmithGroup.com							
PREPARED FOR: FMS ARCHITECTS 985 WEST 3RD AVENUE COLUMBUS, OHIO 43212							
MAJOR SITE PLAN FOR JP MORGAN CHASE BANK REYNOLDSBURG EAST MAIN STREET REYNOLDSBURG, OHIO 43068							
UTILITY PLAN							
C300							

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LEGEND

PR DECIDUOUS TREE

PR ORNAMENTAL TREE

PR DECIDUOUS FLOWERING SHRUB

PR EVERGREEN SHRUB

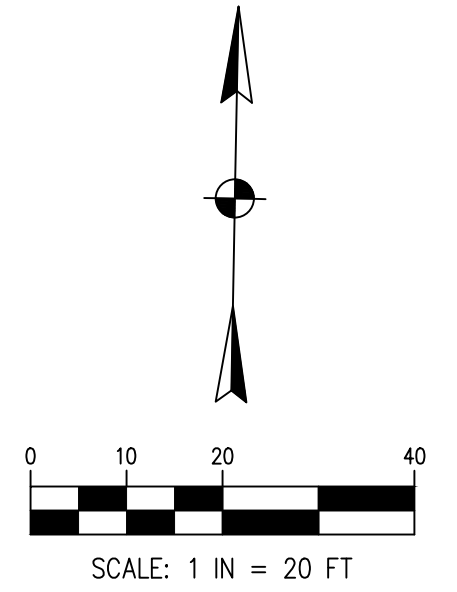
PR ORNAMENTAL GRASS

PR MULCH PLANTING BED LINE

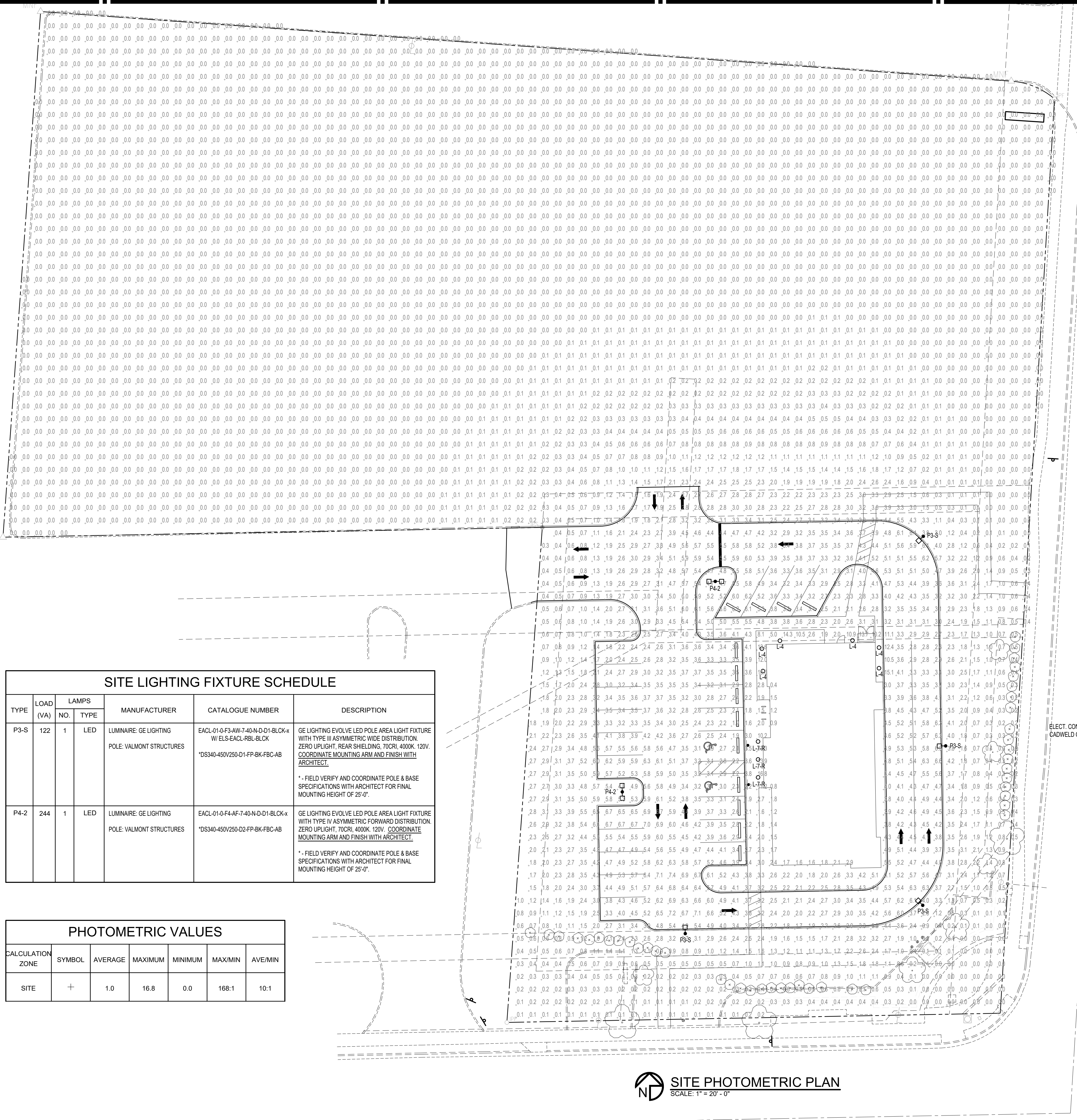
REQUIRED:		PROVIDED:
SECTION 1105.07 – LANDSCAPING AND BUFFERING		
F.ix.	LANDSCAPE SETBACK IS NO LESS THAN 6'	6' LANDSCAPE SETBACK PROVIDED
G.i-iii.	STREET TREES ARE REQUIRED WITH A SPACING OF 35' TO 45' FOR LARGE TREES (50+ MATURE HEIGHT). 25' TO 35' FOR MEDIUM TREES (30'-50' MATURE HEIGHT), AND 15' TO 25' FOR SMALL TREES (10'-30' MATURE HEIGHT. 2" CALIPER MIN.	5 EXISTING AND 6 PROPOSED TREES PROVIDED TO MEET SPACING REQUIREMENTS. ALL TREES ARE MEDIUM UNLESS SPECIFIED OTHERWISE.
G.iii.	MINIMUM PLANT SIZES ARE: 2" CALIPER FOR DECIDUOUS TREES 1.5" CALIPER FOR ORNAMENTAL TREES 6' HEIGHT FOR EVERGREEN TREES 18" OR 18" SPREAD FOR SHRUBS DEPENDING ON GROWTH CHARACTERISTICS	MINIMUM SIZE OR LARGER SPECIFIED IN PLANT LIST TABLE BELOW
G.iv.	MAXIMUM NUMBER OF THE SAME SPECIES OF TREES: 10-19 TREES ON SITE = 50% 20-39 TREES ON SITE = 33% 40-59 TREES ON SITE = 25% 60+ TREES ON SITE = 15%	19 TREES PROPOSED ON SITE 9 OF EACH SPECIES MAXIMUM NO MORE THAN 5 PROVIDED
G.vi.	SMALL TREES ARE REQUIRED WHEN PLANTING UNDER OR WITHIN 10' OF OVERHEAD UTILITY WIRES. A MEDIUM TREE MAY BE USED WHEN PLANTING WITHIN 10'-20' LATERAL OF OVERHEAD UTILITY WIRES	GREATER THAN 20' FROM ALL OVERHEAD UTILITIES WITH PROPOSED TREE LOCATIONS
H.i.2	COMMERCIAL LOT LANDSCAPING: AREA OF COMMERCIAL STRUCTURES, PARKING, LOADING, AND TRASH STORAGE = 19,815 SF UP TO 20,000 SF REQUIRES A MINIMUM TRUNK DIAMETER OF 2" PLUS 1" OF TRUNK FOR EVERY 2,000 SF OVER 20,000 SF 19,815 SF = 10" OF TOTAL TRUNK DIAMETER REQUIRED WITHIN PARKING AREA	33" PROVIDED THROUGH PERIMETER AND INTERIOR LOT TREE REQUIREMENTS
J.i-iii.	FOR EVERY 10 PARKING SPACES, NO LESS THAN 200 SF OF INTERIOR LANDSCAPED PARKING LOT AREA IS REQUIRED CONTAINING AT LEAST 1 TREE AND 4 SHRUBS, MUST BE MINIMUM WIDTH OF 10'. 24 SPACES = 3 TREES, 12 SHRUBS, AND 600 SF	3 TREES, 12 SHRUBS, AND 840 SF PROVIDED WITHIN PARKING AREA
J.v.	PERIMETER LANDSCAPING SHALL BE A MINIMUM WIDTH OF 10' AND CONSIST OF EVERGREEN HEDGE, EVERGREEN TREES, MOUND, OR COMBINATION THEREOF. MUST BE A MINIMUM OF 36" IN HEIGHT AND CONTAIN 1 DECIDUOUS TREE PER 50 LF OF PARKING PERIMETER. 648 LF / 50 = 13 TREES REQUIRED.	CONTINUOUS EVERGREEN HEDGE PROVIDED WITH 6 PROPOSED TREES AND 1 EXISTING TREE

LANDSCAPE PLANT LIST

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
GB PS	3	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2" CALIPER	B&B	DECIDUOUS TREE
LT EC	2	LIRIODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP TREE	2" CALIPER	B&B	DECIDUOUS TREE
QM UP	3	GYMNOCLADUS DIOICIS 'DECAF'	DECAF KENTUCKY COFFEE TREE	2" CALIPER	B&B	DECIDUOUS TREE
CO KO	5	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CALIPER	B&B	ORNAMENTAL TREE
PS HN	5	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1.5" CALIPER	B&B	ORNAMENTAL TREE
LM BB	50	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	1 GALLON	CONTAINER	FLOWERING PERENNIAL
FG BB	49	FESTUCA GLAUCA 'BEYOND BLUE'	BLUE FESCUE 'BEYOND BLUE'	1 GALLON	CONTAINER	ORNAMENTAL GRASS
DI LO	12	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	18" HEIGHT	CONTAINER	DECIDUOUS SHRUB
CE AM	8	CEANOTHUS AMERICANUS	NEW JERSEY TEA	18" SPREAD	CONTAINER	DECIDUOUS SHRUB
PF BA	11	POTENTILLA FRUTICOSA 'BAILBRULE'	FIRST EDITIONS CREME BRULEE CINQUEFOIL	18" HEIGHT	CONTAINER	DECIDUOUS SHRUB
RA GL	12	RHUS AROMATICA 'GROW-LOW'	GROW-LOW FRAGRANT SUMAC	18" SPREAD	CONTAINER	DECIDUOUS SHRUB
TM DE	44	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	18" HEIGHT	CONTAINER	EVERGREEN SHRUB
JP AI	40	JUNIPERUS X PFITZERIANA 'AUREA IMPROVED'	GOLD COAST JUNIPER	18" HEIGHT	CONTAINER	EVERGREEN SHRUB



DESCRIPTION		BY	DATE	NO.
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 688.688.7340				
PROJECT DATE: 6/26/2023 PROJECT NO: F1630076 DRAWN BY: MNF CHECKED BY: AAF				
TECHNICAL SKILL: CREATIVE SPIRIT.				
Mannik Smith Group www.MannikSmithGroup.com				
PREPARED FOR: FMS ARCHITECTS 985 WEST 3RD AVENUE COLUMBUS, OHIO 43212				
MAJOR SITE PLAN FOR JP MORGAN CHASE BANK REYNOLDSBURG EAST MAIN STREET REYNOLDSBURG, OHIO 43068				
LANDSCAPE PLAN				
L100				



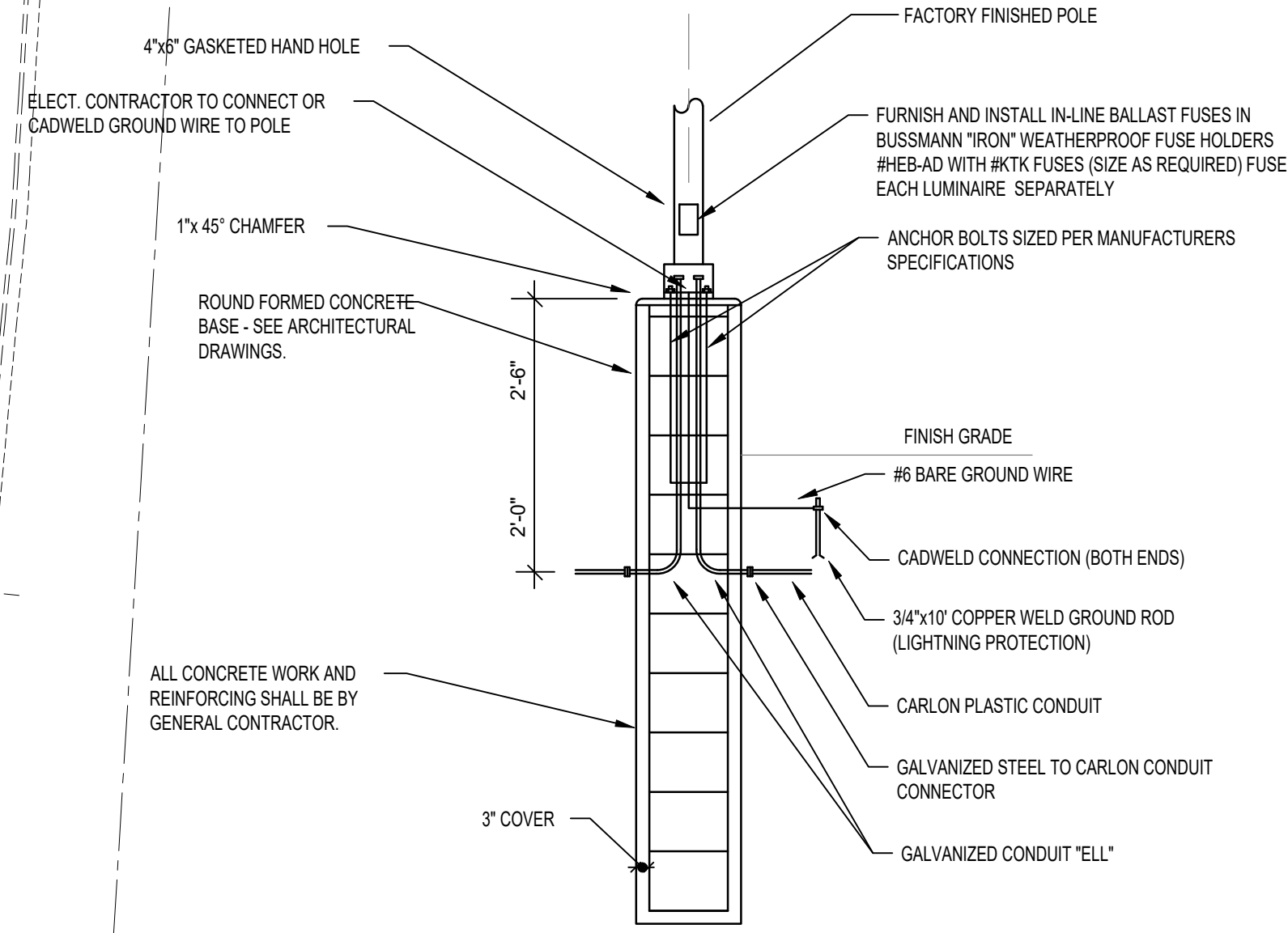
SITE LIGHTING FIXTURE SCHEDULE					
TYPE	LOAD (VA)	LAMPS		MANUFACTURER	CATALOGUE NUMBER
		NO.	TYPE		
P3-S	122	1	LED	LUMINAIRE: GE LIGHTING POLE: VALMONT STRUCTURES	EACL-01-0-F3-AW-7-40-N-D1-BLCK-x W/ ELS-EACL-RBL-BLCK *DS340-450V250-D1-FP-BK-FBC-AB
GE LIGHTING EVOLVE LED POLE AREA LIGHT FIXTURE WITH TYPE III ASYMMETRIC WIDE DISTRIBUTION. ZERO UPLIGHT, REAR SHIELDING, 70CRI, 4000K, 120V. COORDINATE MOUNTING ARM AND FINISH WITH ARCHITECT.					
* - FIELD VERIFY AND COORDINATE POLE & BASE SPECIFICATIONS WITH ARCHITECT FOR FINAL MOUNTING HEIGHT OF 25'-0".					
P4-2	244	1	LED	LUMINAIRE: GE LIGHTING POLE: VALMONT STRUCTURES	EACL-01-0-F4-AF-7-40-N-D1-BLCK-x *DS340-450V250-D2-FP-BK-FBC-AB
GE LIGHTING EVOLVE LED POLE AREA LIGHT FIXTURE WITH TYPE IV ASYMMETRIC FORWARD DISTRIBUTION. ZERO UPLIGHT, 70CRI, 4000K, 120V. COORDINATE MOUNTING ARM AND FINISH WITH ARCHITECT.					
* - FIELD VERIFY AND COORDINATE POLE & BASE SPECIFICATIONS WITH ARCHITECT FOR FINAL MOUNTING HEIGHT OF 25'-0".					

PHOTOMETRIC VALUES						
CALCULATION ZONE	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVE/MIN
SITE	+	1.0	16.8	0.0	168:1	10:1

 **SITE PHOTOMETRIC PLAN**
SCALE: 1" = 20' - 0"

- ### SITE ELECTRICAL NOTES - GENERAL
- EXACT LOCATIONS OF PARKING LOT LIGHTING STANDARDS SHALL BE COORDINATED WITH APPROVED ARCHITECTURAL SITE PLAN AND PARKING LOT LAYOUT.
 - ALL LIGHTING FIXTURES PROJECTING TOWARD ADJACENT RESIDENTIAL AREAS MUST BE PROPERLY SHIELDED TO PREVENT LIGHT SOURCE FROM EXTENDING INTO THIS AREA.
 - ALL SITE LIGHTING POLES SHALL BE DESIGNED TO WITHSTAND 100 MPH WINDS WITH A 1.3 GUST FACTOR.
 - ELECTRICAL CONTRACTOR SHALL INSTALL EACH LIGHTING POLE PLUMB AND TRUE. ELECTRICAL CONTRACTOR SHALL PROVIDE NECESSARY LEVELING SHIMS.
 - ELECTRICAL CONTRACTOR SHALL BACKFILL ALL ELECTRICAL TRENCHES USING CLEAN FILL MATERIAL, FREE OF ORGANIC CONTAMINATIONS AND OTHER DELETERIOUS MATTER. PLACE BACKFILL MATERIAL IN 8" THICK LAYERS WITH EACH LIFT COMPACTED AT NEAR OPTIMUM MOISTURE CONTENT. COMPACT LIFTS TO ACHIEVE A MINIMUM IN PLACE DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE PRIOR TO TRENCHING OR AUGERING FOR POLE BASE. (TYPICAL)

- ### SITE ELECTRICAL NOTES - CHASE
- CONTRACTOR SHALL COORDINATE WITH CHASE SECURITY VENDOR PLANS AND TC SERIES DRAWINGS FOR ALL FINAL LOCATIONS PRIOR TO ROUGH-IN.
 - MOUNT EXTERIOR CAMERAS TO AVOID BLOCKAGE BY THE AWNING. ALL 180 DEGREE CAMERAS TO BE SURFACE MOUNTED WITH RAIN HOOD.
 - EXTERIOR CAMERA WIRING SHALL BE RUN THROUGH A CONDUIT SYSTEM (MC OR EMT) FROM THE BUILDING INTERIOR TO THE CAMERA LOCATION. CONDUIT SHALL BE CONCEALED FROM VIEW. EXTERIOR SURFACE-MOUNT CONDUIT IS GENERALLY NOT PERMITTED, AND ITS USE MUST BE APPROVED AS AN EXCEPTION BY THE OWNER.
 - EXTERIOR CAMERA CABLES THAT ARE INSTALLED IN LIGHT POLES SHALL PROVIDED CABLES THAT ARE LISTED FOR VOLTAGE RATING OF THE LIGHTING CONDUCTORS OR INSTALL IN SEPARATE RACEWAY INSIDE POLE.
 - BOND GROUNDING ELECTRODE CONDUCTOR IN POLE BASES TO EQUIPMENT GROUNDING CONDUCTOR RUN WITH CIRCUIT CONDUCTORS.
 - ALL SIGNAGE SHALL HAVE DISCONNECT SWITCH WITHIN SIGHT OF SIGN OR CIRCUIT BREAKER THAT OPENS ALL UNDERGROUND CONDUCTORS AND CONTROLS NO OTHER LOAD. PER NEC 600.6(A).



POLE BASE DETAIL
N.T.S.

- NOTES:
- 3500 P.S.I. MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 - IF WATER IS PRESENT IN HOLE. REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 P.S.F. INCREASE BASE DEPTH AS REQUIRED.

SEAL:

CONSULTANTS:
PROJECT ARCHITECT:
FEINKNOFF MACIOCE SCHAPPA
ARCHITECTS
995 WEST 3RD AVE.
COLUMBUS, OH 43212
(614) 297-1020 PHONE

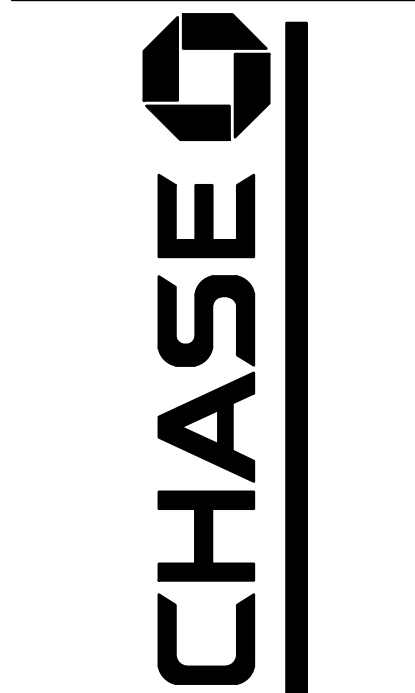
MEP ENGINEER:
THORSON BAKER & COMPANY
3030 W. STREETSBORO RD.
RICHFIELD, OH 44286
(330) 659-6686 PHONE

STRUCTURAL ENGINEER:
PAUL J. FORD & CO.
250 EAST BROAD STREET, SUITE 600.
COLUMBUS OH 43215
(614) 221-6679 PHONE

CIVIL ENGINEER:
BOHLER ENGINEERING
1 ALLEGHENY SQUARE
SUITE 402
PITTSBURGH, PA 15212
(724) 638-8500 PHONE

IRRIGATION:
HINES INC.
323 W. DRAKE RD, SUITE 204
FORT COLLINS, CO 80526
(970) 282-1000 PHONE

REVISIONS:		
NO.	DATE	REMARKS



J.P. MORGAN CHASE BANK
RETAIL BANKING CENTER
REYNOLDSBURG, OH

REYNOLDSBURG
#48100R004913

SITE PHOTOMETRIC PLAN

PROJECT NO: 22331
BID/PERMIT
ES1.2



ST-4
CORONADO STONE PRODUCTS
CREAM
CHISLED LIMESTONE



FC-1
NICHIIHA FIBER CEMENT
VINTAGEWOOD AWP1818
BARK



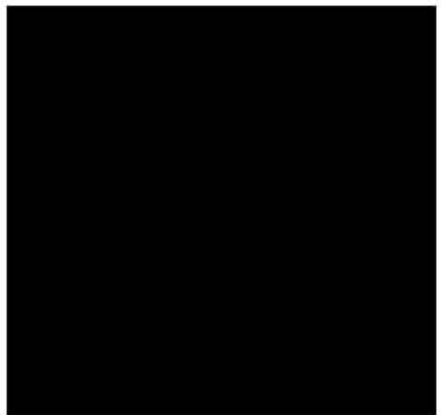
FC-2
NICHIIHA FIBER CEMENT
VINTAGEWOOD AWP 1818
ASH



RC-1
PETERSEN ALUMINUM / PAC-CLAD
PAC-CONTINUOUS
BLACK



ACM-1
ALCOA ARCHITECTURAL PRODUCTS
REYNOBOND
DURAGLOSS 5000 CHASE PROGRAM
"CHASE SILVER"



EXTERIOR DOORS / STOREFRONT
ALUMINUM
BLACK ANODIZED



EPT-1
SHERWIN WILLIAMS
SW7045 INTELLECTUAL GRAY
SEMI-GLOSS

T.O. PARAPET
+ 21'-6"

T.O. PARAPET
+ 19'-4"

T.O. PARAPET
+ 17'-0"

ACM ROOF EDGE
+ 12'-4"

T.O. WINDOW OPNG
+ 10'-0"

T.O. SLAB / FND.
0'-0"

T.O. PARAPET
+ 21'-6"

T.O. PARAPET
+ 19'-4"

T.O. PARAPET
+ 17'-0"

ACM ROOF EDGE
+ 12'-4"

T.O. WINDOW OPNG
+ 10'-0"

T.O. SLAB / FND.
0'-0"

SOUTH ELEVATION

T.O. PARAPET
+ 21'-6"

T.O. PARAPET
+ 19'-4"

T.O. PARAPET
+ 17'-0"

T.O. WINDOW OPNG
+ 10'-0"

T.O. SLAB / FND.
0'-0"

WEST ELEVATION

T.O. PARAPET
+ 21'-6"

T.O. PARAPET
+ 19'-4"

T.O. PARAPET
+ 17'-0"

ACM ROOF EDGE
+ 12'-4"

T.O. WINDOW OPNG
+ 10'-0"

T.O. SLAB / FND.
0'-0"

NORTH ELEVATION

EAST ELEVATION